

REPORT TO CITY COUNCIL Late Distribution Notice

DATE: May 3, 2020

TO: Mayor and City Council Members

FROM: Keith Helmuth *KH*
City Engineer

SUBJECT: May 4, 2022 City Council Meeting
Late Distribution Report for Item B-7 (Actions Relating to Pecan Square Subdivision (Tract No. 20-S-02): Final Map for Pecan Square Subdivision (Tract No. 20-S-02) and Improvement Agreement)

The attached Final Map has been provided as a supplement to the staff report in which it is referenced.

FINAL MAP OF TRACT NO. 20-S-02 PECAN SQUARE

RECORD TITLE INTEREST STATEMENT

THE UNDERSIGNED, BEING ALL PARTIES HAVING ANY RECORD TITLE INTEREST IN THE LAND WITHIN THE SUBDIVISION, HEREBY CONSENT TO THE PREPARATION AND RECORDATION OF THIS MAP AND OFFER FOR DEDICATION FOR PUBLIC USE THE PARCELS AND EASEMENTS SPECIFIED ON SAID MAP AS INTENDED FOR PUBLIC USE FOR THE PURPOSES STATED THEREIN.

DR HORTON CA3, INC.

BY: David Hatch
DAVID HATCH,
VICE PRESIDENT and President of the Division

NOTARY ACKNOWLEDGMENT

A NOTARY PUBLIC OR OTHER OFFICER COMPLETING THIS CERTIFICATE VERIFIES ONLY THE IDENTITY OF THE INDIVIDUAL WHO SIGNED THE DOCUMENT TO WHICH THIS CERTIFICATE IS ATTACHED, AND NOT THE TRUTHFULNESS, ACCURACY, OR VALIDITY OF THAT DOCUMENT.

STATE OF CALIFORNIA }
COUNTY OF Tulare }

ON May 2, 2022 BEFORE ME, A.E. Pulido-Munoz, NOTARY PUBLIC, PERSONALLY

APPEARED David Hatch, WHO PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE/SHE/THEY EXECUTED THE SAME IN HIS/HER/THEIR AUTHORIZED CAPACITY(IES), AND THAT BY HIS/HER/THEIR SIGNATURE(S) ON THE INSTRUMENT THE PERSON(S), OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THE INSTRUMENT.

I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND AND OFFICIAL SEAL

SIGNATURE A.E. Pulido-Munoz
PRINT NAME A.E. Pulido-Munoz

MY COMMISSION EXPIRES February 22, 2025

MY COMMISSION NO. 2348353

PRINCIPAL PLACE OF BUSINESS Tulare COUNTY

SOIL ENGINEER'S STATEMENT

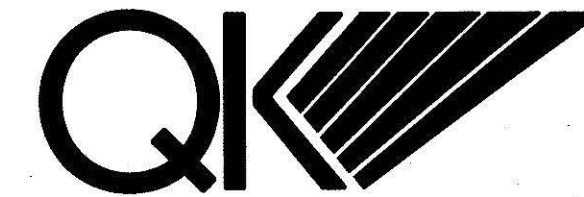
IN ACCORDANCE WITH THE SUBDIVISION MAP ACT AND LOCAL ORDINANCES, A PRELIMINARY SOILS REPORT WAS PREPARED ON MARCH 12, 2020, BY CONSOLIDATED TESTING LABORATORIES, INC., FILE NO. E2577-20, AND IS ON FILE WITH THE CITY OF MADERA.

BEING A PORTION OF THE EAST HALF OF THE NORTHEAST QUARTER OF SECTION 36, T.11S., R.19E.,
MOUNT DIABLO BASE AND MERIDIAN,

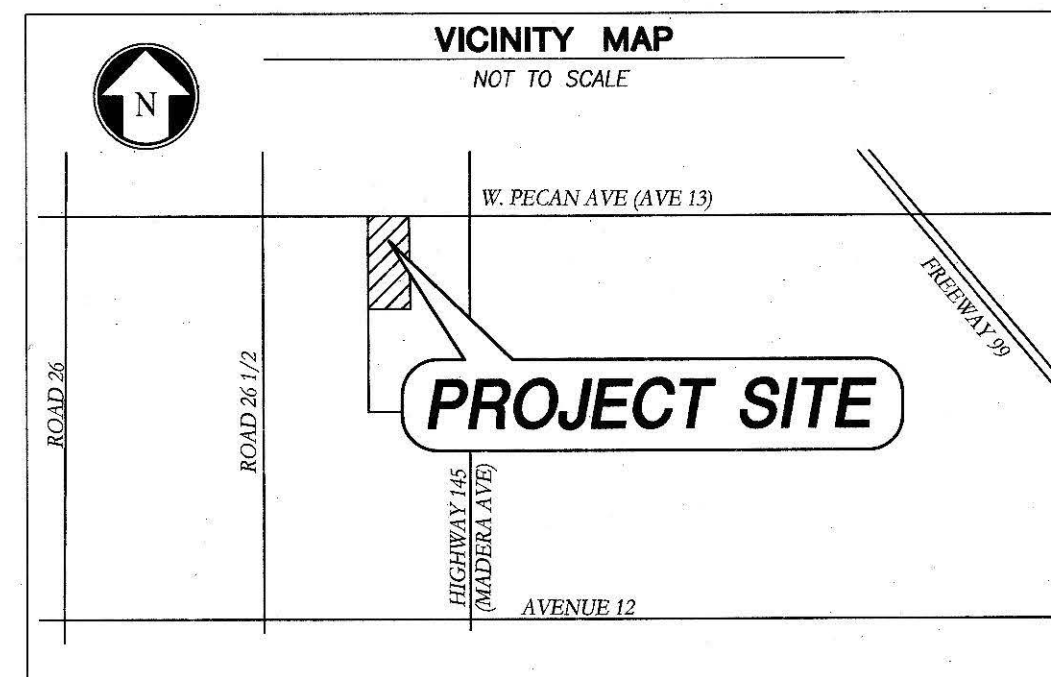
IN THE CITY OF MADERA, COUNTY OF MADERA, STATE OF CALIFORNIA.

FOR: DR HORTON - CENTRAL VALLEY DIVISION
419 W MURRAY AVENUE
VISALIA, CA 93291

AUGUST 2020



601 POLLASKY AVE., STE. 301 TEL: (559) 449-2400
CLOVIS, CA 93612 WWW.QKINC.COM
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LEGAL DESCRIPTION

REAL PROPERTY IN THE CITY OF MADERA, COUNTY OF MADERA, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

PARCEL 2, AS SHOWN ON THE MAP ENTITLED "PARCEL MAP NO. 20-P-01", FILED ON FEBRUARY 24, 2021 IN BOOK 66 OF MAPS AT PAGES 39 AND 40, MADERA COUNTY RECORDS.

THIS PROPERTY IS SUBJECT TO:

1. A DRAINAGE EASEMENT IN FAVOR OF CITY OF MADERA PER "EASEMENT GRANT DEED" RECORDED NOVEMBER 18, 1998 AS DOCUMENT NO. 98-33819, OFFICIAL RECORDS MADERA COUNTY.
2. TERMS AND PROVISIONS CONTAINED IN THAT CERTAIN DOCUMENT ENTITLED "DEED RESTRICTION - COVENANT RIGHT-TO-FARM NOTICE" RECORDED FEBRUARY 24, 2005 AS INSTRUMENT NO. 2005008516, OFFICIAL RECORDS MADERA COUNTY.
3. TERMS, PROVISIONS AND EASEMENTS CONTAINED IN THE DOCUMENT ENTITLED "GRANT OF FENCE AND YARD EASEMENT AGREEMENT" RECORDED FEBRUARY 16, 2021 AS DOCUMENT NO. 2021-004863, OFFICIAL RECORDS MADERA COUNTY.
4. TERMS, PROVISIONS AND EASEMENTS CONTAINED IN THE DOCUMENT ENTITLED "GRANT OF FENCE AND YARD EASEMENT AGREEMENT" RECORDED FEBRUARY 16, 2021 AS DOCUMENT NO. 2021-004864, OFFICIAL RECORDS MADERA COUNTY.
5. STREET RIGHT OF WAY FOR WEST PECAN AVENUE PER DEED RECORDED FEBRUARY 24, 2021, AS DOCUMENT NO. 2021005828, OFFICIAL RECORDS MADERA COUNTY.
6. PUBLIC UTILITIES EASEMENT PER DEED RECORDED FEBRUARY 24, 2021, AS DOCUMENT NO. 2021005830, OFFICIAL RECORDS MADERA COUNTY.
7. ALL THAT INTEREST CONVEYED TO DRH ENERGY INC., A COLORADO CORPORATION BY DOCUMENT RECORDED MARCH 18, 2021 AS INSTRUMENT NO. 2021-008362 OF OFFICIAL RECORDS OF SAID COUNTY. SAID INTEREST IS FURTHER DESCRIBED AS FOLLOWS:
 - A. ANY AND ALL (I) OIL RIGHTS, (II) MINERAL RIGHTS, (III) NATURAL GAS RIGHTS, (IV) RIGHTS TO ALL OTHER HYDROCARBON BY WHATSOEVER NAME KNOWN, (V) GEOTHERMAL HEAT RIGHTS OR GEOTHERMAL SUBSTANCES THAT MAY BE PRODUCED FROM THE PROPERTY, (VI) WATER RIGHTS AND CLAIMS OR RIGHTS TO WATER AND (VII) ALL PRODUCTS DERIVED FROM ANY OF THE FOREGOING (COLLECTIVELY, "SUBSURFACE RESOURCES"), TO THE EXTENT SUCH SUBSURFACE RESOURCES HAVE NOT BEEN PREVIOUSLY RESERVED.
 - B. THE PERPETUAL RIGHT TO DRILL, MINE, EXPLORE AND OPERATE FOR AND PRODUCE, STORE AND REMOVE ANY OF THE SUBSURFACE RESOURCES ON OR FROM THE PROPERTY, INCLUDING WITHOUT LIMITATION THE RIGHT TO WHIPSTOCK OR DIRECTIONALLY DRILL AND MINE, FROM LANDS OTHER THAN THE PROPERTY, WELLS, TUNNELS AND SHAFTS INTO, THROUGH OR ACROSS THE SUBSURFACE OF THE PROPERTY, AND TO BOTTOM SUCH WHIPSTOCKED OR DIRECTIONALLY DRILLED WELLS, TUNNELS AND SHAFTS WITHIN OR BEYOND THE EXTERIOR LIMITS OF THE PROPERTY, AND TO REDRILL, RETUNNEL, EQUIP, MAINTAIN, REPAIR, DEEPEN AND OPERATE ANY SUCH WELLS OR MINES, BUT WITHOUT THE RIGHT TO DRILL, MINE, EXPLORE, OPERATE, PRODUCE, STORE OR REMOVE ANY OF THE SUBSURFACE RESOURCES THROUGH OR IN THE SURFACE OF THE PROPERTY OR THE UPPER FIVE HUNDRED (500) FEET OF THE SUBSURFACE OF THE PROPERTY.
8. COMMUNITY FACILITIES DISTRICT (CFD) _____, RECORDED AS DOCUMENT NO. _____, ON _____.
9. COVENANT LANDSCAPE MAINTENANCE DISTRICT ZONE _____, RECORDED AS DOCUMENT NO. _____, ON _____.

SURVEYOR'S STATEMENT

THIS MAP WAS PREPARED BY ME OR UNDER MY DIRECTION AND IS BASED UPON A FIELD SURVEY IN CONFORMANCE WITH THE REQUIREMENTS OF THE SUBDIVISION MAP ACT AND LOCAL ORDINANCE AT THE REQUEST OF DR HORTON - CENTRAL VALLEY DIVISION ON JUNE 27, 2020. I HEREBY STATE THAT ALL THE MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED, OR THAT THEY WILL BE SET IN THOSE POSITIONS ON OR BEFORE ONE YEAR OF THE DATE THIS MAP IS RECORDED, OR ANY TIME EXTENSION APPROVED BY THE CITY ENGINEER AND THAT THE MONUMENTS ARE, OR WILL BE, SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED, AND THAT THIS FINAL MAP SUBSTANTIALLY CONFORMS TO THE CONDITIONALLY APPROVED TENTATIVE MAP.

Antonio S. Westerlund
ANTONIO S. WESTERLUND, P.L.S. 9399

05/02/2022
DATE



CITY SURVEYOR'S STATEMENT

I, GARY D. HORN, CITY SURVEYOR OF THE CITY OF MADERA, HEREBY STATE THAT I HAVE EXAMINED THIS MAP AND AM SATISFIED THAT THIS MAP IS TECHNICALLY CORRECT.

GARY D. HORN, RCE 30501
CITY SURVEYOR

DATE



CITY ENGINEER'S STATEMENT

I, KEITH BRENT HELMUTH, CITY ENGINEER OF THE CITY OF MADERA, HEREBY STATE THAT I HAVE CAREFULLY EXAMINED THIS MAP, THAT THE SUBDIVISION AS SHOWN IS SUBSTANTIALLY THE SAME AS IT APPEARED ON THE TENTATIVE MAP, IF REQUIRED AND ANY APPROVED ALTERATIONS THEREOF, AND THAT ALL PROVISIONS OF THE SUBDIVISION MAP ACT AND ALL LOCAL ORDINANCES APPLICABLE AT THE TIME OF APPROVAL OF THE TENTATIVE MAP, IF REQUIRED, HAVE BEEN MET.

KEITH B. HELMUTH, RCE 50192
CITY ENGINEER

DATE



DEVELOPMENT REVIEW COMMITTEE CERTIFICATE

I, GARY CONTE, SECRETARY OF THE DEVELOPMENT REVIEW COMMITTEE OF THE CITY OF MADERA, STATE OF CALIFORNIA, HEREBY CERTIFY THAT SAID PLANNING COMMISSION CONDITIONALLY APPROVED THE TENTATIVE MAP ON THE _____ DAY OF _____.

GARY CONTE, SECRETARY, DEVELOPMENT REVIEW COMMITTEE

DATE

CITY CLERK'S CERTIFICATE

I, ALICIA GONZALES, CITY CLERK OF THE CITY OF MADERA, HEREBY CERTIFY THAT THE CITY COUNCIL OF THE CITY OF MADERA, COUNTY OF MADERA, STATE OF CALIFORNIA BY A RESOLUTION NO. _____ ADOPTED AT THE MEETING OF SAID COUNCIL DULY CONVENED AND HELD ON THE _____ DAY OF _____, 2020, DID APPROVE THE WITHIN MAP AND ACCEPTED ON BEHALF OF THE PUBLIC, SUBJECT TO CONSTRUCTION, ALL PARCELS OF LAND AND EASEMENTS OFFERED FOR DEDICATION FOR PUBLIC USE IN CONFORMITY WITH THE TERMS OF THE OFFER OF DEDICATION. IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND MY OFFICIAL SEAL OF SAID CITY THIS _____ DAY OF _____.

ALICIA GONZALES
MADERA CITY CLERK

DATE

RECORDER'S STATEMENT

DOCUMENT NUMBER: _____

FILED THIS _____ DAY OF _____, 20____, AT _____ M.

IN BOOK _____, OF MAPS AT PAGES _____, THRU _____, MADERA COUNTY RECORDS,

AT THE REQUEST FIRST AMERICAN TITLE COMPANY.

FEE: _____

REBECCA MARTINEZ,
COUNTY RECORDER

BY: _____

DEPUTY

OVERALL BOUNDARY

FINAL MAP OF TRACT NO .20-S-02
PECAN SQUARE

A PORTION OF THE EAST HALF OF THE NORTHEAST QUARTER OF
SECTION 36, T.11S., R.19E., MOUNT DIABLO BASE AND MERIDIAN,
IN THE CITY OF MADERA, COUNTY OF MADERA, STATE OF CALIFORNIA.

JANUARY 2022

LEGEND

ALL DISTANCES SHOWN ARE IN U.S. SURVEY FEET AND DECIMALS THEREOF, UNLESS OTHERWISE NOTED.

- FOUND AND ACCEPTED SECTION CORNER AS NOTED.
- FOUND AND ACCEPTED SECTION QUARTER CORNER AS NOTED.
- FOUND 3/4" IRON PIPE TAGGED "PLS 9399" PER P1, DOWN 6"
- FOUND 1" IRON PIPE TAGGED "RCE 13527" PER P1 UNLESS OTHERWISE NOTED, DID NOT ACCEPT.
- CORS STATION
- DENOTES AN EXISTING EASEMENT (SEE EASEMENT NOTE; SHEET 1)
- DENOTES AN EASEMENT FOR EMERGENCY VEHICLE ACCESS IN FAVOR OF THE CITY OF MADERA PER D.N. 2020-005829, O.R.M.C.
- DENOTES A PUBLIC STREET PREVIOUSLY DEDICATED PER D.N. 2021-005828 O.R.M.C.
- DENOTES A PUBLIC UTILITY EASEMENT DEDICATED PER D.N. 2020-005830 O.R.M.C.
- BDY INDICATES DIMENSION ALONG SUBDIVISION BOUNDARY
- XX M YY BOOK XX OF MAPS, PAGE YY, M.C.R.
- M/XX MEASURED AND RECORD DATA PER REFERENCE XX
- M.C.R. MADERA COUNTY RECORDS
- O.R.M.C. OFFICIAL RECORD MADERA COUNTY
- PUE PUBLIC UTILITY EASEMENT NOW OFFERED PER NOTE BELOW

- SUBDIVISION BOUNDARY
- SUBDIVIDED LOT LINES
- SECTION LINES
- SECTIONAL BREAKDOWN LINES
- EXISTING RIGHT OF WAY
- PROPOSED RIGHT OF WAY
- EXISTING EASEMENT LINES
- ADJACENT/UNDERLYING PARCEL LINES
- FLOOD ZONE AO
- SHEET INDEX LINE

REFERENCES

P1 PARCEL MAP NO. 20-P-01, 66 M 39-40, M.C.R.

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY IS CCS83(2010.00), ZONE 3, SHOWN LOCALLY BY THE EAST LINE OF THE NORTHEAST QUARTER OF SECTION 36-11/17 M.D.B&M. BEARING NORTH 00°16'18" WEST AND IS BASED UPON GPS OBSERVATIONS FROM NGS STATIONS CAPO AND CMOD, BOTH HAVING PUBLISHED ACCURACIES OF LESS THAN 1 CM.

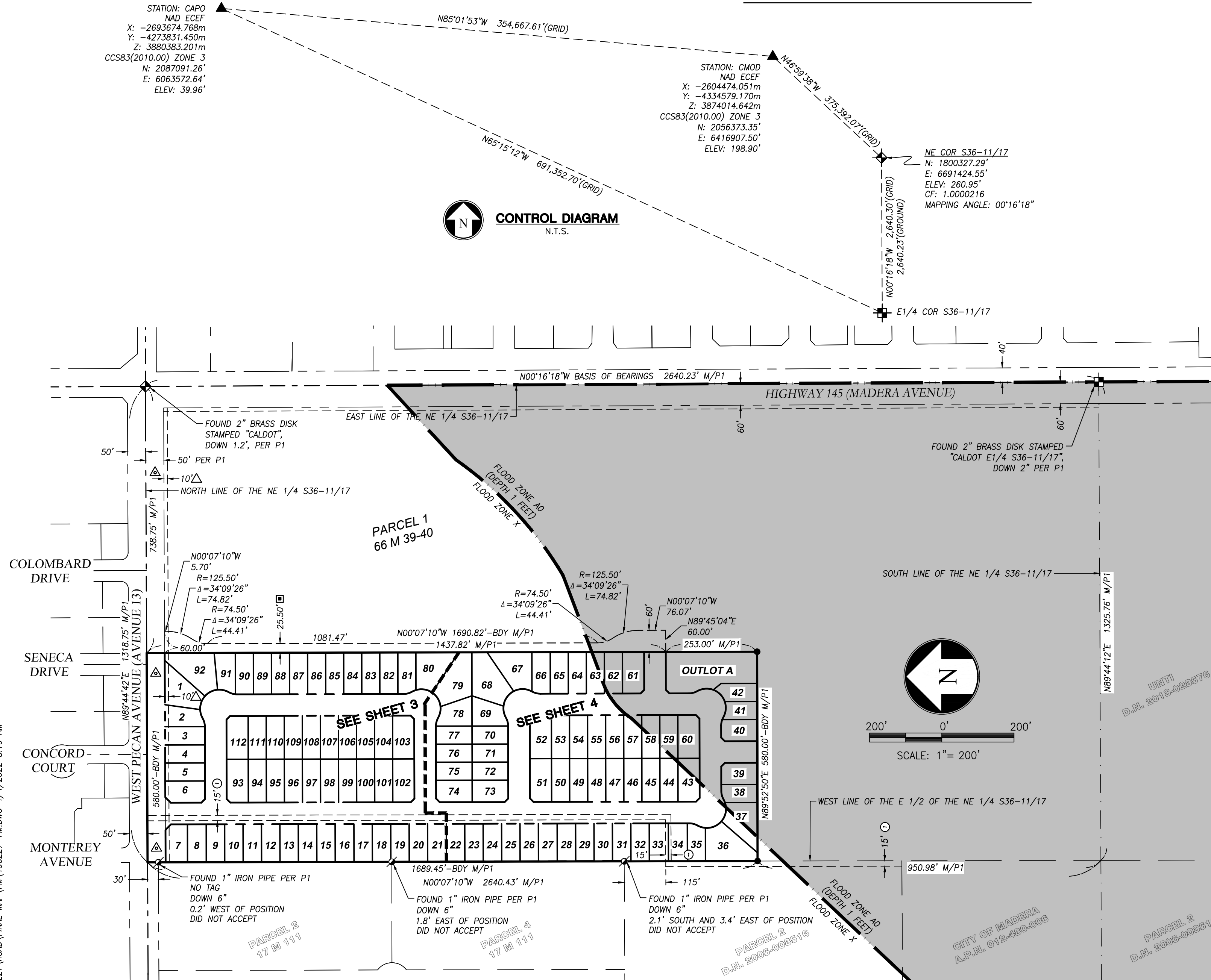
UNLESS OTHERWISE STATED, ALL DISTANCES SHOWN HEREON ARE GROUND DATA. TO OBTAIN GRID DATA, MULTIPLY GROUND DATA BY THE PROJECT SPECIFIC COMBINATION FACTOR OF 1.0000216. GEIOD18 WAS USED TO OBTAINED ELEVATION DATA PERTAINING TO SCALE FACTORS.

THE REAL PROPERTY DESCRIBED BELOW IS
DEDICATED AS AN EASEMENT FOR PUBLIC PURPOSES:

PUE PUBLIC UTILITY EASEMENT NOW OFFERED FOR DEDICATION TO THE CITY OF MADERA FOR PUBLIC USE FOR ANY AND ALL MUNICIPAL PURPOSES, INCLUDING SIDEWALK.

THE REAL PROPERTY DESCRIBED BELOW IS
DEDICATED IN FEE FOR PUBLIC PURPOSES:

OUTLOT "A" IS DEDICATED IN FEE TO THE CITY OF MADERA FOR PUBLIC USE FOR PARK PURPOSES.



FINAL MAP OF TRACT NO. 20-S-02
PECAN SQUARE

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SECTION 36, T.11S., R.19E., MOUNT DIABLO BASE AND MERIDIAN,
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JANUARY 2022

LEGEND

ALL DISTANCES SHOWN ARE IN U.S. SURVEY FEET AND DECIMALS THEREOF, UNLESS OTHERWISE NOTED.

- FOUND 3/4" IRON PIPE TAGGED "PLS 9399", DOWN 6", PER P1.
- FOUND MONUMENT AS NOTED ON SHEET 2.
- SET 2" BRASS CAP MONUMENT STAMPED "PLS 9399", FLUSH IN CONCRETE PER CITY STANDARD E-1.
- SET BRASS TAG STAMPED "PLS 9399", FLUSH IN TOP OF CURB 9.75' PERPENDICULAR TO RIGHT OF WAY LINE
- SET BRASS TAG STAMPED "PLS 9399" FLUSH IN TOP OF CURB ON A 9.75' PROJECTION OF LOT LINE
- SET BRASS TAG STAMPED "PLS 9399" FLUSH IN TOP OF CURB ON A 10.00' PROJECTION OF LOT LINE
- SET 3/4" IRON PIPE, TAGGED "PLS 9399", AS WITNESS CORNERS, 5 FEET ALONG LOT LINE FROM TRUE CORNER POSITION
- SET 3/4" IRON PIPE, TAGGED "PLS 9399"
- NOTHING SET
- DENOTES AND EXISTING EASEMENT (SEE EASEMENT NOTE; SHEET 1)
- DENOTES AN EASEMENT FOR EMERGENCY VEHICLE ACCESS IN FAVOR OF THE CITY OF MADERA PER D.N. 2020-005829, O.R.M.C.
- DENOTES A PUBLIC STREET PREVIOUSLY DEDICATED PER D.N. 2021-005828 O.R.M.C.
- DENOTES A PUBLIC UTILITY EASEMENT DEDICATED PER D.N. 2021-005830 O.R.M.C.
- DENOTES FENCE LINE EASEMENTS PER D1 AND D2; SEE SHEET 5 FOR DETAILED DELINEATION OF EASEMENTS.
- D.N. DOCUMENT NUMBER PER OFFICIAL RECORDS OF MADERA COUNTY
- XX M YY BOOK XX OF MAPS, PAGE YY, MADERA COUNTY RECORDS
- O.R.M.C. OFFICIAL RECORDS MADERA COUNTY
- BDY DENOTES DIMENSION ALONG BOUNDARY LINE
- (R) RADIAL BEARING

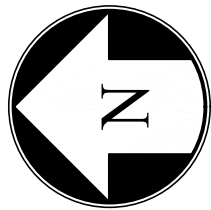
- SUBDIVISION BOUNDARY
- SECTION LINES
- CENTERLINE
- EXISTING RIGHT OF WAY
- PROPOSED LOT LINES
- PROPOSED RIGHT OF WAY
- ADJACENT/UNDERLYING PARCEL LINES
- EASEMENT LINE
- INDICATES RELINQUISHMENT OF DIRECT ACCESS RIGHTS
- INDICATES FENCE LINE EASEMENT PER D1
- INDICATES FENCE LINE EASEMENT PER D2

THE REAL PROPERTY DESCRIBED BELOW IS
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- AREA NOW OFFERED FOR DEDICATION TO THE CITY OF MADERA FOR PUBLIC STREET PURPOSES.
- PUE PUBLIC UTILITY EASEMENT NOW OFFERED FOR DEDICATION TO THE CITY OF MADERA FOR PUBLIC USE FOR ANY AND ALL MUNICIPAL PURPOSES, INCLUDING SIDEWALK

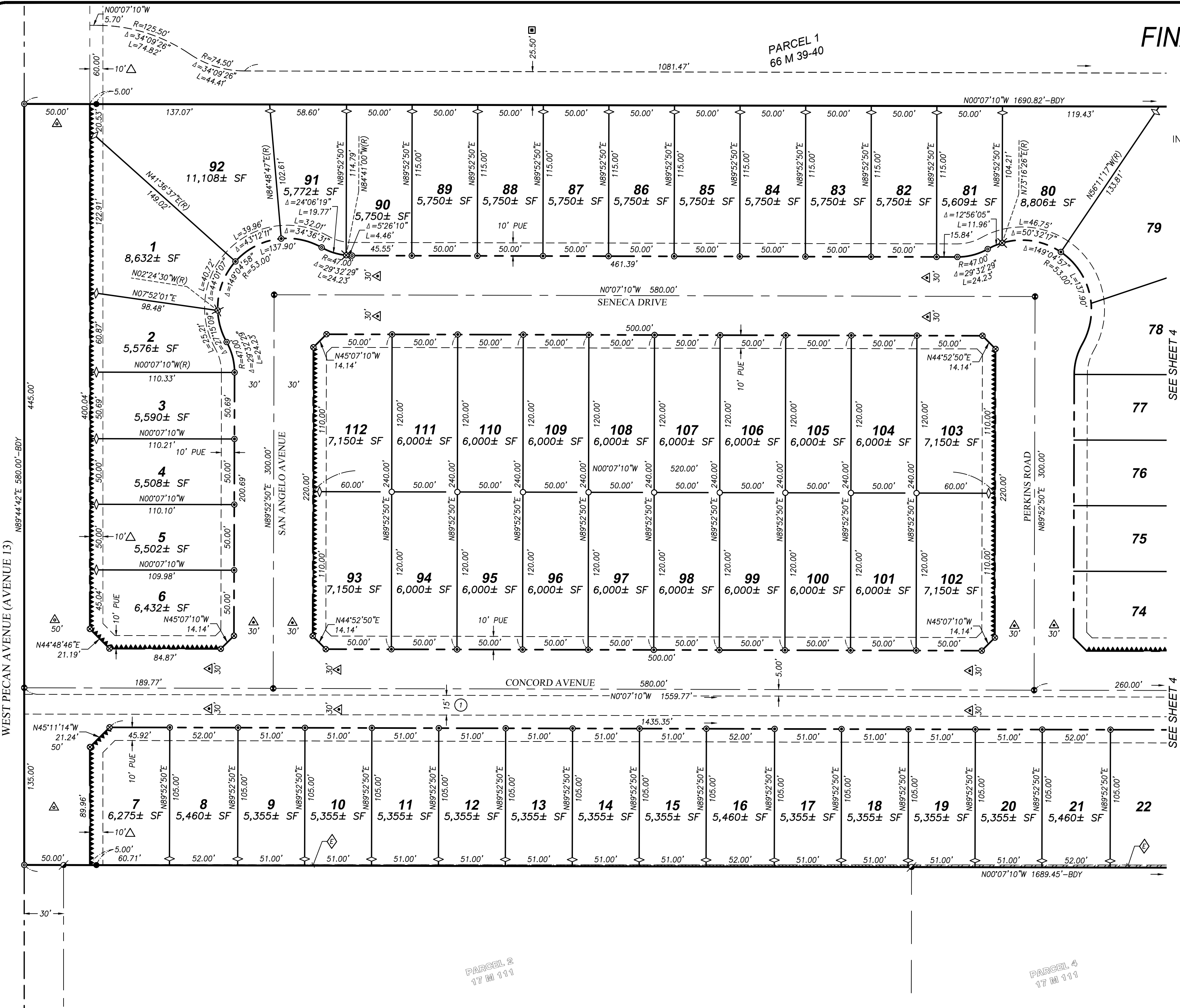
EASEMENT REFERENCES

- D1 D.N. 2021-004864, O.R.M.C.
- D2 D.N. 2021-004863, O.R.M.C.



50' 0' 50'
SCALE: 1" = 50'

SHEET 3 OF 5



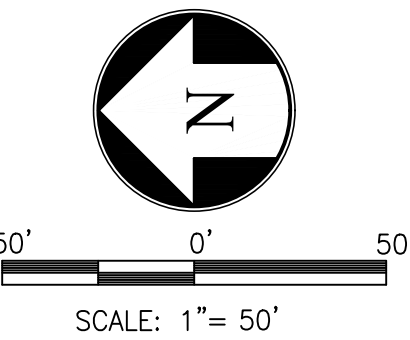
SEE SHEET 2 FOR BASIS OF BEARINGS, OVERALL BOUNDARY,
EASEMENT DEDICATIONS, OUTLOT SCHEDULE, AND SHEET INDEX

FINAL MAP OF TRACT NO. 20-S-02
PECAN SQUARE

A PORTION OF THE EAST HALF OF THE NORTHEAST QUARTER OF
SECTION 36, T.11S., R.19E., MOUNT DIABLO BASE AND MERIDIAN,
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JANUARY 2022

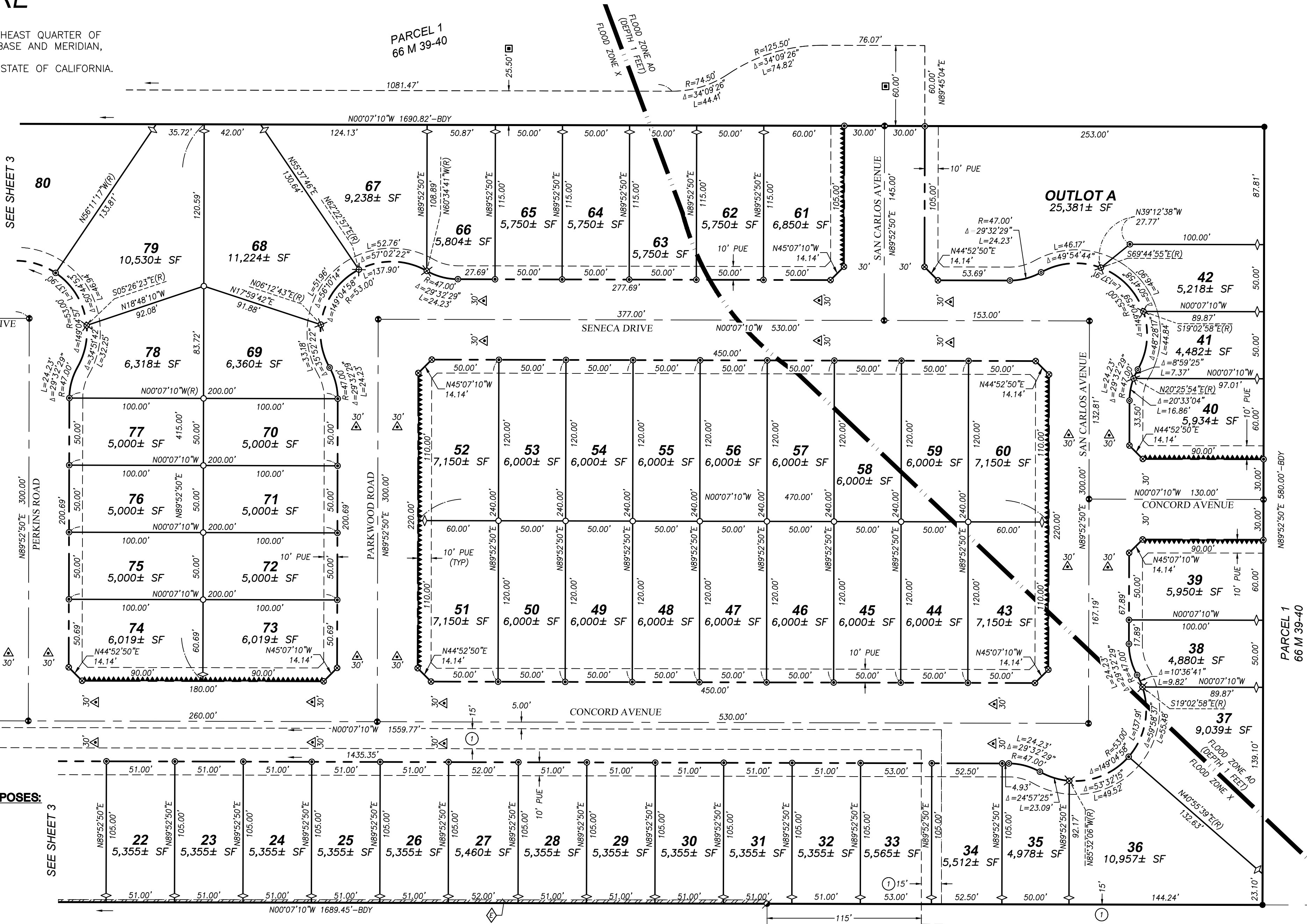
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DEDICATED AS AN EASEMENT FOR PUBLIC PURPOSES:

- AREA NOW OFFERED FOR DEDICATION TO THE CITY OF
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- PUE PUBLIC UTILITY EASEMENT NOW OFFERED FOR DEDICATION
TO THE CITY OF MADERA FOR PUBLIC USE FOR ANY AND
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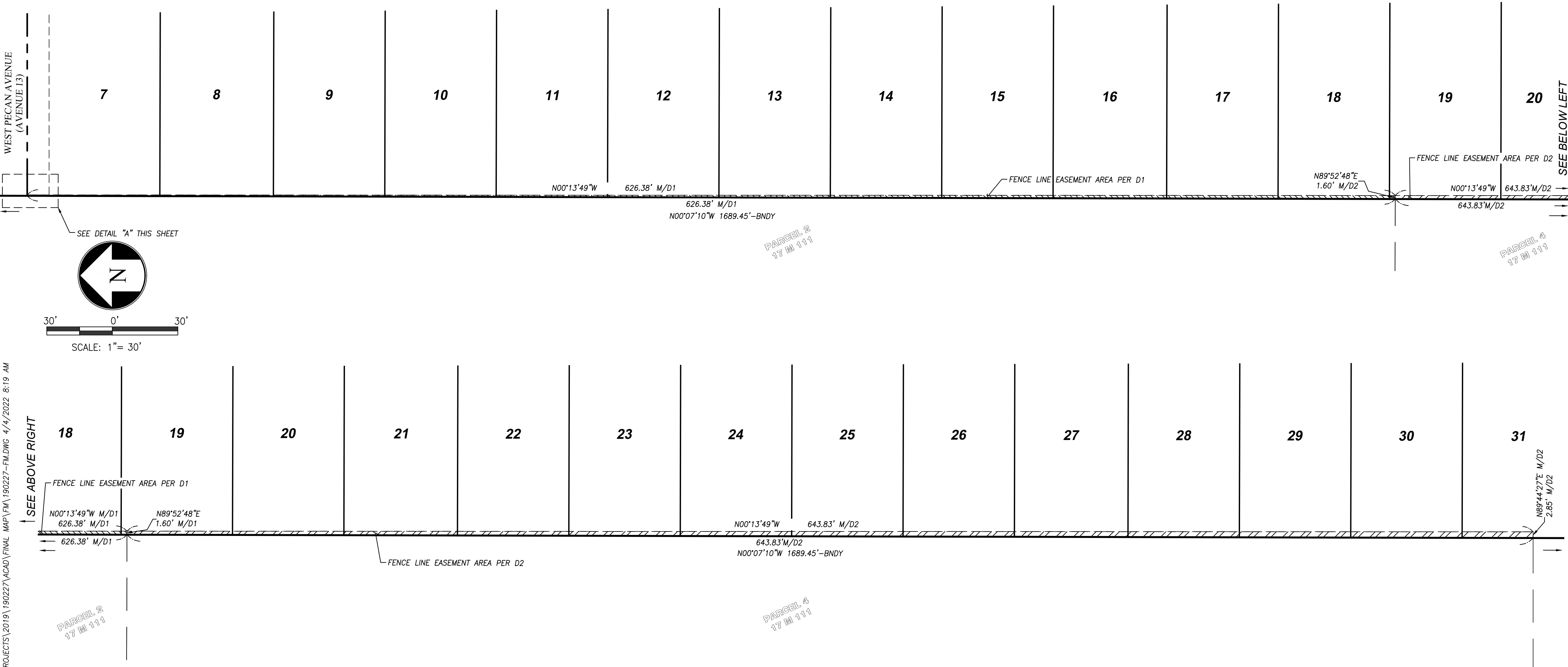
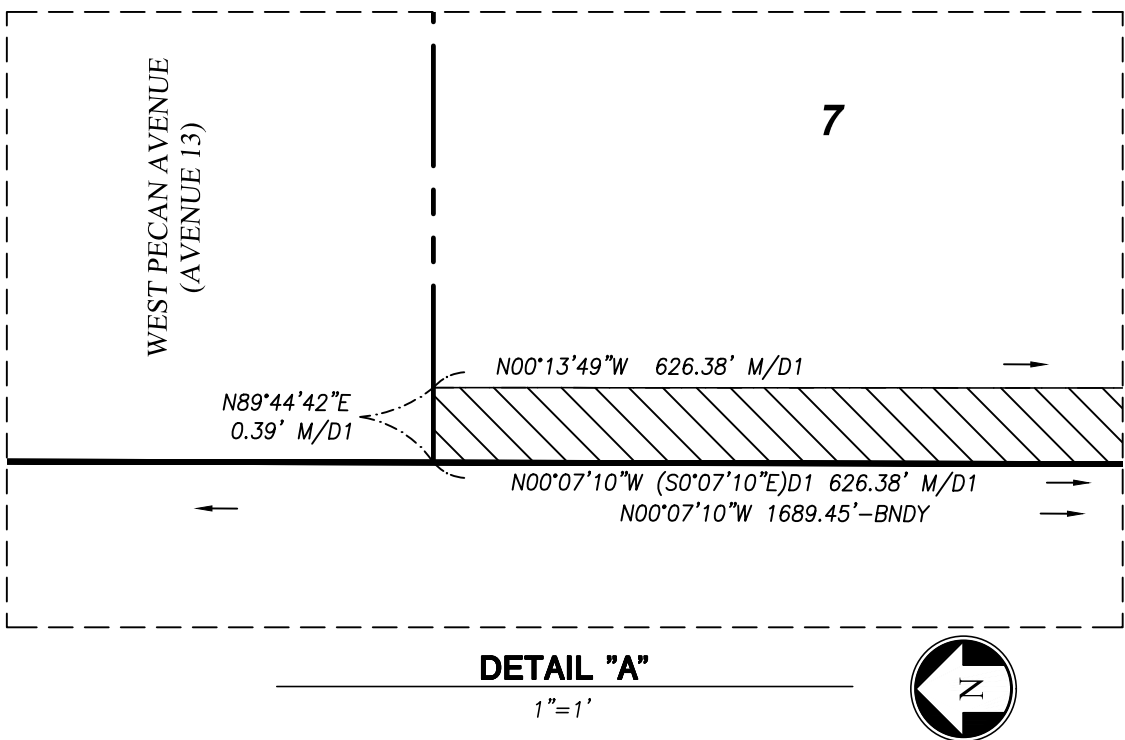
SEE SHEET 2 FOR BASIS OF BEARINGS AND OVERALL BOUNDARY,
EASEMENT DEDICATIONS, OUTLOT SCHEDULE, AND SHEET INDEX
SEE SHEET 3 FOR LEGEND APPLICABLE TO THIS SHEET



FINAL MAP OF TRACT NO. 20-S-02
PECAN SQUARE

A PORTION OF THE EAST HALF OF THE NORTHEAST QUARTER OF
SECTION 36, T.11S., R.19E., MOUNT DIABLO BASE AND MERIDIAN,
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JANUARY 2022

EASEMENT REFERENCES	
D1	D.N. 2021-004864, O.R.M.C.
D2	D.N. 2021-004863, O.R.M.C.



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SEE SHEET 2 FOR BASIS OF BEARINGS AND OVERALL BOUNDARY,
EASEMENT DEDICATIONS, OUTLOT SCHEDULE, AND SHEET INDEX
SEE SHEET 3 FOR LEGEND APPLICABLE TO THIS SHEET