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DEVELOPMENT REGULATIONS

6.1 Purpose and Intent

This chapter establishes the permitted uses and physical development standards and regulations for the planned development in The Villages at Almond Grove. The standards and regulations contained in this chapter shall supersede those of the Madera Municipal Code, unless otherwise stated herein. If this Plan is silent on an issue, then the standards in the Madera Municipal Code or other applicable City, State or federal code regulation or standard shall apply, as appropriate.

Where the language in this Plan is undefined, and is not otherwise defined by the City's Municipal Code, the final interpretation and determination shall be made by the City's Community Development Director or his/her designee. The provisions in this chapter are not intended to interfere with, abrogate or annul any existing easement, covenant or other agreement.

6.2 General Provisions

The Villages at Almond Grove Specific Plan and the City of Madera Zoning Map, as amended, designate the entire Plan Area as "Specific Plan (SP)." Pursuant to Section 10-3.12.501 of the MMC, Specific Plan Zones are intended to provide a framework for how to analyze project level development standards and permitted uses in the SP zone district. The allowed uses, allowed density, and required property development standards shall be as outlined in the applicable Specific Plan. Within this Specific Plan there are nine different overall land use districts, described as follows:

Residential

There are five residential land use districts. Each of the residential uses is listed as a separate classification in *Table 6.1, Permitted Uses*.

Village Country Estates (V-CE). This district includes conventional single-family detached residential development ranging in density from 0.1 to 2.0 dwelling units/acre (du/ac).

Village Low Density Residential (V-LDR). This district includes conventional single-family detached residential development ranging in density from 2.1 to 7.0 du/ac.

Village Medium Density Residential (V-MDR). This district includes a combination of single-family detached and multi-family development ranging in density from 7.1 to 15.0 du/ac.

Village High Density Residential (V-HDR). This district includes a combination of single-family detached and multi-family development ranging in density from 15.1 to 50.0 du/ac.

Mixed-use

Village Mixed-Use (V-MU). The V-MU district is designed to provide flexibility to respond to changing market conditions and consumer preferences, while allowing for innovation in design. The V-MU planning areas may be developed with one or more types of land uses, including higher density residential (0.0 to 50.0 du/ac), commercial, office, public and/or semi-public uses. For non-residential uses, the target intensity floor area ratio (FAR) is 0.35. Single-family detached homes shall not be permitted in the V-MU planning areas.

Industrial

Village Business Park (V-BP). The V-BP district accommodates industrial-serving commercial and office uses, and very light industrial uses, which may be developed at a target intensity of 0.2 FAR. Development within this land use district is typically multi-tenant in nature; however, single-tenant buildings are not precluded.

Parks, Recreation and Open Space

Village Parks & Recreation (V-PR). The V-PR district includes community parks, neighborhood parks, pocket parks, village paseos, neighborhood paseos, landscape corridors, and development edge buffers.

Village Open Space (V-OS). The V-OS district includes the preservation and enhancement of natural open space.

Public Facilities

Village Public Facilities (V-ES). The V-ES district includes elementary school sites and public facilities such as fire stations, libraries, museums, police stations, post offices, or other public and quasi-public facilities.

6.3 Permitted Uses

This section sets forth the uses permitted in each land use district within the Plan Area. The permitted uses are listed in *Table 6.1*. Other uses not specifically listed in this table may be permitted by the City's Community Development Director or his/her designee if the use is deemed to be consistent or similar in character with the District and are not detrimental to the neighborhood in which located than any use listed for District, unless such use is specifically listed in another District. At the discretion of the Community Development Director or his/her designee, the said use not specifically listed may be permitted by right, subject to a zoning administrator permit, subject to a use permit, or determined to be a prohibited use.

Table 6.1, Permitted Uses

Land Uses	Land Use Districts								
	V-CE	V-LDR	V-MDR	V-HDR	V-MU	V-BP	V-PR	V-OS	V-ES
Residential, Child Day Care and Lodging Uses									
Single-family detached dwellings (includes duplexes ¹)	P	P	P	X	X	X	X	X	X
Multi-family attached dwellings	X	X	P	P	P	X	X	X	X
Multi-family attached dwellings, combined with Mixed-Use	X	X	X	X	P	X	X	X	X
Home occupations ²	P	P	P	P	P	X	X	X	X
Independent living and assisted living residential facilities	C	C	C	C	P	X	X	X	X
Live/work development ³	X	X	X	X	P	X	X	X	X
Model homes	P	P	P	P	P	X	X	X	X
Nursing homes and convalescent facilities	X	X	C	C	C	X	X	X	X
Sales and leasing offices and trailers	P	P	P	P	P	X	X	X	X
Public and Semi-Public Uses									
Colleges and universities	X	X	X	X	C	P	X	X	C
Fire stations	P	P	P	P	P	P	X	X	P
Libraries and museums	X	X	X	X	P	X	X	X	P
Police stations	X	X	X	X	P	C	X	X	P
Post offices	C	C	C	C	P	X	X	X	P
Public utility buildings and uses, excluding equipment yard, warehouses or repair shops	C	C	C	C	P	P	C	C	C
Religious institutions and places of worship (e.g., churches, synagogues, mosques, temples)	C	C	C	C	C	C	X	X	X
Schools, K-12, private	C	C	C	C	C	C	X	X	C
Schools, K-12, public	P	P	P	P	P	P	X	X	P
Schools, vocational	X	X	X	X	P	P	X	X	X

¹ Duplexes are allowed by right on corner lots where permitted.

² Home occupation uses as defined and regulated by Title 10, Chapter 3.405H of the Madera Municipal Code

³ Live/work development as defined and regulated by Section 6.4.5 of this Specific Plan

Land Uses	Land Use Districts								
	V-CE	V-LDR	V-MDR	V-HDR	V-MU	V-BP	V-PR	V-OS	V-ES
Office and Health Care Uses									
Business and professional offices	X	X	X	X	P	P	X	X	X
Hospitals	X	X	X	X	P	X	X	X	X
Medical and dental offices	X	X	X	X	P	P	X	X	X
Research and development; provided, however, that such uses must occur entirely within an enclosed building	X	X	X	X	P	P	X	X	X
Veterinary clinics and animal hospitals	X	X	X	X	P	P	X	X	X
Commercial Uses									
Apparel and jewelry stores	X	X	X	X	P	X	X	X	X
Automobile body, paint, maintenance and/or repair shops	X	X	X	X	C	C	X	X	X
Automobile parts stores, retail only	X	X	X	X	P	X	X	X	X
Automobile and motorcycle sales and rentals	X	X	X	X	C	X	X	X	X
Automobile service stations, not including major repair or overhaul	X	X	X	X	C	X	X	X	X
Bakeries and delicatessens	X	X	X	X	P	C	X	X	X
Bars, taverns and cocktail lounges	X	X	X	X	C	X	X	X	X
Barber shops, beauty, nail and tanning salons and similar uses	X	X	X	X	P	X	X	X	X
Car wash facilities	X	X	X	X	C	X	X	X	X
Coffee shops, ice cream/yogurt shops	X	X	X	X	P	P	X	X	X
Convenience stores	X	X	X	X	P	C	X	X	X
Dance clubs or live entertainment	X	X	X	X	C	X	X	X	X
Department stores	X	X	X	X	P	X	X	X	X
Drug stores and pharmacies	X	X	X	X	P	X	X	X	X
Electronic goods stores	X	X	X	X	P	X	X	X	X
Financial institutions (banks, title companies, savings and loans)	X	X	X	X	P	X	X	X	X
Food/grocery stores	X	X	X	X	P	X	X	X	X
Furniture stores	X	X	X	X	P	X	X	X	X
Gas stations	X	X	X	X	C	C	X	X	X
Gift shops	X	X	X	X	P	X	X	X	X

Land Uses	Land Use Districts								
	V-CE	V-LDR	V-MDR	V-HDR	V-MU	V-BP	V-PR	V-OS	V-ES
Hardware stores	X	X	X	X	P	X	X	X	X
Heavy equipment sales and service	X	X	X	X	C	X	X	X	X
Home improvement centers	X	X	X	X	C	X	X	X	X
Household appliance stores	X	X	X	X	P	X	X	X	X
Laundromats and dry cleaners	X	X	X	X	P	X	X	X	X
Liquor stores	X	X	X	X	C	X	X	X	X
Miscellaneous services such as travel services, photo developing, shoe repair, bicycle repair and similar uses	X	X	X	X	P	C	X	X	X
Mortuaries and funeral homes (excludes crematories)	X	X	X	X	C	X	X	X	X
Music stores	X	X	X	X	P	X	X	X	X
Nursery plant sales, retail only	X	X	X	X	C	X	X	X	X
Pet grooming	X	X	X	X	P	X	X	X	X
Photographic studios	X	X	X	X	P	P	X	X	X
Postal annex	X	X	X	X	P	P	X	X	X
Printing, blueprinting and copy services	X	X	X	X	P	P	X	X	X
Restaurants and cafeterias, with or without outdoor seating	X	X	X	X	P	C	X	X	X
Restaurants, fast food (without drive-thru)	X	X	X	X	P	X	X	X	X
Restaurants, fast food (with drive-thru)	X	X	X	X	C	X	X	X	X
Stationery stores	X	X	X	X	P	X	X	X	X
Theaters, live or motion picture	X	X	X	X	P	X	X	X	X
Toy stores	X	X	X	X	P	X	X	X	X
Recreation Uses									
Bowling alleys and pool or billiard halls	X	X	X	X	P	X	X	X	X
Community centers and recreation centers	C	C	C	P	P	X	P	X	C
Cultural centers and performing arts centers	X	X	X	X	P	X	X	X	X
Equestrian centers, rings and stables	C	X	X	X	X	X	X	X	X
Health clubs, martial arts studios, yoga studios, dance studios and similar uses	X	X	X	X	P	C	C	X	X

Land Uses	Land Use Districts								
	V-CE	V-LDR	V-MDR	V-HDR	V-MU	V-BP	V-PR	V-OS	V-ES
Indoor commercial recreation uses, such as miniature golf, batting cages, kiddie rides, rock climbing, skating rings, roller hockey, and similar attractions	X	X	X	X	P	C	X	X	X
Open space	P	P	P	P	P	P	P	P	P
Outdoor commercial recreation uses, such as miniature golf, batting cages, kiddie rides, skateboard, and similar attractions, lighted or unlighted	X	X	X	X	C	X	C	X	X
Parks and playgrounds	P	P	P	P	P	X	P	P	P
Swimming Club ⁴	P	P	P	P	P	X	X	X	X
Sports fields and turf play areas	C	C	C	C	P	X	P	X	P
Tennis clubs and similar recreation uses, lighted and unlighted	C	C	C	C	P	X	P	X	P
Trails (bicycle, equestrian, multi-purpose and hiking) and paseos	P	P	P	P	P	P	P	P	P
Accessory Buildings and Uses⁵									
Antennas and satellite dishes	P	P	P	P	P	P	P	X	P
Fences and walls	P	P	P	P	P	P	P	P	P
Solar (photovoltaic) panels in conjunction with a primary or accessory building (must be roof mounted)	P	P	P	P	P	P	P	X	P
Swimming pools and spas, as an accessory use	P	P	P	P	P	X	P	X	P
Temporary Uses									
Construction trailers and storage	Z	Z	Z	Z	Z	Z	Z	X	Z
Farmers' markets	X	X	X	X	Z	X	Z	Z	Z
Holiday decoration sales (Christmas trees, Halloween pumpkins, etc.)	X	X	X	X	Z	Z	Z	X	Z
Outdoor concerts, art displays and similar uses	X	X	X	X	Z	Z	Z	Z	Z
Sidewalk sales	X	X	X	X	Z	X	Z	Z	Z

⁴ Swimming Club in residential districts are subject to regulations contained in Title 10, Chapter 3.502 of the Madera Zoning Code.

⁵ Accessory buildings and uses are subject to regulations contained in Title 10, Chapter 3.502 and 3.504, respectively, of the Madera Zoning Code, unless otherwise stated in this Specific Plan.

6.4 Land Use District Development Standards

This section sets forth the development standards for buildings located in each land use district. In addition to the standards in this section, general site planning and development standards applicable to the entire Plan Area are contained in Section 6.5, Village-wide General Development Standards.

The development standards included herein are intended to establish the minimum design parameters. The City may allow different standards proposed by a developer/builder during plan development and architectural review of a proposed project, precise plan and/or Tentative Map, provided that such alternative standards are consistent with the intent of The Villages at Almond Grove Specific Plan.

6.4.1 Village Country Estates (V-CE)

The development standards on *Table 6.2, V-CE Development Standards*, shall apply to conventional single-family detached homes in the Village Country Estates (V-CE) zone districts.

Additional V-CE Development Standards

- Plotting.** For each block or sub-phase of a tentative tract map, adjacent residences shall not have the same plan and elevation. Reverse footprints of the same plan are permitted, provided that they have different elevation styles and color schemes. Homes built on side-by-side lots shall not repeat more than one of the primary home features (floor plan, elevation, setback, or color). The range of different exterior house designs derived from combinations of different floor plans and elevations should be based on the total number of lots constructed within a block or subphase of a tentative tract map according to the following:

Number of Lots	Floor Plans/Elevations
1-75 Lots	3 Floor Plans with 3 Elevations each
75 – 150 Lots	4 Floor Plans with 3 Elevations each
Greater than 150 Lots	5 Floor Plans with 3 Elevations each
- Parking.** A minimum of two spaces shall be provided per unit in an enclosed garage. Garages shall be subordinate in visual importance to the house, especially for the entry. This may be achieved in a number of ways, such as locating garages toward the rear of properties, constructing alleys, constructing garages as separate structures from the house, placing the garage front or side facade from the front façade of the house. Side-entry garages shall be permitted. Three-car garages are permitted in any of the following configurations:
 - Side-by-side with the third space offset from the garage door face of the two spaces a minimum of 2’ or separated by living space;
 - the third space in a tandem configuration;
 - a combination of front entry and side entry spaces;
 - all three spaces in a side entry configuration;
 - all three spaces pushed back toward the rear of the lot (beyond the garage setback requirement);
 - or any other condition that de-emphasizes the presence of three-garage spaces on the street scene, subject to the Community Development Director’s approval.

Four-car garages are permitted; however, no more than three spaces may be visible from the street. Enclosures shall comply with all yard requirements. For accessory dwelling units, additional off-street parking space is not required; if provided the parking space may be uncovered or covered. RV parking shall be screened from view from the street and adjacent properties, parks, or open space.

Table 6.2, V-CE Development Standards

Development Standard	Single-Family (Detached)
Density Range	0.1 - 2.0 du/ac
Minimum Lot Area	10,000 SF
Maximum Lot Coverage: ¹	
Single-Story Homes	65%
Two-Story Homes	45%
Minimum Landscape Area ^{2,5}	40%
Lot Dimensions:	
Minimum Interior Lot Width	100'
Minimum Exterior Lot Width	105'
Minimum Curved/Cul-de-sac Frontage	50'
Minimum Lot Depth	100'
Minimum Yard Setbacks: ^{2,3}	
Front Yard, Facing the Street:	
Porch, Balcony or Deck	15'
Living Space	20'
Front Entry Garage	25'
Side Entry Garage	15'
Side Yard:	
Interior	5' min/10' aggregate on lots up to 10,000 SF 10' min/15' aggregate on lots greater than 10,000 SF
Street	15'
Rear Yard:	
Living Space	20'
Patio Cover, Balcony or Deck	10'
Accessory Structure Minimum Setbacks:	
Front Yard Facing the Street	Same as principal building
Side Yard:	
Interior	5'
Street	15'
Rear	5'
Maximum Building Height: ⁴	
Principal Building	2 stories, not to exceed 38'
Accessory Structure	1 story, not to exceed 18'

Footnotes:

¹ All roofed areas, including garage, carport, storage, porches, patios and accessory buildings.

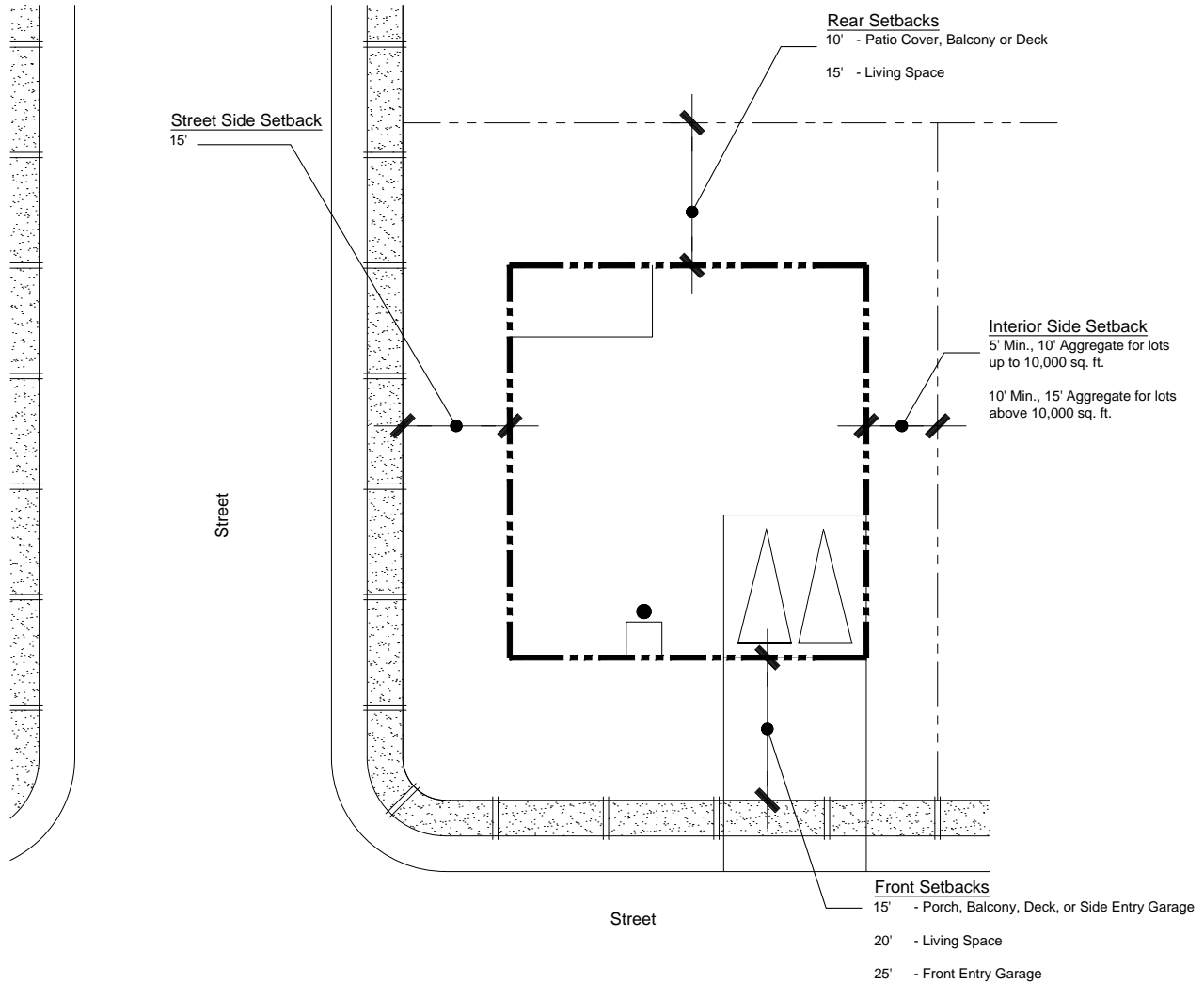
² Architectural projections such as roof overhangs, window trims, material veneers, shutter details, over framing for principal windows and recessed garage doors, and other similar elements may project a maximum of 1' into the required front, rear or side yard setback areas. Bay windows, chimneys, and media niches may project a maximum of 3' into front or rear setback.

³ Front, rear and street side yard setbacks measured from property line.

⁴ Architectural projections such as chimneys, cupolas, mezzanine space (500 sq. ft. max.) above the 2nd floor and other similar features may exceed the maximum permitted height by 10'.

⁵ Minimum landscape area requirement excludes driveway area.

Exhibit 6.1, V-CE Setback Diagram



Notes:

- Refer to Section 6.4.1 for additional development standard criteria and dimensions.
- All front and street side setbacks are measured from property line unless otherwise noted.
- Diagram is conceptual and shown for reference purposes only. Final building footprints and layout will vary.
- If any discrepancy occurs between diagram and table, then table shall prevail.

6.4.2 Village Low Density Residential (V-LDR)

The following development standards shall apply to conventional single-family detached homes and duplexes in the Village Low Density Residential (V-LDR) land use district.

Additional V-LDR Development Standards

1. **Plotting.** For each block or sub-phase of a tentative tract map, adjacent residences shall not have the same floor plan, elevation, setback, or color scheme. Reverse footprints of the same plan are permitted, provided that they have different elevation styles and color schemes. Houses built on side-by-side lots shall not repeat more than one of the primary home features (floor plan, elevation, setback, color scheme). The range of different exterior house designs derived from combinations of different floor plans and elevations should be based on the total number of lots constructed within a block or subphase of a tentative tract map according to the following:

Number of Lots	Floor Plans/Elevations
1-75 Lots	4 Floor Plans with 3 Elevations each
75 – 150 Lots	6 Floor Plans with 3 Elevations each
Greater than 150 Lots	8 Floor Plans with 3 Elevations each

2. **Parking.** A minimum of two spaces shall be provided per unit in an enclosed garage. Garages shall be subordinate in visual importance to the house, especially for the entry. This may be achieved in a number of ways, such as locating garages toward the rear of properties, constructing alleys, constructing garages as separate structures from the house, placing the garage front or side facade from the front façade of the house. Side-entry garages shall not be permitted on lots less than 50' wide. Three-car front facing garages are allowed on houses that are a minimum of 45' wide and must be configured in one of the following ways:
 - Side-by-side with the third space offset from the garage door face of the two spaces a minimum of 2' or separated by living space;
 - the third space in a tandem configuration;
 - a combination of front entry and side entry spaces;
 - all three spaces in a side entry configuration;
 - all three spaces pushed back toward the rear of the lot (beyond the garage setback requirement);
 - or any other condition that de-emphasizes the presence of three-garage spaces on the street scene, subject to the Community Development Director's or his/her designee's approval.

On houses that are less than 45' wide a third car space is permitted in a tandem configuration only. For accessory dwelling units, additional off-street parking space is not required; if provided the parking space may be uncovered or covered. Enclosures shall comply with all yard requirements.

Table 6.3, V-LDR Development Standards

Development Standard	Single-Family (Detached)
Density Range	2.1 - 7.0 du/ac
Minimum Lot Area	5,000 SF
Minimum Corner Lot Area	5,500 SF

Development Standard	Single-Family (Detached)
Maximum Lot Coverage ¹	55%
Minimum Landscape Area ^{2,5}	40%
Lot Dimensions:	
Minimum Interior Lot Width	45'
Minimum Exterior Lot Width	50'
Minimum Lot Depth	80'
Minimum Curved/Cul-de-sac Frontage	35'
Minimum Yard Setbacks: ^{2,3}	
Front Yard, Facing the Street:	
Porch, Balcony or Deck	10'
Living Space	13'
Front Entry Garage	20'
Side Entry Garage	10'
Side Yard:	
Interior	5'
Street	10'
Reverse Corner	15'
Rear Yard:	
Living Space not Adjacent to an Arterial, Collector, or Local Street	15'
Living Space Adjacent to an Arterial, Collector, or Local Street	20'
Living Space Adjacent to an Alley	5'
Patio Cover	5'
Balcony or Deck	5'
Rear Entry Garage	3' min. to 7' max. or 18' or greater
Accessory Structure Minimum Setbacks:	
Front Yard Facing the Street	Same as principal building, but never forward of the primary structure
Side Yard	Same as principal building
Rear Yard	5'
Maximum Building Height: ⁴	
Principal building	2 stories, not to exceed 38'
Accessory Structure	1 story, not to exceed 18'

Footnotes:

¹ All roofed areas, including garage, carport, storage, porches, patios and accessory buildings

² Architectural projections such as roof overhangs, window trims, material veneers, shutter details, over framing for principal windows and recessed garage doors, and other similar elements may project a maximum of 1' into the required front, rear or side yard setback areas. Bay windows, chimneys, and media niches may project a maximum of 3' into front or rear setback.

³ Front, rear and street side yard setbacks measured from property line.

⁴ Architectural projections such as chimneys, cupolas, mezzanine space (250 sq. ft. max.) above the 2nd floor, and other similar features may exceed the maximum permitted height by 10'.

⁵ Minimum landscape area requirement excludes driveway area.

Exhibit 6.2a, V-LDR (Conventional) Setback Diagram

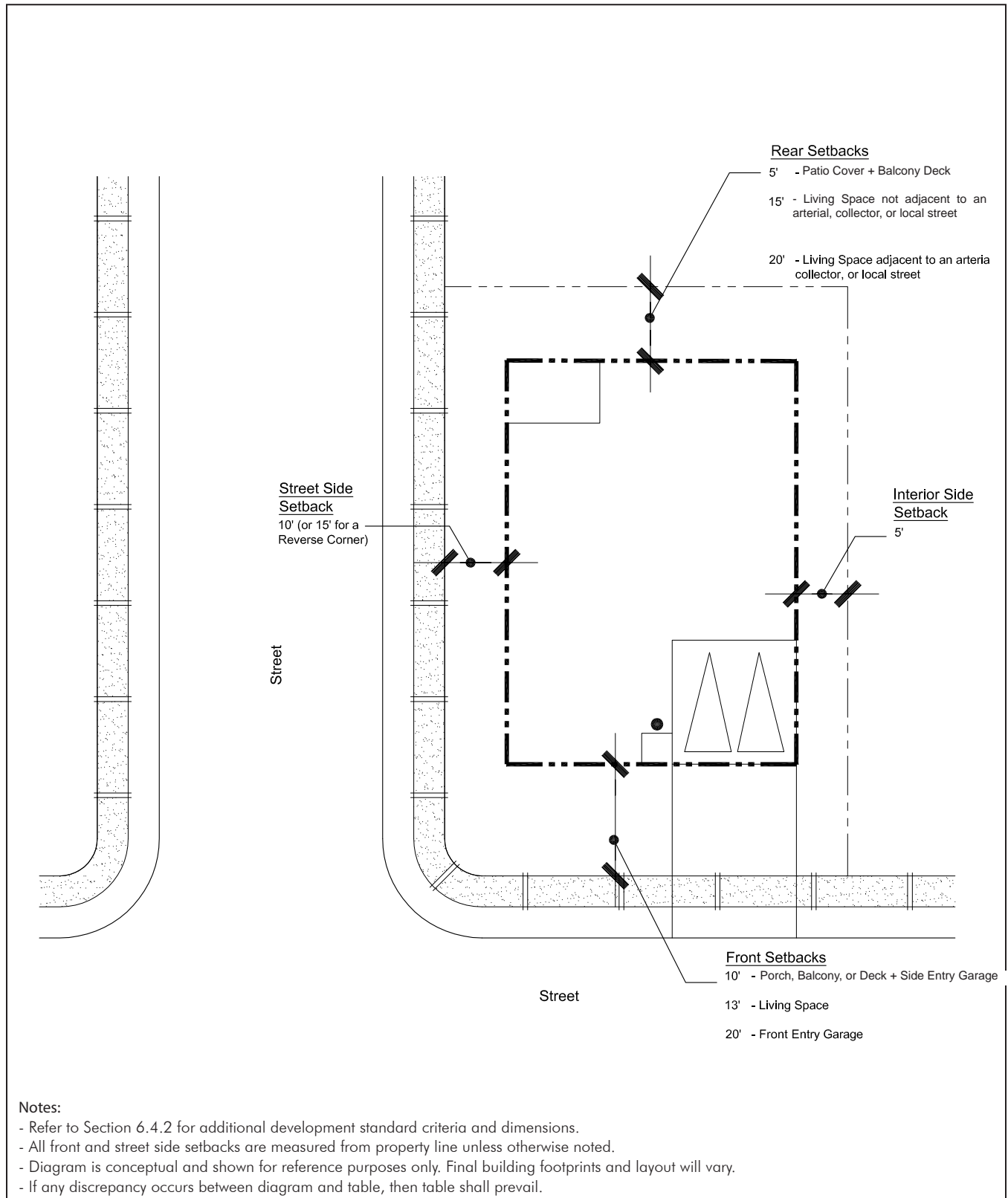
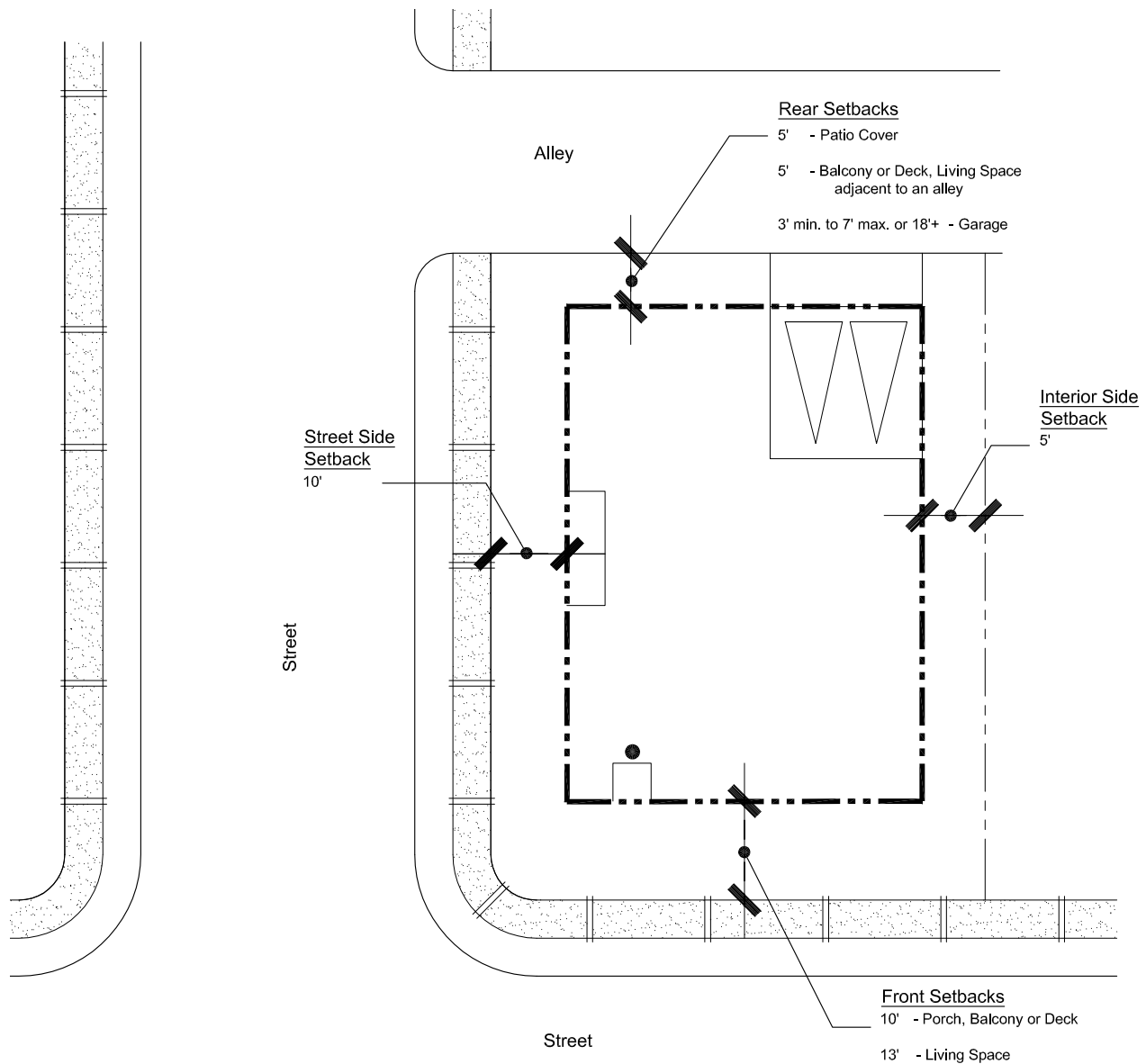


Exhibit 6.2b, V-LDR (Rear Loaded) Setback Diagram



Notes:

- Refer to Section 6.4.2 for additional development standard criteria and dimensions.
- All front and street side setbacks are measured from property line unless otherwise noted.
- Diagram is conceptual and shown for reference purposes only. Final building footprints and layout will vary.
- If any discrepancy occurs between diagram and table, then table shall prevail.

6.4.3 Village Medium Density Residential (V-MDR)

Development in the Village Medium Density Residential (V-MDR) district will consist of various types of single-family and multi-family products including, but are not limited to, conventional detached homes, rear-loaded homes, cluster homes, duplexes, triplexes, townhomes, and flats (apartments/condos). The following development standards shall apply to development in the V-MDR planning areas.

Additional V-MDR Development Standards

1. **Plotting.** There are no specific plotting requirements for multi-family residential within the V-MDR. When proposing single family detached residential refer to the plotting requirements under V-LDR.
2. **Parking.** A minimum of one space shall be provided per unit in an enclosed garage. Garages shall be subordinate in visual importance to the house, especially for the entry. This may be achieved in a number of ways, such as locating garages toward the rear of properties, constructing alleys, constructing garages as separate structures from the house, placing the garage front or side facade from the front façade of the house. Tandem garages shall be permitted. Side-entry garages shall not be permitted on lots narrower than 50' in width. Enclosures shall comply with all yard requirements. In addition to resident parking, one guest parking space shall be provided for every 5 dwelling units, or portion thereof. On-street parking for guest parking shall be permitted along private streets in parallel and/or perpendicular parking configurations, subject to City of Madera Fire Department requirements.
3. **Common Outdoor Open Space.** For multi-family attached, a minimum of 100 square feet of common outdoor open space shall be provided for each dwelling unit (excluding private balconies, patios and yards). The minimum dimensions of the common open space shall be 10' in each direction. Public or private driveways, parking areas, required trash areas or other areas designed for operational functions shall not be considered open space. Common open space areas may include, but are not limited to, turf areas, landscaped areas, hardscaped areas (excluding parking areas and public/private driveways), gardens, sitting areas, game courts, swimming pools, spas, sauna baths, tennis courts, basketball courts, tot lots and playgrounds, bocce ball courts, outdoor cooking areas, lawn bowling, and other similar recreational facilities.

Table 6.4, V-MDR Development Standards ^{6,7}

Development Standard	Single-Family (Detached) & Single-Family (Attached, i.e. Duplex or Duet)	Multi-Family (Attached)
Density Range	7.1 - 15.0 du/ac	
Minimum Lot Area	2,780 SF/unit	1,600 SF/unit
Maximum Lot Coverage	75%	
Lot Dimensions:		
Minimum Lot Width	32'	24'
Minimum Lot Depth	58'	
Minimum Yard Setbacks: ^{1, 2}		
Front Yard, Facing the Street:		
Porch, Balcony or Deck	8'	
Living Space	10'	
Front Entry Garage	20'	
Front yard, Facing a Paseo or Green Court: ^{4, 5}		
Porch, Balcony or Deck	0'	
Living Space	5'	10'
Setback from Alley:		
Balcony or Deck	3'	
Living Space	3'	
Garage	3' min. to 7' max. or 20' or greater	3' min. to 7' max. or 20' or greater
Side Yard:		
Interior	6' min. house-to-house 3' min. to property line	10' min. building-to-building 5' min. to property line
Street	10'	
Rear Yard:		
Living Space not Adjacent to an Arterial, Collector, or Local Street	5'	10'
Living Space Adjacent to an Arterial, Collector, or Local Street	15'	
Living Space Adjacent to an Alley	5'	
Patio Cover, Balcony or Deck	3'	3' if adjacent to alley; otherwise 7.5'
Minimum Common Open Space	0	100 SF/unit
Minimum Private Open Space	100 SF (6' min. dimension)	50 SF/unit (6' min. dimension)
Minimum Spacing Between Buildings	6'	10'

Development Standard	Single-Family (Detached) & Single-Family (Attached)	Multi-Family (Attached)
Accessory Structure Minimum Setbacks:		
Front	Same as principal building, but never forward of primary structure	
Side	Same as principal building	
Rear	3'	
Maximum Building Height: ³		
Principal Building	3 stories, not to exceed 40'	3 stories, not to exceed 45'
Accessory Building	1 story, not to exceed 18'	
Minimum Product Paseo Width ⁵	15'	
Minimum Green Court Width ⁵	25'	

Footnotes:

- ¹ Architectural projections such as roof overhangs, window trims, material veneers, shutter details, over framing for principal windows and recessed garage doors, and other similar elements may project a maximum of 1' into the required sideyard setback areas.
- ² Front and street side yard setbacks measured from property line.
- ³ Architectural projections such as chimneys, cupolas, mezzanine space (250 sq. ft. max. per unit) above the 2nd floor, and other similar features may exceed the maximum permitted height by 10'.
- ⁴ Paseos include neighborhood level paseos, village level paseos and product level paseos within a development parcel.
- ⁵ Paseos and green courts may be common lots or defined use easements. For common lots, the setbacks shall be measured from the property line separating the common lot from the adjacent private lot. For use easements, the setbacks shall be measured from the defined edge of the easement on the interior portion of the lot.
- ⁶ Residential products may utilize Reciprocal Use Easements, subject to building code requirements. The side of a unit which forms the "0" side of the dwelling shall not have any doors or primary windows on the ground floor that face into the easement area.
- ⁷ Residential products may be fee simple or condo mapped.

Exhibit 6.3a, V-MDR (Conventional) Setback Diagram

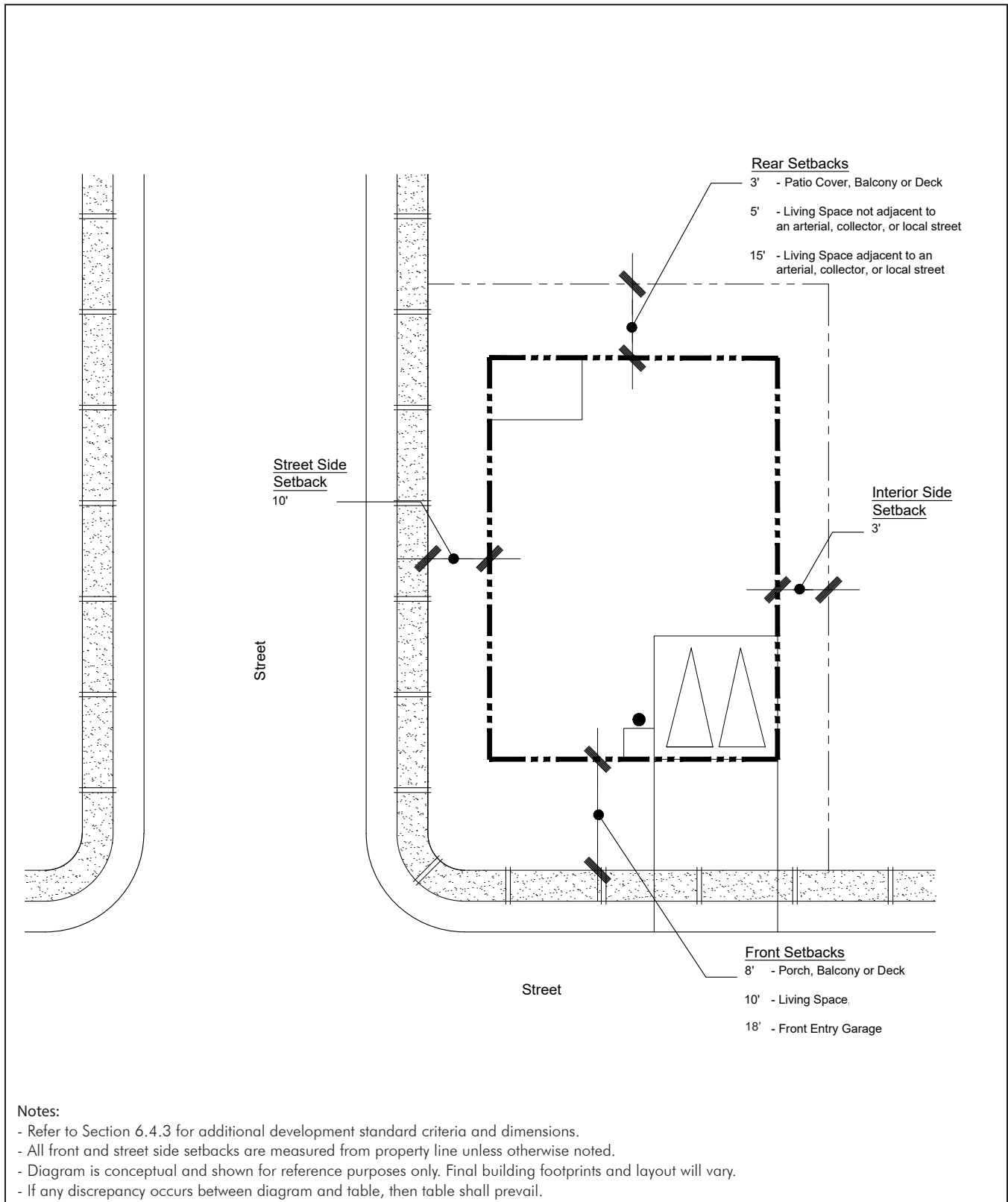


Exhibit 6.3b, V-MDR (Rear Loaded) Setback Diagram

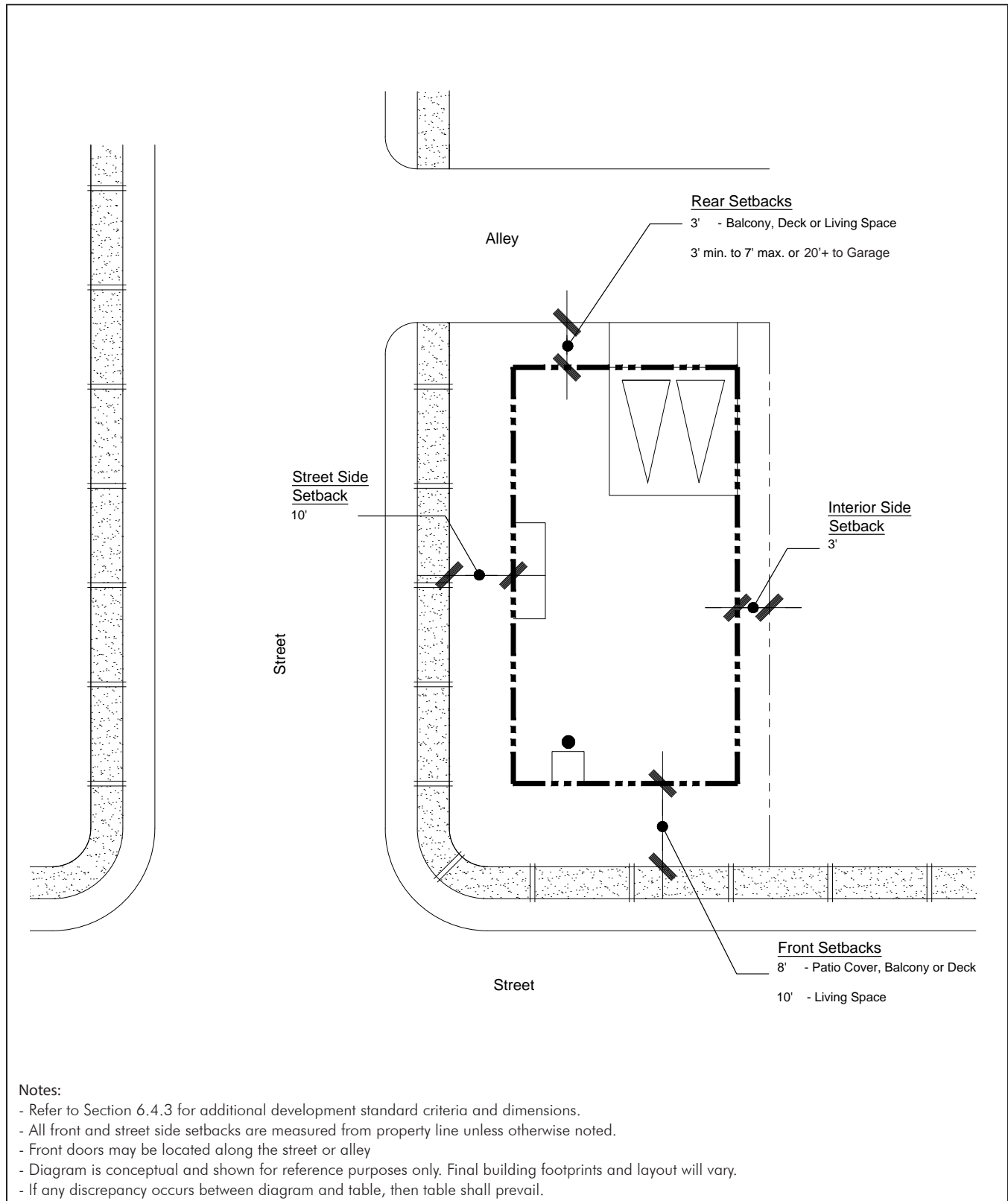


Exhibit 6.3c, V-MDR (Cluster) Setback Diagram

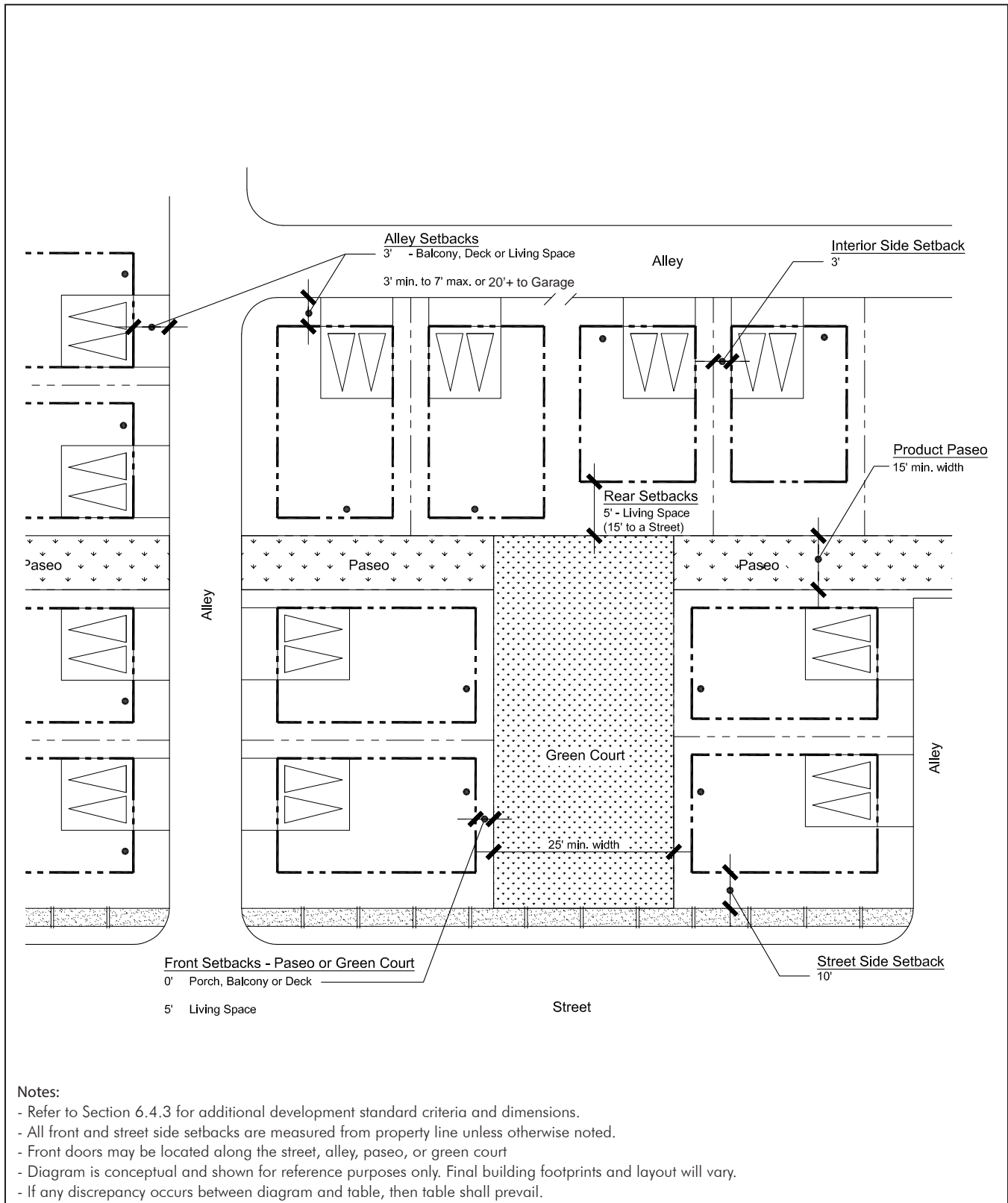


Exhibit 6.3d, V-MDR (Duplexes) Setback Diagram

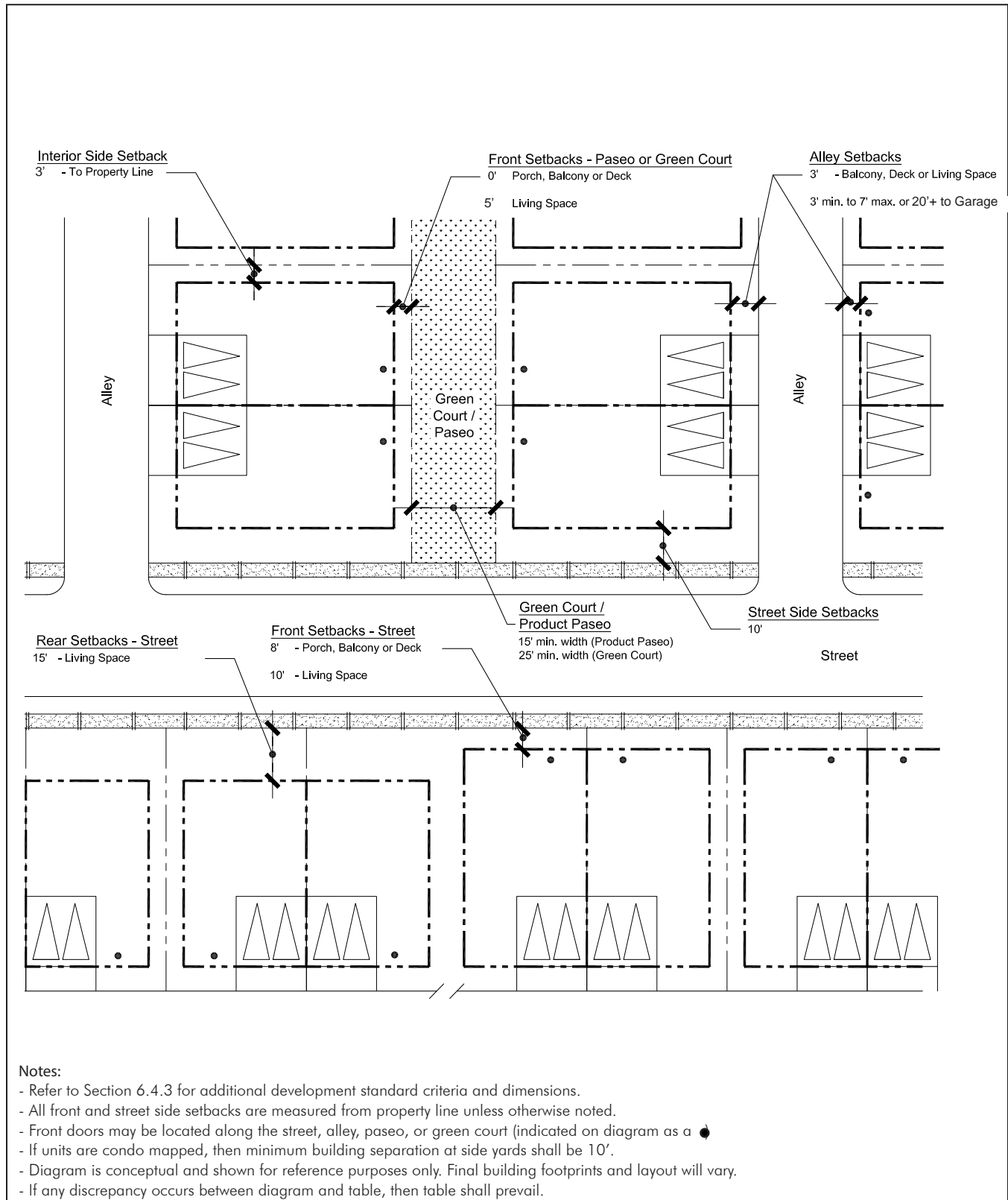
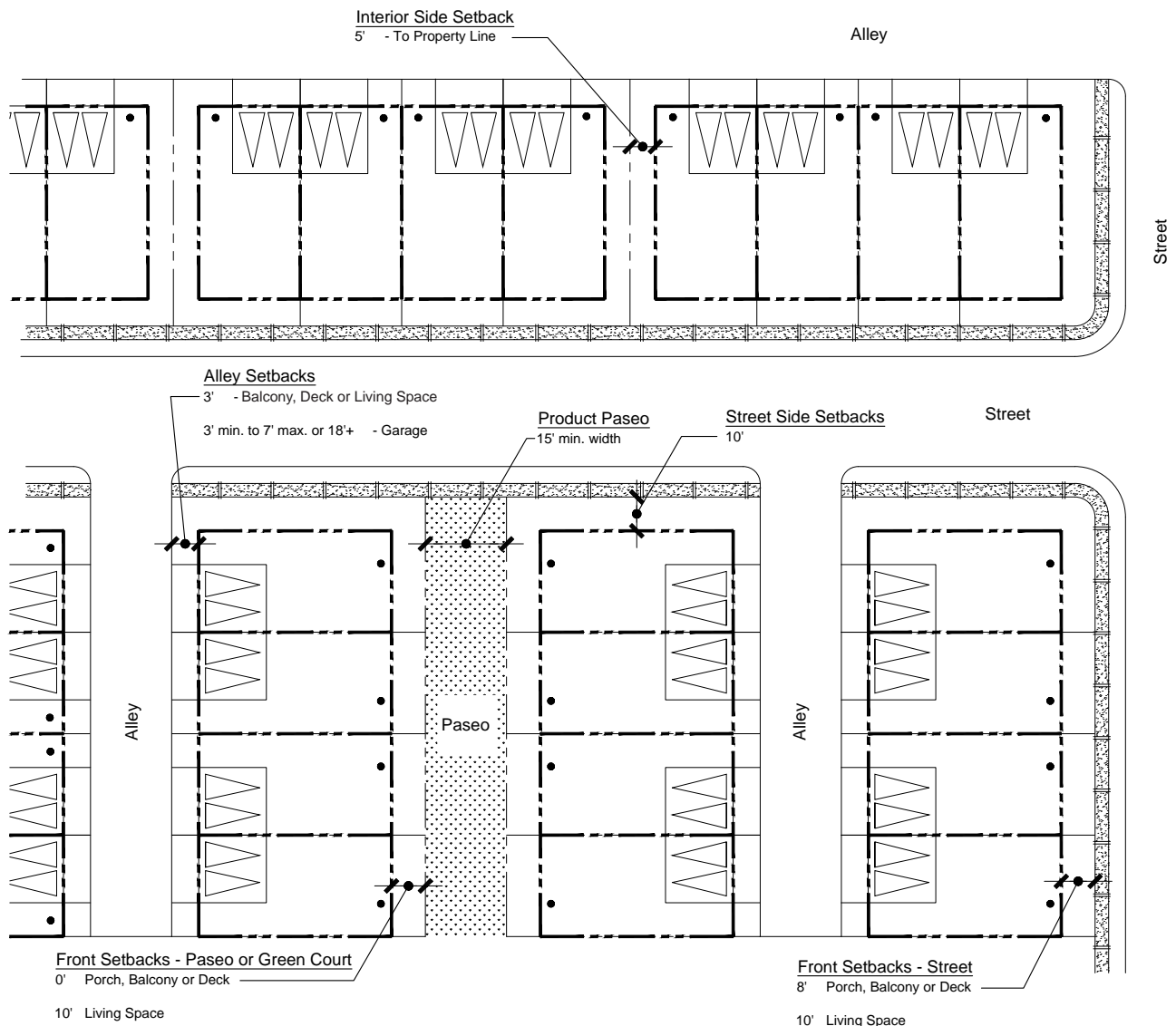


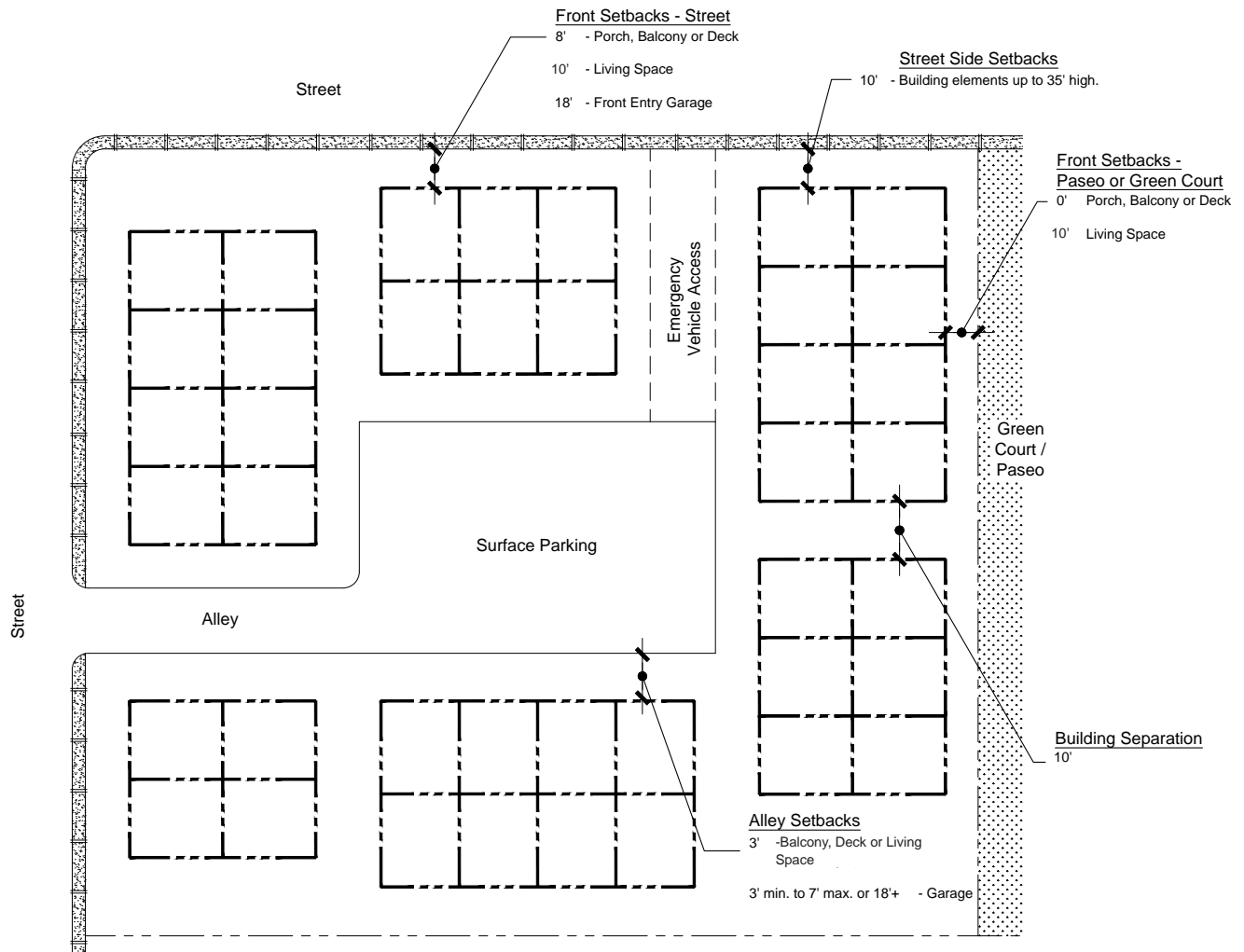
Exhibit 6.3e, V-MDR (Townhomes) Setback Diagram



Notes:

- Refer to Section 6.4.3 for additional development standard criteria and dimensions.
- All front and street side setbacks are measured from property line unless otherwise noted.
- Front doors may be located along the street, alley, paseo, or green court (indicated on diagram as a ●).
- Final layout will determine front, side and rear yard locations.
- If townhomes are condo mapped, then minimum building separation at side yards shall be 15'.
- Diagram is conceptual and shown for reference purposes only. Final building footprints and layout will vary.
- If any discrepancy occurs between diagram and table, then table shall prevail.

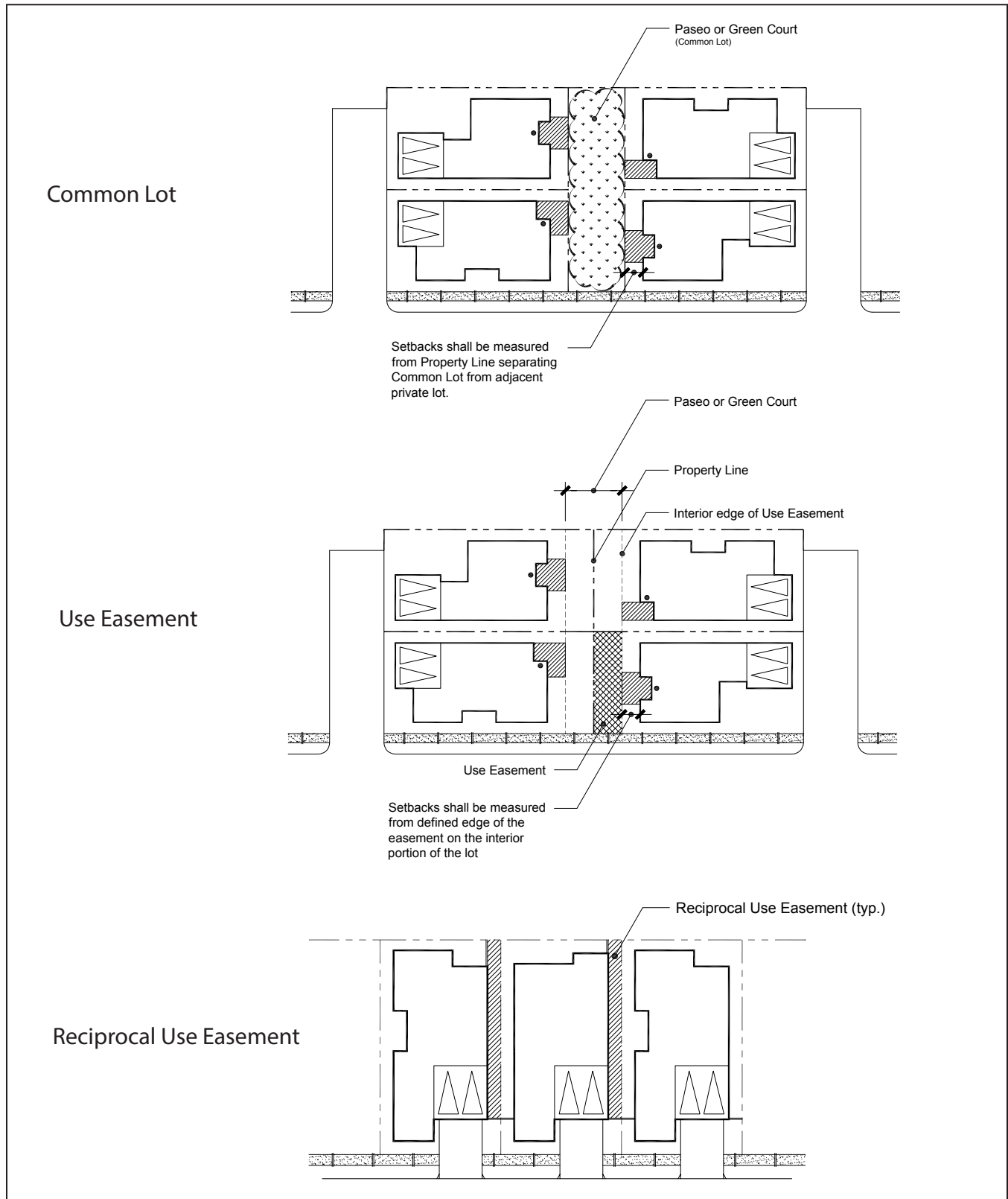
Exhibit 6.3f, V-MDR (Apartments/Condos) Setback Diagram



Notes:

- Refer to Section 6.4.3 for additional development standard criteria and dimensions.
- All front and street side setbacks are measured from property line unless otherwise noted.
- If units are condo mapped, then minimum building separation at side yards shall be 10'.
- Diagram is conceptual and shown for reference purposes only. Final building footprints and layout will vary.
- If any discrepancy occurs between diagram and table, then table shall prevail.

Exhibit 6.4, Typical Common Lot, Use Easement, and Reciprocal Use Easement



6.4.4 Village High Density Residential (V-HDR)

Development in the Village High Density Residential (V-HDR) district will consist of various types multi-family residential products including, but are not limited to, rear-loaded homes, cluster homes, duplexes (allowed on corner lots only) and triplexes, townhomes and flats. The following development standards shall apply to development in the V-HDR planning areas.

Additional V-HDR Development Standards

1. **Plotting.** There are no specific plotting requirements for the V-HDR district.

2. **Parking.** Minimum parking requirements shall be as follows:

- Studios, 1-bedroom, and 2-bedroom units: 1 covered space and 0.5 uncovered space
- 3-bedroom units and greater: 2 covered spaces and 0.5 uncovered space
- Guest parking: 1 space for every 5 units

Enclosures shall comply with all yard requirements. Tandem garages shall be permitted. On-street parking along private streets may be counted in the tabulation of guest spaces.

3. **Laundry Facilities.** Either centralized laundry facilities with washers and dryers shall be installed in one or more central locations within each multi-family residential complex or hookups to accommodate washers and dryers shall be installed in each multi-family dwelling unit. The developers or builders shall determine which option to implement on a case-by-case basis.

4. **Common Outdoor Open Space.** Common outdoor open space shall be provided as follows:

- Duplexes/triplexes and townhomes - minimum 150 square feet per dwelling unit (excluding private balconies, and patios); minimum dimensions shall be 10' in each direction
- Flats - minimum 150 square feet per dwelling unit (excluding private balconies, and patios); minimum dimensions shall be 15' in one direction

Public or private driveways, parking areas, required trash areas or other areas designed for operational functions shall not be considered open space. Common open space areas may include, but are not limited to, turf areas, landscaped areas, hardscaped areas (excluding parking areas and public/private driveways), gardens, sitting areas, game courts, swimming pools, spas, sauna baths, tennis courts, basketball courts, play lots, bocce ball courts, outdoor cooking areas, lawn bowling, and other similar recreational facilities. Green Court products may calculate the green court area toward the common open space requirement.

5. **Pedestrian Walkways.** A pedestrian circulation system shall be incorporated into the design of multi-family developments for the purpose of providing direct access to and from all individual dwelling units, trash storage areas, parking areas, recreational facilities and all other outdoor areas. This system shall be developed with a combination of the following development standards:

- a. A sidewalk system shall be provided adjacent to all streets and installed in accordance with City standards.

- b. An interior walkway system with a minimum of 4' wide walkways shall be provided. Walkway systems shall utilize materials such as concrete, brick, flagstone or other materials approved by the City.
6. **Trash Collection Areas.** Trash collection areas for multi-family development should, in general, be located within 200' of the furthest dwelling unit they serve. Consideration shall be given to siting trash collection areas for convenient access, but with care given to avoid impacting important design features such as, but not limited to, entries, recreation areas, leasing offices and clubhouses. Trash collection areas shall be constructed to City standards and situated so as to reduce noise and visual intrusion on adjacent units and properties.
7. **Lighting Devices.** Lighting devices for multi-family development shall be provided as follow:
- a. All exterior lighting shall be adequately controlled and shielded to prevent glare and undesirable illumination to adjacent properties or streets.
- b. The use of energy-conserving and vandal-resistant fixtures or lighting systems shall be given primary consideration.

Table 6.5, V-HDR Development Standards ^{6, 7}

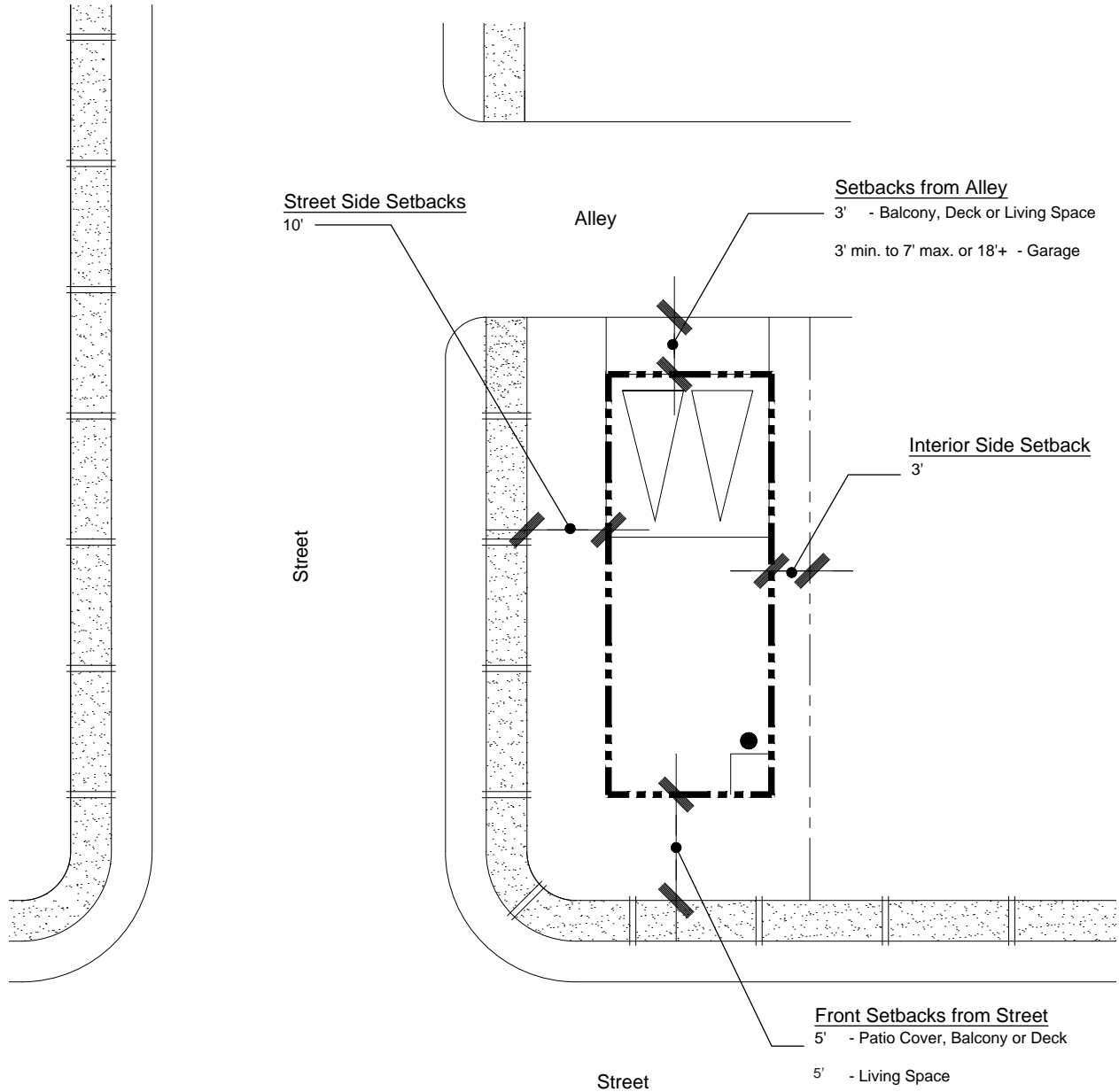
Development Standard	Single-Family (Detached) & Single-Family (Attached)	Multi-Family (Attached)
Density Range	15.1 - 50.0 du/ac	
Minimum Lot Area	1,600 SF/unit	1,200 SF/unit
Maximum Lot Coverage	75%	
Lot Dimensions:		
Minimum Lot Width	25'	--
Minimum Lot Depth	60'	
Minimum Yard Setbacks: ^{1,2}		
Front Yard, Facing the Street:		
Porch, Balcony or Deck	5'	8'
Living Space	5'	10'
Front entry garage	5' min. to 7' max. or 18' or greater	
Front Yard, Facing a Paseo or Green Court: ^{4,5}		
Porch, Balcony or Deck	0'	
Living Space	5'	8'

Development Standard	Single-Family (Detached) & Single-Family (Attached)	Multi-Family (Attached)
Setback from Alley:		
Balcony or Deck		3'
Living Space		3'
Garage		3' min. to 7' max. or 20' or greater
Side Yard:		
Interior	6' min. house-to-house 3' min. to property line	10' min. building-to-building 5' min. to property line
Street	10'	10' for building elements up to 35'. For building elements greater than 35', 1' of additional setback is required for each vertical foot over 35'
Rear Yard:		
Living Space not Adjacent to an Arterial, or Collector	5'	10'
Living Space Adjacent to an Arterial, or Collector	15'	20'
Minimum Common Open Space	0	150 SF/unit
Minimum Private Open Space	100 SF (6' min. dimension)	50 SF/unit (6' min. dimension)
Minimum Spacing Between Buildings	6'	10'
Maximum Building Height: ³		
Principal Building	3 stories, not to exceed 40'	4 stories, not to exceed 50'
Accessory Building	1 story, not to exceed 18'	
Minimum Product Paseo Width ⁵	10'	15'
Minimum Green Court Width ⁵	25'	30'

Footnotes:

- ¹ Architectural projections such as roof overhangs, window trims, material veneers, shutter details, over framing for principal windows and recessed garage doors, and other similar elements may project a maximum of 1' into the required sideyard setback areas.
- ² Front and street side yard setbacks measured from property line. Bay windows, chimneys, and media niches may project a maximum of 2' into the required front or rear yard setback areas.
- ³ Architectural projections such as chimneys, cupolas, mezzanine space (250 sq. ft. max. per unit) above the 2nd floor, and other similar features may exceed the maximum permitted height by 10'.
- ⁴ Paseos include neighborhood level paseos, village level paseos and product level paseos within a development parcel.
- ⁵ Paseos and green courts may be common lots or defined use easements. For common lots, the setbacks shall be measured from the property line separating the common lot from the adjacent private lot. For use easements, the setbacks shall be measured from the defined edge of the easement on the interior portion of the lot. See *Exhibit 6.4*.
- ⁶ Residential products may utilize Reciprocal Use Easements, subject to building code requirements. The side of a unit which forms the "O" side of the dwelling shall not have any doors or primary windows on the ground floor that face into the easement area. See *Exhibit 6.4*.
- ⁷ Residential products may be fee simple or condo mapped. If condo mapped, building separations shall be the equivalent of the combined yard setbacks otherwise required.

Exhibit 6.5a, V-HDR (Rear Loaded) Setback Diagram



Notes:

- Refer to Section 6.4.4 for additional development standard criteria and dimensions.
- All front and street side setbacks are measured from property line unless otherwise noted.
- Diagram is conceptual and shown for reference purposes only. Final building footprints and layout will vary.
- If any discrepancy occurs between diagram and table, then table shall prevail.

Exhibit 6.5b, V-HDR (Cluster) Setback Diagram

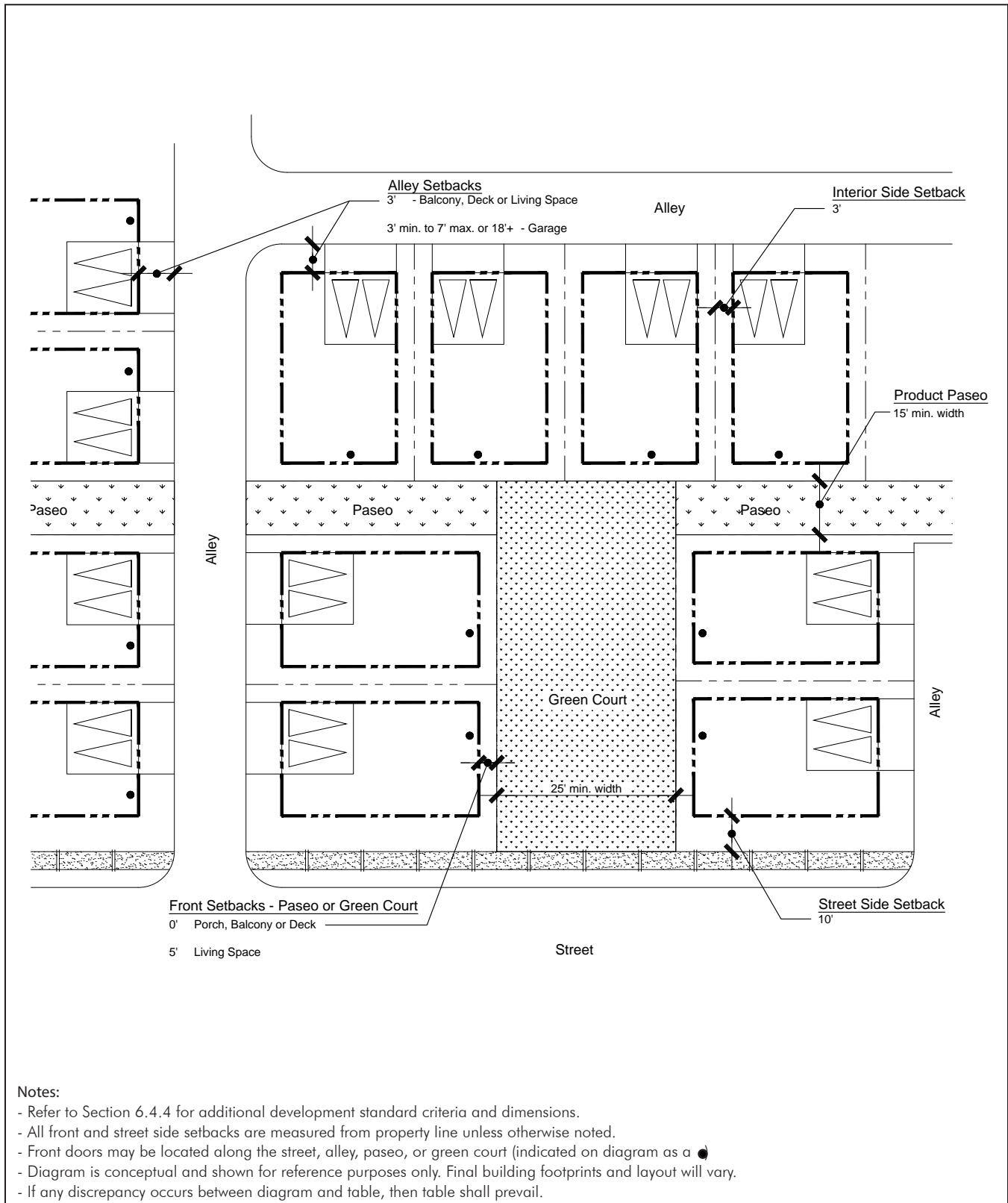


Exhibit 6.5c, V-HDR (Duplexes) Setback Diagram

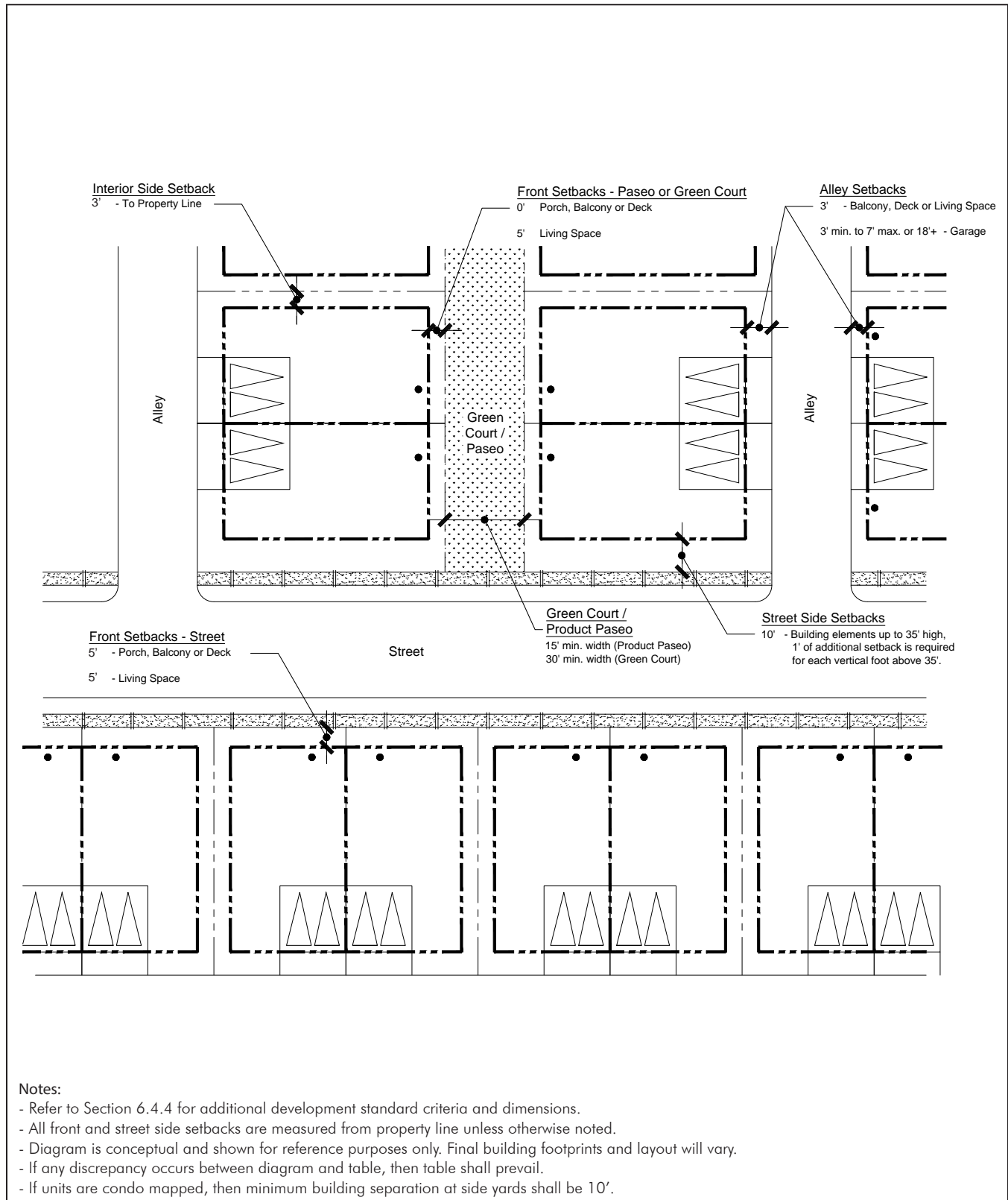
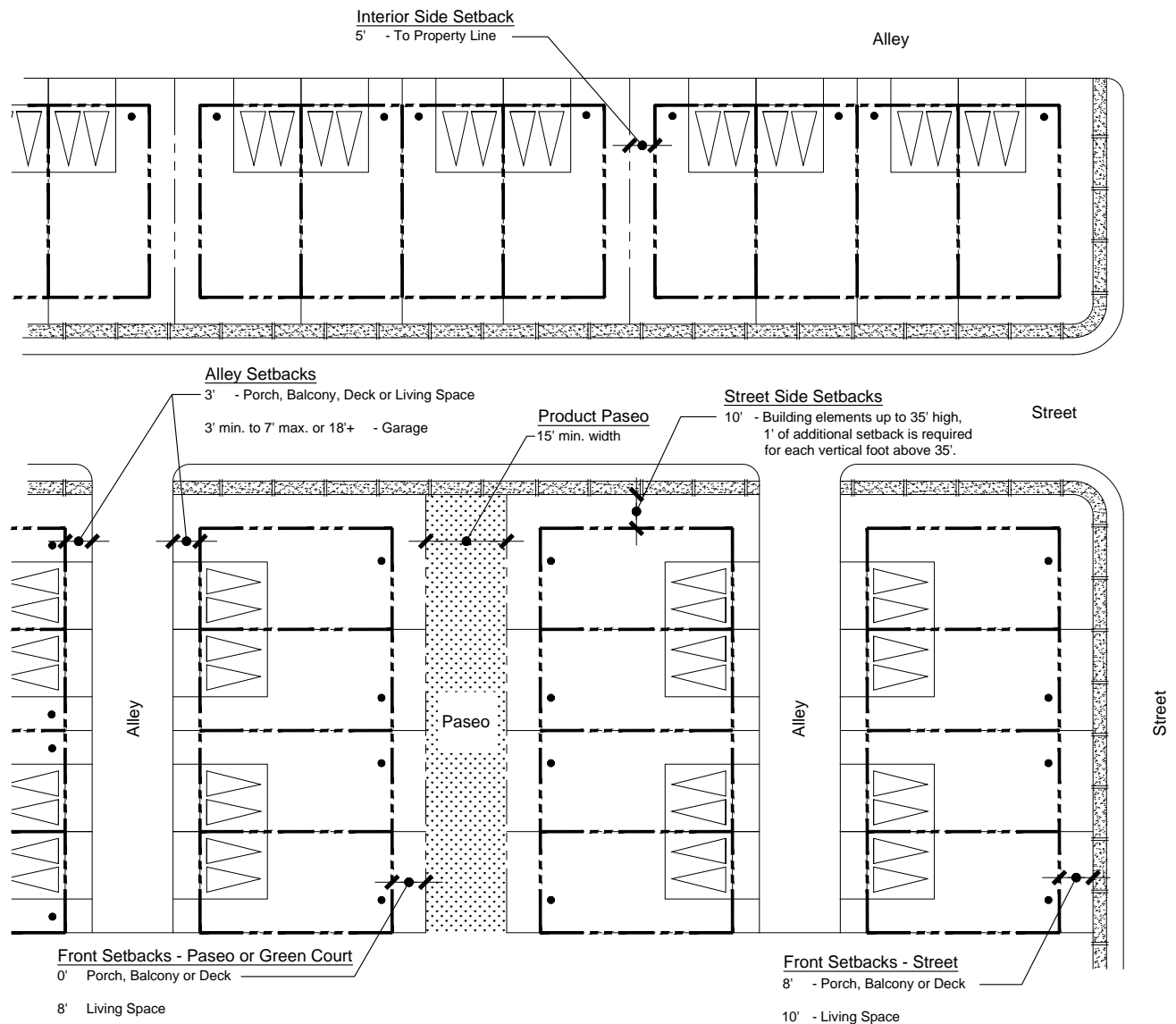


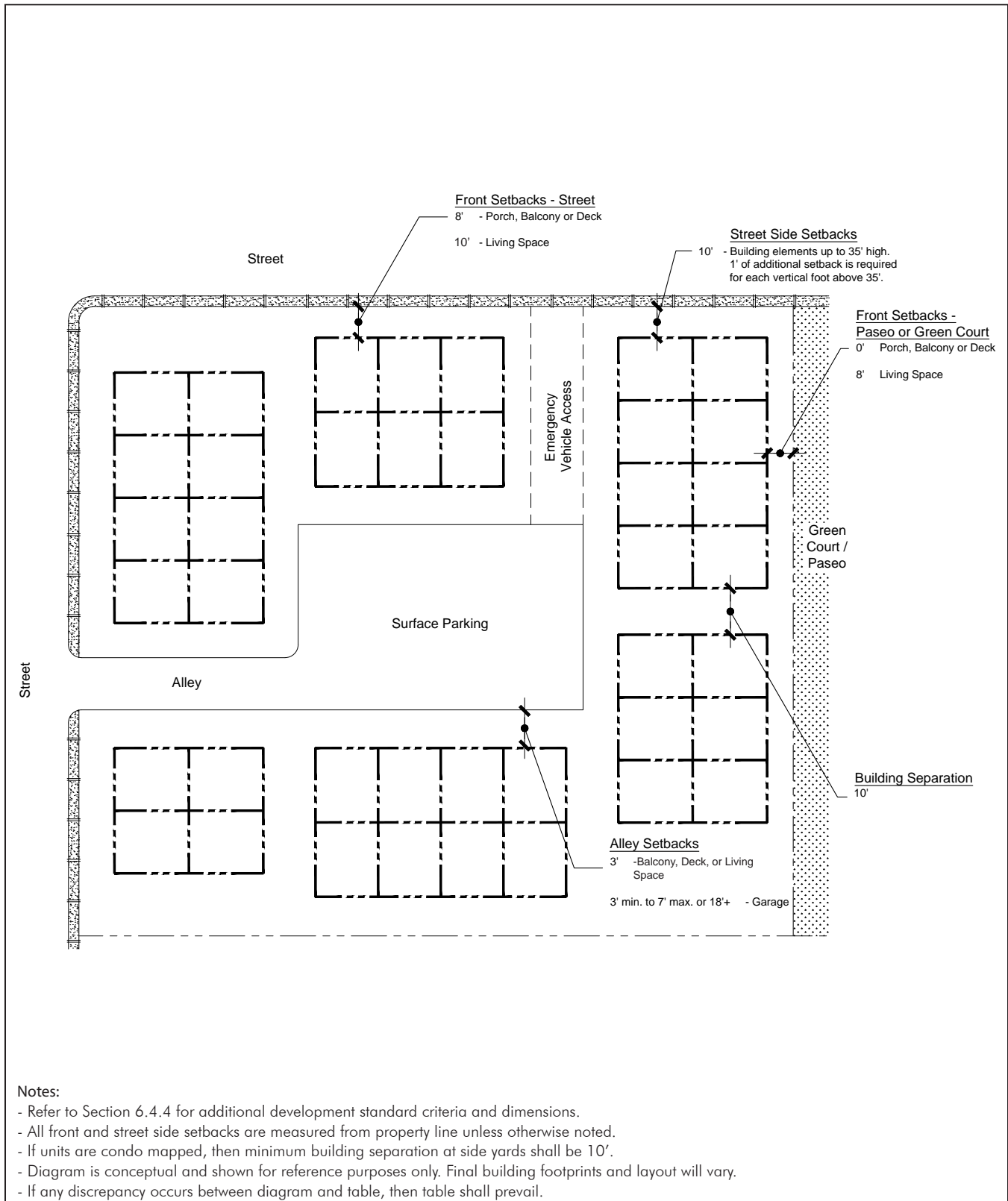
Exhibit 6.5d, V-HDR (Townhomes) Setback Diagram



Notes:

- Refer to Section 6.4.4 for additional development standard criteria and dimensions.
- All front and street side setbacks are measured from property line unless otherwise noted.
- Diagram is conceptual and shown for reference purposes only. Final building footprints and layout will vary.
- If any discrepancy occurs between diagram and table, then table shall prevail.
- If townhomes are condo mapped, then minimum building separation at side yards shall be 10'.

Exhibit 6.5e, V-HDR (Apartments/Condos) Setback Diagram



6.4.5 Village Mixed-Use (V-MU)

The Village Mixed-Use (V-MU) district permits a mixture of uses including, but not limited to, retail commercial, offices, multi-family residential, and public/semi public uses. Both vertical and horizontal mixed-use development are permitted in the V-MU district. Within this district, typical housing types include townhomes and flats (apartments/condos). The following development standards shall apply to development in the V-MU planning areas:

Additional V-MU Development Standards

1. **Pedestrian Circulation.** An efficient pedestrian circulation system accompanied by high quality architecture, mature landscaping, paving enhancements and street furnishings shall be incorporated into the design of the V-MU planning areas. The walkway system shall provide direct access to and from all individual dwelling units, commercial and office buildings, recreational facilities, parking areas, trash storage areas and all other outdoor areas. Adequate sidewalks and parkway landscaping shall be provided adjacent to both sides of all streets in the V-MU planning areas. Walkways shall utilize materials such as concrete, brick, flagstone or other materials approved by the City. Reference Chapter 5 for street section dimensions.
2. **Live/Work Units.** Live/work units are intended to accommodate residential living space and office space or artist loft for self-employed residents within the same unit. Development of live/work units shall comply with the following criteria:
 - a. Uses that are permitted in live/work units include, but are not limited to:
 - Apparel - custom tailoring and sales of apparel, clothing and other sewing products made on the premises
 - Artist and craft product galleries and studios
 - Office - creative, tech or professional services
 - Photography studios
 - Spa and personal care services such as hair and nail salons
 - Other similar uses, as deemed appropriate by the Community Development Director or his/her designee.
 - b. Occupations that include flammable liquids, welding, open-flame work or similar hazardous operations shall not be permitted in live/work units.
 - c. The office/working space of each live/work unit shall have a size that is at least 20%, but no more than 50%, of the unit's total living area, and shall be located on the ground level facing the street.
 - d. The residential portion of the live/work unit shall be occupied only by the individual who has the professional occupation established in the same unit.
 - e. The living space and office/working space shall not be leased or sold separately.
 - f. Each live/work unit shall be equipped with a complete kitchen space and sanitary facilities and shall have a working space reserved for and regularly used by one or more residents of the unit.

- g. When a building contains more than one live/work unit, each unit shall have a separate entry access on the ground level. Access to each unit shall be provided from common areas such as corridors, hallways, courtyards, etc. Each unit's living space shall not have a separate street address from the office/working area.
 - h. Live/work units shall be designed to accommodate ventilation, storage, flooring and other physical improvements commonly found in the office/commercial facilities used for the same work activity.
3. **Common Outdoor Open Space.** Each high density residential development proposed as a component of the V-MU district (excluding residential use in mixed-use buildings and live/work units) shall provide a minimum of 150 square feet of common usable outdoor open area per residential dwelling unit (excluding private balconies, and patios). Public or private driveways, parking areas, required trash areas or other areas designed for operational functions shall not be considered open space. The minimum dimensions for common open space areas shall be 15 feet in each direction. Open space areas may include, but are not limited to, turf areas, landscaped areas, hardscaped areas (excluding parking areas and public/private driveways), gardens, sitting areas, game courts, swimming pools, spas, sauna baths, tennis courts, basketball courts, tot lots and playgrounds, bocce ball courts, outdoor cooking areas, lawn bowling, and other recreational facilities.
4. **Laundry Facilities.** For residential uses within the V-MU district, either centralized laundry facilities (with washers and dryers installed in one or more central locations within each residential complex), or hookups to accommodate washers and dryers shall be installed in each dwelling unit, or a washer and dryer shall be provided in each unit. The developer or builder shall determine which option to implement on a case-by-case basis.
5. **Trash Collection Areas.** Trash collection areas should, in general, be located within 200' of the furthest unit they serve. Consideration shall be given to siting trash collection areas for convenient access, but with care given to avoid impacting important design features such as, but not limited to, entries, recreation areas, leasing offices and clubhouses. Trash collection areas shall be constructed to City standards and situated so as to reduce noise and visual intrusion on adjacent units and properties.
6. **Parking.** Parking for V-MU planning areas shall be provided as follow:
- a. For mixed-use buildings and non-residential buildings, off-street parking for non-residential uses shall be provided pursuant to Title 10, Chapter 3.1202 of the Madera Municipal Code. Shared parking for non-residential uses shall be permitted, subject to a shared parking analysis prepared by a qualified traffic engineer and approved by the City's Community Development Director or his/her designee.
 - b. Parking for residential units in mixed-use buildings shall be provided in accordance with the following minimum requirements:
 - Studios, 1-bedroom, and 2-bedroom units: 1 covered space and 0.5 uncovered space

- 3-bedroom units and greater: 2 covered spaces and 0.5 uncovered space
- Guest parking: 1 space for every 5 units

On-street parking along private streets may be counted in the tabulation of guest spaces. Parking spaces designated for residential uses shall be clearly marked by the use of posting, pavement markings, and/or physical separation.

c. For live/work units, a minimum of two covered spaces shall be provided per unit. In addition to resident parking, one guest parking space shall be provided for every two units. On-street parking along private streets may be counted in the tabulation of guest spaces.

d. For residential-only buildings, the minimum parking requirements shall be as follows:

- Studios, 1-bedroom, and 2-bedroom units: 1 covered space and 0.5 uncovered space
- 3-bedroom units and greater: 2 covered spaces and 0.5 uncovered space
- Guest parking: 1 space for every 5 units

On-street parking along private streets may be counted in the tabulation of guest spaces.

e. A minimum of 10% of each off-street parking area shall be landscaped, exclusive of setbacks. The parking area shall include access drives, aisles, stalls, maneuvering areas and required landscape setbacks around the perimeter of the parking facility.

f. Parking, loading and maneuvering areas for commercial uses shall be set back at least 10' from the property lines adjacent to non-commercial uses.

7. Lighting Devices. Lighting devices shall be provided as follow:

- a. All exterior lighting shall be adequately controlled and shielded to prevent glare and undesirable illumination to adjacent properties or streets.
- b. The use of energy-conserving and vandal-resistant fixtures or lighting systems shall be given primary consideration.

8. Performance Standards. Residents of mixed-use buildings and live/work units, by selecting this type of residence, accept the conditions found in the area including, but are not limited to, noise, pollution, traffic, order, fumes and dirt to the extent that they are permitted by law in the underlying V-MU district.

Table 6.6, V-MU Development Standards ^{1, 2, 3}

Development Standard	Multi-Family (Attached)	Non-Residential and Mixed-Use Buildings ⁴
Density Range	0 - 50.0 du/ac (for residential uses)	n/a
Maximum FAR	n/a	0.35 FAR (for non-residential uses)
Minimum Lot Area	1,200 SF	no limitation
Maximum Lot Coverage	75%	no limitation
Lot Dimensions:		
Minimum Lot Width	16'	n/a
Minimum Lot Depth	60'	n/a
Minimum Setbacks: ⁵		
From Couplet/Commercial Street: ⁶		
Porch	0' from back of walk	
Balcony or Deck	3' from back of curb ^{1, 7}	
Ground Level Living, Retail and/or Office Space	5' from back of walk	0' from back of walk
Living, Retail and/or Office Space Above Ground Level	3' from back of curb ^{1, 7}	
Garage	n/a	
Surface Parking ²	0'	
From Alley or Parking Field (measured from back of walk or edge of paving if there is no walk, unless otherwise noted):		
Porch, Balcony or Deck	3'	
Living Space	3'	
Garage	3' min. to 7' max. or 18' or greater	
Retail and/or Office Space	n/a	0' from back of walk; or 5' from edge of paving if there is no walk
Surface Parking ²	0'	
Minimum Building Spacing:		
Between Main Buildings	0' at common wall; 10' at bldg. end walls	
Maximum Building Height: ⁷		
Principal Building	3 stories, not to exceed 40' ⁷	4 stories, not to exceed 55' ⁷
Accessory Structure	2 story not to exceed 36' ⁷	

Footnotes:

¹ Awnings, canopies, and other similar elements may project over the sidewalk. Minimum ground level clearance shall be 10'.

² Surface parking shall be screened from view when possible through the use of landscaping, berms, low walls or a combination of these. Structured parking, if any, shall be subject to site plan review. In no case shall a parking structure be higher than the building it serves.

³ Residential products may be fee simple or condo mapped. If condo mapped, building separations shall be the equivalent of the

combined yard setbacks otherwise required.

- ⁴ Mixed-use buildings may contain a mix of non-residential and residential uses, or may be entirely non-residential. In these cases residential is required to be above non-residential.
- ⁵ Unless otherwise stated in the V-MU Development Standards Table, architectural projections such as roof overhangs, window trims, material veneers, shutter details, over framing for principal windows and garage doors, and other similar elements may project a maximum of 1' into the required setback areas.
- ⁶ Minimum width of sidewalk will be as defined in Ch.5 for Couplet and/or Commercial Street.
- ⁷ 2nd floor enclosed spaces as well as balconies, decks and other overhead structures are permitted to project over the sidewalk to form covered loggias and walkways on the ground level. Minimum ground level clearance shall be 12'. In no case shall support columns be located closer than 5' to the curb. Roof overhangs, fascias and other similar architectural elements relating to the projection shall be located no closer than 2' to the curb. See *Exhibit 6.6b*.
- ⁸ Architectural projections such as chimneys, towers, domes, mezzanines, cupolas, elevator penthouses and other similar features may exceed the maximum permitted height by 10' and shall not exceed 15% of the roof area.

Exhibit 6.6a, V-MU Setback Diagram

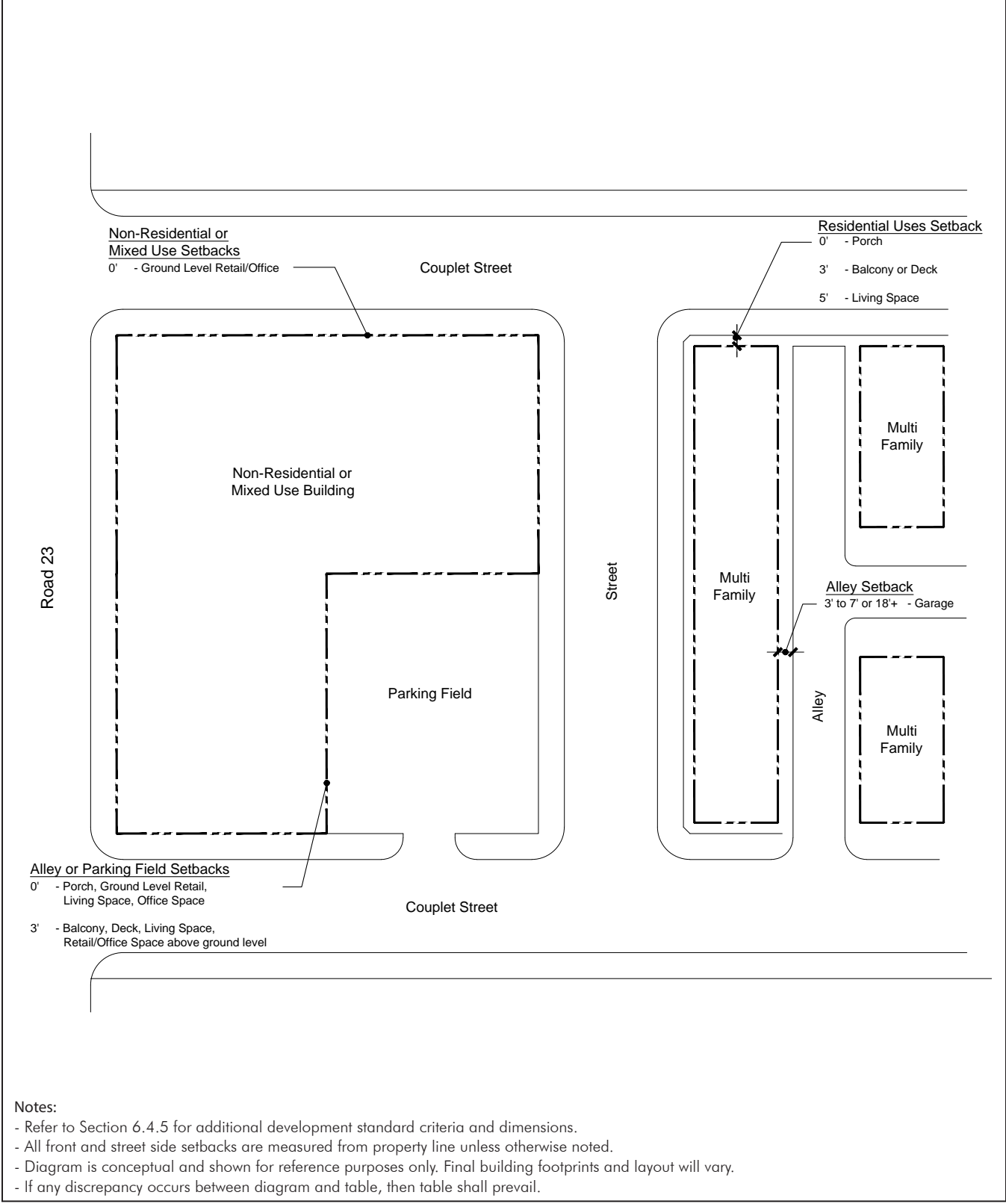
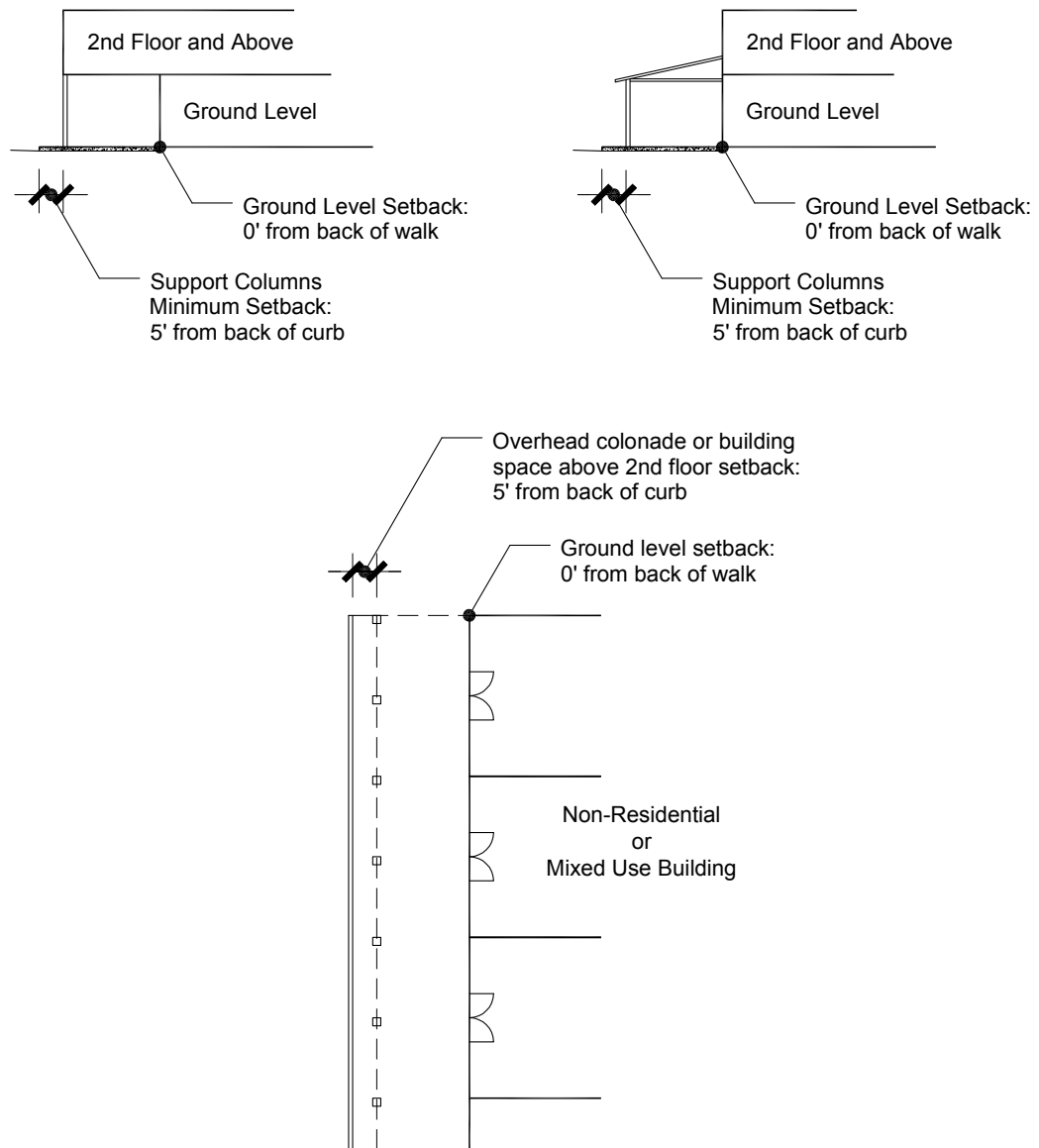


Exhibit 6.6b, Typical Overhead Encroachment Diagram within V-MU



6.4.6 Village Business Park (V-BP)

The Village Business Park (V-BP) district is intended to accommodate industrial-serving commercial and office uses, and very light industrial uses, which may be developed at a maximum intensity of 0.2 FAR. Development within this district is typically multi-tenant in nature; however, single-tenant buildings are not precluded. The V-BP district is consistent with, and implements, the Madera General Plan Jobs/Housing Balance at a local and regional scale intended to reduce the need for workers to commute outside their communities.

The aesthetic appeal and ability to blend with the surrounding residential uses is important. Selection of materials should complement adjacent buildings and their surroundings. Buildings visible to arterials or collectors shall have recognizable base, body, roofline, and entry. Varying materials between base and body of building shall be used to break building massing. Entries to structures should portray a quality office appearance while being architecturally tied to the overall mass and building composition. The V-BP district is differentiated from commercial districts by the lack of significant retail activity. Uses must also be limited in noise, odors, and other impacts in order to be compatible with adjacent neighborhoods.

Table 6.7, V-BP Development Standards

Development Standard	All Uses
Lot Size:	
Minimum Lot Area	10,000 SF
Lot Dimensions:	
Minimum Lot Width	150' on arterial & collector streets; 50' on all other street frontages
Minimum Lot Depth	120'
Height of Structures:	
Maximum Building Height	25' (1-story)
Lot Coverage:	
Maximum Building Coverage	0.2 FAR
Minimum Landscape Coverage	15%
Setbacks:	
Front	10'
Side	10' interior; 20' corner
Rear	10'; 15' abutting residential zone

6.4.7 Village Parks & Recreation (V-PR)

The Village Parks & Recreation (V-PR) district is intended to provide a wide range of public parks and recreational uses. The development standards for this zone apply to buildings/structures located within parks and recreation districts, such as community facilities, recreation centers and buildings, clubhouses, health clubs, swimming pools, and other outdoor athletic facilities and similar recreational uses. In addition, this zone allows for low intensity, passive recreational uses and related facilities such as trails, paseos, picnic areas, bicycle paths, gardens and sitting areas.

Table 6.8, V-PR Development Standards

Facility	Min. Setback
Community Building, Public Facility and Other Similar Buildings:	
From Arterial or Collector Streets	30'
From Local Streets	20'
From Parking Areas	10'
Lot Dimensions:	
Minimum Lot Width	n/a
Minimum Lot Depth	n/a
From Property Line of Adjacent Residential Uses	10' for 1-story elements; 15' for 2-story elements or greater
Picnic Shelters, Gazebos, Trellises and Other Similar Overhead Structures:	
From Arterial or Collector Streets	20'
From Local Streets	10'
From Parking Areas	5'
From Property Line of Adjacent Residential Uses	5'
Swimming Pools, including Pool Building Housing Concessions, Restrooms, Showers, Pool Equipment and Similar Related Uses:	
From Arterial or Collector Streets	30'
From Local Streets	20'
From Parking Areas	10'
From Property Line of Adjacent Residential Uses	20'
Sports Fields, Play Equipment and Similar Uses:	
From Arterial or Collector Streets	25'
From Local Streets	20'
From Parking Areas	10'
From Property Line of Adjacent Residential Uses	10'

Facility	Min. Setback
Trash Enclosures:	
From Arterial or Collector Streets	15'
From Local Streets	10'
From Parking Areas	0'
From Property Line of Adjacent Residential Uses	15'
Walls and Fences	0'
Maximum Lot Coverage	40%
Maximum Building Height	40'

6.4.8 Village Open Space (V-OS)

The Village Open Space (V-OS) district includes natural open space along the southern boundary of The Villages at Almond Grove.

1. Construction of buildings in natural open space shall be prohibited.
2. Improvements may be made to natural open space to allow for safe, limited public access or for erosion control, geologic stability, flood control, habitat enhancement, fuel modification or other public safety purposes. All improvement activities shall be subject to approval of the City and appropriate regulatory agencies. The process will be done through the Administrative Approval process as outlined in the Madera Municipal Code. Given that no structures/uses, other than those identified above are allowed, detailed development standards are not required. If minor structures are required for any of the reasons identified above, they shall be no higher than 15-feet and shall be screened from public view by landscaping where feasible.

6.4.9 Village Public Facilities (V-ES)

The Village Public Facilities (V-ES) district designates land for public uses such as schools, parks, libraries, police stations, fire stations, water facilities, etc. Development of school facilities on the elementary school site shall be subject to review and approval by Madera Unified School District. Other uses in the V-ES zone shall be subject to review and approval by the City. Allowed uses and specific development standards for this district shall be those uses and standards found in the Public Facilities Zone in the Madera Municipal Code.

6.5 Village-wide General Development Standards

This section sets forth the general development standards that are applicable to the entire The Villages at Almond Grove Plan Area, in addition to the development standards provided specifically for each land use district in the previous sections of this Plan.

6.5.1 Landscaping

Except as otherwise provided in The Villages at Almond Grove Specific Plan (see Chapter 7: Design Guidelines), landscaping shall comply with any applicable standards approved or adopted by the City of Madera.

6.5.2 Signage

Except as otherwise provided in The Villages at Almond Grove Specific Plan (see Chapter 7: Design Guidelines), signs shall comply with the provisions set forth in Title 10, Chapter 6 of the Madera Municipal Code.

6.5.3 Walls and Fencing

In addition to the guidelines set forth in Chapter 7: Design Guidelines, the following walls and fencing standards apply:

1. Community screen walls adjacent to arterial and collector streets shall be a maximum of 6' in height, unless a greater height is necessary for sound attenuation purposes based on acoustical design requirements. View fences shall be 36" to 72" in height. Split rail fencing shall not exceed 4' in height. The top of fence shall be 6' above the highest ground level immediately adjacent to the base of the wall/fence. The height of the wall for sound attenuation shall be measured from base of berm to top of wall.
2. Permitted types of walls and fences include, but are not limited to, colored precision block walls, split-face block walls, manufactured stone and stone walls, brick and simulated brick walls, wrought iron or tubular steel fencing, decorative metal, half block wall/glass or equivalent, vinyl fencing, wood fencing, and other types of materials acceptable to the City. The color, materials and style shall be consistent with the overall community character/theme. Wood fences shall be of cedar quality or better. All posts shall be set in concrete.
3. Fences and walls shall be permitted within the front, side, and rear yard setback areas of residential lots, as provided below:
 - a. Fences/walls may not be erected within either public or private street rights-of-way or pedestrian access ways.
 - b. Side and rear walls shall not exceed 6' in height, unless required for sound attenuation purposes.

- c. Fences not exceeding 36" in height may be located in the front yard or street side yard setback areas, provided that the fence does not obstruct traffic sight lines or driveway approaches (i.e., reverse corner lots where adjacent lot may be near the rear property line). Pilasters and columns of up to 42" in height may be provided in the front yard setback areas.
 - d. Wherever fencing is visible from public view, the finished side of the fencing shall be exposed to public view.
- 4. Fences and walls in the mixed-use area shall be constructed of wrought iron or decorative block. Fences/walls between mixed-use development and a residential use shall be not exceed 6' in height.
 - 5. Chain link fencing is prohibited in The Villages at Almond Grove, except as temporary construction fencing or if used to provide protection for public uses such as schools, utilities, parks, or other recreation and open space area. Where used, the chain link fences shall be of black, vinyl-clad materials or equivalent materials.
 - 6. Fences along streets shall be setback a minimum of 5' from the exterior side of the property line.

6.5.4 Off-Street Parking

Except as otherwise provided in The Villages at Almond Grove Specific Plan, off-street parking shall be required pursuant to Title 10, Chapter 3.1202 of the Madera Zoning Code.

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