

4

LAND USE

4.1) Overview

The Specific Plan Land Use Districts Plan for The Villages at Almond Grove, as shown in *Exhibit 4.1, Land Use Districts Plan*, provides a mix of well-balanced land uses designed to create a high quality, sustainable community that reflect the City’s General Plan goals for the Plan Area. The approximately 1,883-acre Specific Plan Area features a series of residential neighborhoods anchored by mixed-use Village Centers and organized around an abundance of public amenities, including parks, recreation areas, natural open space, trails/paseos and potential elementary schools.

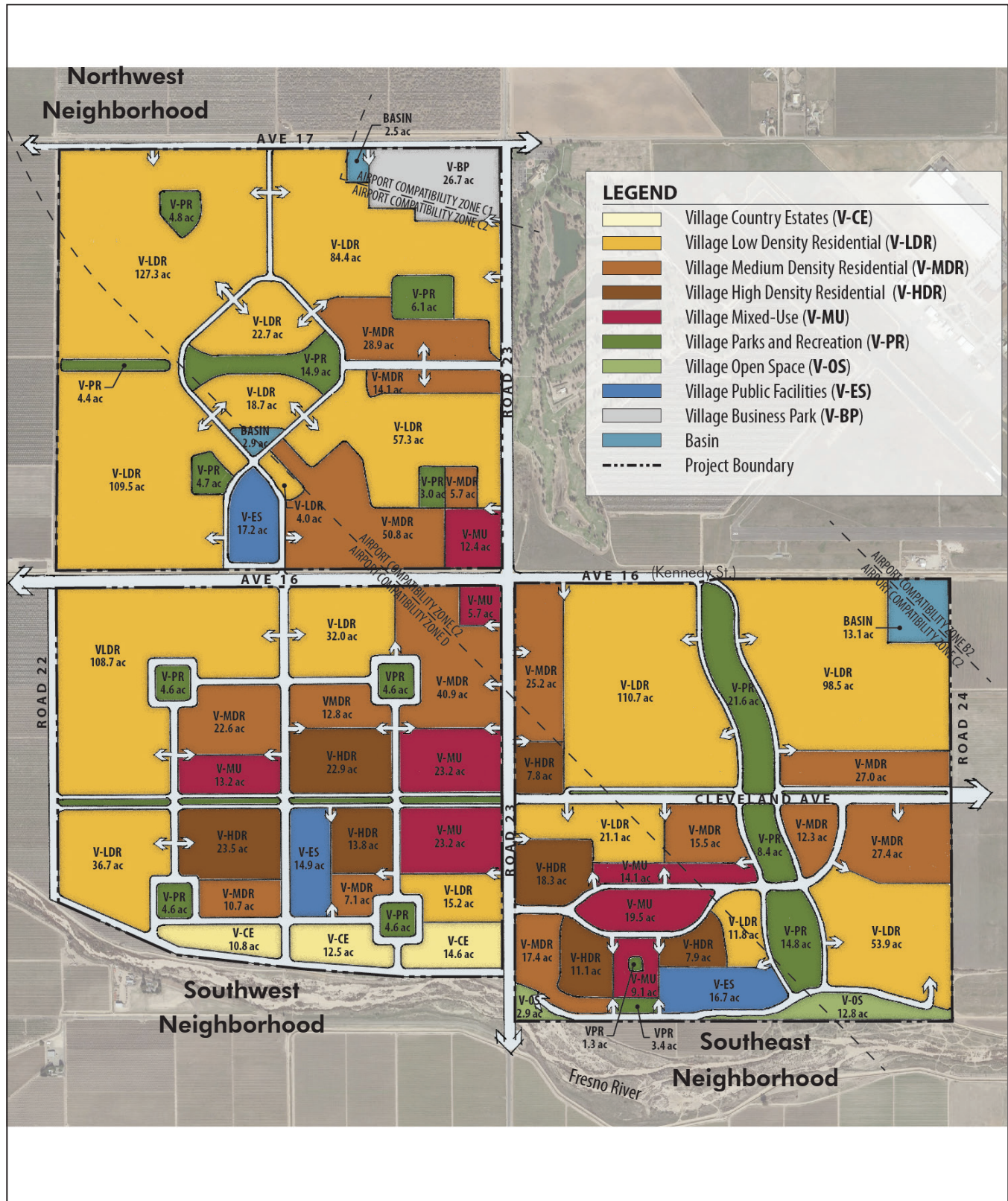
The most dense/intense development within the Specific Plan area is located in the Village Centers, radiating out to lower density development on the outer edges of the neighborhoods. All land uses in The Villages at Almond Grove are linked together by a clearly defined and efficient street network, as well as a comprehensive trail/paseo system.

Upon plan build-out, The Villages at Almond Grove Specific Plan will provide an estimated 10,783 dwelling units, up to 2.1 million square feet of commercial and office development, 163 acres of public parkland, 17 acres of natural open space, 54 acres of public facility/school uses, and 128 acres of major roadways. See Section 4.2 Land Use Districts for a breakdown of the acreage, density range, target density, target dwelling units, and target development intensity for each land use district by Plan Area and neighborhood.

4.2) Land Use Districts

The Village at Almond Grove Specific Plan establishes nine land use districts, which implement the “Specific Plan Area (SP)” land use designation of the City of Madera General Plan, as amended. As the primary implementing document for the Plan Area, the intent of each land use district is described below and the Specific Plan land use districts are shown in *Exhibit 4.1*.

Exhibit 4.1, Land Use Districts Plan



Source: KTG Group



4.2.1) Land Use District Descriptions

The Villages at Almond Grove Specific Plan and the City of Madera Zoning Map, as amended, designate the entire Plan Area as “Specific Plan Area — Villages at Almond Grove.” The Plan implements nine distinct overall land use districts, described as follows:

Residential

- » Village Country Estates (V-CE). The V-CE district includes conventional single-family detached residential development ranging in density from 0.1 to 2.0 dwelling units/acre (du/ac).
- » Village Low Density Residential (V-LDR). The V-LDR district includes conventional single-family detached residential development ranging in density from 2.1 to 7.0 du/ac.
- » Village Medium Density Residential (V-MDR). The V-MDR district includes a combination of single-family detached and multi-family development ranging in density from 7.1 to 15.0 du/ac.
- » Village High Density Residential (V-HDR). The V-HDR district includes a combination of single-family detached and multi-family development ranging in density from 15.1 to 50.0 du/ac.

Mixed-use

- » Village Mixed Use (V-MU). The Specific Plan identifies three areas as Village Mixed Use (V-MU). The V-MU district is designed to provide flexibility to respond to changing market conditions and consumer preferences, while allowing for innovation in project design. The V-MU district may be developed with one or more types of land uses, including higher density residential (0 - 50 du/ac), commercial, office, public and/or semi-public uses. Single-family detached homes shall not be permitted in the V-MU districts.

Industrial

- » Village Business Park (V-BP). The V-BP district accommodates industrial-serving, commercial and office uses, and very light industrial uses, which may be developed at a target intensity of 0.2 FAR, as limited by Airport Land Use Compatibility Plan. Development within this land use district is typically multi-tenant in nature; however, single-tenant buildings are allowed.

Parks, Recreation and Open Space

- » Village Parks and Recreation (V-PR). The V-PR district includes community parks, neighborhood parks, pocket parks, village paseos, neighborhood paseos, landscape corridors, and development edge buffers. Basins are also accommodated within this land use district.
- » Village Open Space (V-OS). The V-OS district includes the preservation and enhancement of natural open space. The area along the Fresno River is included in this land use district.

Public Facilities

- » Village Public Facilities (V-ES). The V-ES district includes elementary school sites and public facilities such as fire stations, libraries, museums, police stations and post offices.

4.3) Land Use Summaries

The Villages at Almond Grove Specific Plan is comprised of a variety of land uses. The Plan Area includes multiple residential densities, village centers, employment opportunities, and public facilities, all supported by an integrated open space and trails network. Land uses accommodated also include space for future elementary schools. The Plan Area includes a maximum of 10,783 dwelling units and nearly 2.1 million square feet of non-residential uses, as summarized in *Table 4.1, Overall Land Use Summary*. *Table 4.2*, *Table 4.3*, and *Table 4.4* include the land use summaries for the Northwest, Southeast, and Southwest neighborhoods respectively, including maximum dwelling units and square feet for non-residential uses. Target densities are for analysis to determine maximum dwelling units and do not represent a minimum density. Individual projects will be governed by density ranges for each land use. The City of Madera will be responsible for ensuring the total number of dwelling units does not exceed 10,783 units without additional analysis.

This Specific Plan provides development flexibility by allowing for permitted transfer of dwelling units and non-residential square footage within neighborhoods or village centers over the life of the Specific Plan. Unused dwelling units or non-residential square footage in one neighborhood may also be transferred to other neighborhoods if the specific conditions outlined in Chapter 8: Implementation are met, including the requirement that such a transfer is consistent with the Airport Land Use Compatibility Plan for the Madera Municipal Airport.

Table 4.1, Overall Land Use Summary

Land Use Type	Land Use District	Acreage (ac)	Density Range (du/ac)	Target Density (du/ac)	Dwelling Units ¹	Com./ Office/ Industrial Intensity (FAR)	Commercial/ Office / Industrial (SF)
Residential							
Village Country Estates	V-CE	36.0	0.1 - 2	1.5	54	--	--
Village Low Density	V-LDR	911.3	2.1 - 7	5.25	4,784	--	--
Village Medium Density	V-MDR	318.2	7.1 - 15	11.25	3,579	--	--
Village High Density	V-HDR	105.2	15.1 - 50	22.5	2,366	--	--
Residential Subtotal	--	1,370.7	--	--	10,783	--	--
Mixed Use							
Village Mixed-Use	V-MU	120.1	0 - 50	--	--	0.35	1,830,587.2
Village Parks and Recreation							
Community Parks	V-PR	24.8	--	--	--	--	--
Neighborhood Parks		92.5	--	--	--	--	--
Trails		5.5	--	--	--	--	--
Pocket Parks/Basins		40.9	--	--	--	--	--
Village Parks and Recreation Subtotal	--	163.7	--	--	--	--	--
Natural Open Space							
Fresno River Area	V-OS	16.78	--	--	--	--	--
Industrial							
Village Business Park	V-BP	29.69	--	--	--	0.2	258,659.3
Public Facilities							
Elementary School Sites	V-ES	53.85	--	--	--	--	--
Major Roadways							
Major Roadways	ROW	128.45	--	--	--	--	--
Overall Plan Area TOTAL		1,883.2	--	--	10,783	--	2,089,247

Table 4.2, Northwest Neighborhood Land Use Summary

Land Use Type	Land Use District	Acreage (ac)	Density Range (du/ac)	Target Density (du/ac)	Dwelling Units ¹	Com./ Office/ Industrial Intensity (FAR)	Commercial/ Office / Industrial (SF)
Residential							
Village Low Density	V-LDR	422.96	2.1 - 7	5.25	2,221	--	--
Village Medium Density	V-MDR	99.53	7.1 - 15	11.25	1,120	--	--
Village High Density	V-HDR	0	15.1 - 50	22.5	0	--	--
Residential Subtotal	--	522.49	--	--	3,340	--	--
Mixed Use							
Village Mixed-Use	V-MU	12.42	0 - 50	--	--	0.35	189,355.3
Village Parks and Recreation							
Community Parks	V-PR	0	--	--	--	--	--
Neighborhood Parks		37.86	--	--	--	--	--
West Trail		2.25					
Pocket Parks/Basins		7.8	--	--	--	--	--
Village Parks and Recreation Subtotal	--	47.91	--	--	--	--	--
Natural Open Space							
Fresno River Area	V-OS	0	--	--	--	--	--
Industrial							
Village Business Park	V-BP	29.69	--	--	--	0.2	258,659.3
Public Facilities							
Elementary School Sites	V-ES	17.17	--	--	--	--	--
Major Roadways							
Major Roadways	ROW	19.82	--	--	--	--	--
Northwest Neighborhood TOTAL:							
		649.5	--	--	3,340	--	448,014.6

Table 4.3, Southeast Neighborhood Land Use Summary

Land Use Type	Land Use District	Acreage (ac)	Density Range (du/ac)	Target Density (du/ac)	Dwelling Units ¹	Com./ Office/ Industrial Intensity (FAR)	Commercial/ Office / Industrial (SF)
Residential							
Village Low Density	V-LDR	295.91	2.1 - 7	5.25	1,554	--	--
Village Medium Density	V-MDR	124.64	7.1 - 15	11.25	1,402	--	--
Village High Density	V-HDR	45.15	15.1 - 50	22.5	1,016	--	--
Residential Subtotal	--	465.7	--	--	3,972	--	--
Mixed Use							
Village Mixed-Use	V-MU	42.65	0 - 50	--	--	0.35	650,241.9
Village Parks and Recreation							
Community Parks	V-PR	14.83	--	--	--	--	--
Neighborhood Parks		34.65	--	--	--	--	--
South Trail		3.2					
Pocket Parks/Basins		13.07	--	--	--	--	--
Village Parks and Recreation Subtotal	--	65.75	--	--	--	--	--
Natural Open Space							
Fresno River Area	V-OS	16.78	--	--	--	--	--
Public Facilities							
Elementary School Sites	V-ES	16.68	--	--	--	--	--
Major Roadways							
Major Roadways	ROW	37.43	--	--	--	--	--
Southeast Neighborhood TOTAL:		644.99	--	--	3,972	--	650,241.9

Table 4.4, Southwest Neighborhood Land Use Summary

Land Use Type	Land Use District	Acreage (ac)	Density Range (du/ac)	Target Density (du/ac)	Dwelling Units ¹	Com./ Office/ Industrial Intensity (FAR)	Commercial/ Office / Industrial (SF)
Residential							
Village Country Estates	V-CE	36.0	0.1 - 2	1.5	54	--	--
Village Low Density	V-LDR	192.4	2.1 - 7	5.25	1,010	--	--
Village Medium Density	V-MDR	94.0	7.1 - 15	11.25	1,058	--	--
Village High Density	V-HDR	60.0	15.1 - 50	22.5	1,350	--	--
Residential Subtotal	--	382.4	--	--	3,472	--	--
Mixed Use							
Village Mixed-Use	V-MU	65.0	0 - 50	--	--	0.35	990,990.0
Village Parks and Recreation							
Community Parks	V-PR	10.0	--	--	--	--	--
Neighborhood Parks		20.0	--	--	--	--	--
Pocket Parks/Basins		20.0	--	--	--	--	--
Village Parks and Recreation Subtotal	--	50.0	--	--	--	--	--
Natural Open Space							
Fresno River Area	V-OS	0	--	--	--	--	--
Public Facilities							
Elementary School Sites	V-ES	20.0	--	--	--	--	--
Major Roadways							
Major Roadways	ROW	71.2	--	--	--	--	--
Southwest Neighborhood TOTAL		588.6	--	--	3,472	--	990,990.0