



**REGULAR MEETING AGENDA
CITY OF MADERA
PLANNING COMMISSION**

**CITY HALL – COUNCIL CHAMBERS
TUESDAY
July 13, 2021
6:00 pm**

This meeting will be conducted pursuant to the provisions of the Governor’s Executive Order which suspends certain requirements of the Ralph M. Brown Act. Members of the public may participate in the meeting remotely through an electronic meeting in the following ways: via phone by dialing (669) 900-6833 enter ID: [#98017424471](https://www.zoom.us/j/98017424471) followed by *9 on your phone when prompted to signal you would like to speak, or by computer at <https://www.zoom.us/j/98017424471>. Public comment will also be accepted via email at planningcommissionpubliccomment@madera.gov.

CALL TO ORDER

ROLL CALL

Commissioner Robert Gran Jr. (Chairperson)
Commissioner Alex Salazar (Vice Chairperson)
Commissioner Ryan Cerioni
Commissioner Ramon Lopez-Maciel
Commissioner Rohi Zacharia
Commissioner Khubaib Sheikh
Commissioner Balwinder Singh

INTRODUCTION OF STAFF

PLEDGE OF ALLEGIANCE

PUBLIC COMMENT

The first fifteen minutes of the meeting are reserved for members of the public to address the Commission on items which are within the subject matter jurisdiction of the Commission. Speakers shall be limited to three minutes. Speakers will be asked, but are not required, to identify themselves and state the subject of their comments. If the subject is an item on the Agenda, the Chairperson has the option of asking the speaker to hold the comment until the hearing is opened. Comments on items listed as a Public Hearing on the Agenda should be held until the hearing is opened. The Commission is prohibited by law from taking any action on matters discussed that are not on the Agenda and no adverse conclusions should be drawn if the Commission does not respond to public comment at this time.

MINUTES: January 12th, 2021

PUBLIC HEARING ITEMS:

1. PPL 2021-01 & SPR 2021-07 – Tierra Vista Apartments

This item is continued from the June 8, 2021 Planning Commission hearing to consider a request for a precise plan and site plan review that would allow construction of a 102-unit multi-family residential development to include one- and two-bedroom apartments, a community center, management office, swimming pool, and park area. The one- and two-bedroom apartment buildings will be three-story buildings and the management office will be a one-story building. The site is located at the northeast corner of Emily Way and Gary Lane in the PD-1500 (Planned Development) Zone District with an HD (High Density) General Plan land use designation.

The project has been determined to be categorically exempt under the California Environmental Quality Act (CEQA) guidelines, Section 15332 (In-Fill Development Projects). (Report by Sara Allinder)

2. PPL 2021-03 – Omni Subdivision

A noticed public hearing to consider a request for a precise plan for a 61-lot subdivision and minor deviation of setbacks for Lots 37, 38 and 61 from 10-foot side setback to an 8-foot side setback. The site is located on the southwest corner of Ellis Street and North D Street in the PD-6000 (Planned Development) Zone District with an LD (Low Density) General Plan land use designation (APN's: 003-200-006 & 003-200-007).

The project was adequately analyzed in the earlier Initial Study and Negative Declaration prepared in accordance with the California Environmental Quality Act (CEQA) for Rezone 2018-08 and Tentative Subdivision Map 2018-07. (Report by Derek Sylvester)

NON-PUBLIC HEARING ITEMS: None

ADMINISTRATIVE REPORTS:

COMMISSIONER REPORTS:

ADJOURNMENT:

The next regular meeting will be held on August 10th, 2021.

Note: SPR 2020-04 MOD – Miles chemical Site Plan Review Modification noticed as a public hearing item for July 13, 2021 has been removed as an agenda item and will be re-noticed for an undetermined later regularly scheduled Planning Commission meeting.

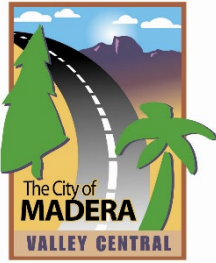
In compliance with the Americans with Disabilities Act, the meeting room is accessible to the physically disabled and the services of a translator can be made available. Requests for additional accommodations for the disabled, signers, assistive listening devices or translators needed to assist participation in the public meeting should be made at least seventy-two (72) hours before the meeting. If you need special assistance to participate in a City meeting or other services offered by this City, please contact the Planning Department office at (559) 661-5430. Those who are hearing impaired, may call 711 or 1-800-735-2929 for TTY Relay Services. Any and all persons interested in this matter may provide comments.

Any writing related to an agenda item for the open session of this meeting distributed to the Planning Commission less than 72 hours before this meeting is available for inspection at the City of Madera – Planning Department, 205 W. 4th Street, Madera, CA 93637 during normal business hours.

Pursuant to Section 65009 of the Government Code of the State of California, notice is hereby given that if any of the foregoing projects or matters is challenged in Court, such challenge may be limited to only those issues raised at the public hearing, or in written correspondence delivered to the Planning Commission at or prior to the public hearing.

All Planning Commission actions may be appealed to the City Council. The time in which an applicant may appeal a Planning Commission action varies from 10 to 30 days depending on the type of project. The appeal period begins the day after the Planning Commission public hearing. There is NO EXTENSION for an appeal period.

If you have any questions or comments regarding this hearing notice, you may call the Planning Department at (559) 661-5430. Si usted tiene preguntas, comentarios o necesita ayuda con interpretación, favor de llamar el Departamento de Planeamiento por lo menos 72 horas antes de esta junta (559) 661-5430.



CITY OF MADERA PLANNING COMMISSION

205 W. Fourth Street
Madera CA 93637
(559) 661-5430

Staff Report: Tierra Vista Apartments PPL 2021-01 & SPR 2021-07 Item # 1 – July 13, 2021 (Continued from June 8, 2021)

PROPOSAL: This item was continued from the June 8, 2021, Planning Commission hearing. An application for a precise plan (PPL 2021-01) and site plan review (SPR 2021-07) for the development of a 102-unit apartment complex on an existing 4.38-acre vacant lot. The development will include one- and two-bedroom apartments, a community center, management office, swimming pool, and park area. The one- and two-bedroom apartment buildings will be three-story buildings and the management office will be a one-story building. PPL 2021-01 is also requesting a deviation in parking requirements from 214 required parking spaces to 190 parking spaces.

APPLICANT:	Tierra Vista Apartments, LLC 3385 W. Beechwood Ave., Suite 106 Fresno, CA 93711	OWNER:	Pestorich Holdings, LLC/Tarlton Residential, LLC 3385 W. Beechwood Ave., Suite 106 Fresno, CA 93711
SITE ADDRESS:	No address assigned Northeast corner of Gary Lane and Emily Way	APN:	012-253-001
APPLICATIONS:	PPL 2021-01 & SPR 2021-07	CEQA:	Categorical Exemption – Section 15332

LOCATION: The project site is a vacant lot (no address available) located at the northeast corner of Gary Lane and Emily Way.

STREET ACCESS: The project site has street access from Gary Lane and Emily Way.

PROJECT SIZE: The project site is a 4.38-acre lot.

GENERAL PLAN DESIGNATION: HDR (High Density Residential)

ZONING DISTRICT: PD-1500 (*Planned Development, one unit for each 1,500 sq. ft. of site area*)

SITE CHARACTERISTICS: The project will occupy a vacant 4.38-acre parcel. Surrounding uses include vacant land to the north and east, a storm water ponding basin to the south, and an existing single-family residential development to the west.

ENVIRONMENTAL REVIEW: The project has been determined to be categorically exempt from the preparation of environmental documents pursuant to Section 15332 of the State California Environmental Quality Act (CEQA) Guidelines.

SUMMARY: The applicant, Tierra Vista Apartments, LLC, proposes the development of a 102-unit apartment complex on an existing 4.38-acre vacant lot. The development will include one- and two-bedroom apartments, a community center, management office, swimming pool, and park area. The one- and two-bedroom apartment buildings will be three-stories and the management office will be a one-story building. PPL 2021-01 is also requesting a deviation in parking requirements from 214 required parking spaces to 190 parking spaces. The proposed use is consistent with the current HDR (High Density Residential) zone district. After review of the proposed project, the 102-unit apartment complex is anticipated to be compatible with surrounding land uses. Conditions, as appropriate, have been recommended for PPL 2021-01 and SPR 2021-07 to ensure consistency with the Zoning Ordinance and General Plan and other applicable City plans and policies.

SURROUNDING LAND USES

Surrounding existing uses include a vacant land to the north and east of the project site, a storm water ponding basin to the south across Gary Lane, and an existing single-family residential development to the west of the project site across Emily Way.

Table 1. Existing Uses, General Plan Designations, and Zone Districts of Surrounding Properties

Direction from Project Site	Existing Use	General Plan Designation	Zone District
North	Vacant	High Density Residential	PD-1500
East	Vacant	Medium Density Residential	PD-3000
South	Storm water ponding basin	Medium Density Residential	PD-3000
West	Single-Family Residential Development	Medium Density Residential	PD-3000
PD-1500 (Planned Development, one unit for each 1,500 sq. ft. of site area) PD-3000 (Planned Development, one unit for each 3,000 sq. ft. of site area)			

ANALYSIS

The Madera Municipal Code (MMC) establishes procedures for the review and approval of site plan reviews (Section 10-3.4.01). Sections 10-3-4.101 through 10-3-4.107 of the MMC establishes standards specific to development within the PD (Planned Development) zone district. Sections 10-3.501 through 10-513 of the MMC establishes standards specific to development within the R (Residential) zone district. Additional development standards identified in the MMC, such as parking requirements, also apply.

The project is proposing the development of a 102-unit apartment complex on an existing 4.38-acre vacant lot. The development will include one- and two-bedroom apartments, a community center, management office, swimming pool, and park area. The one- and two-bedroom apartment buildings will be three-stories and the management office will be a one-story building.

Requested Deviations

PPL 2021-01 is requesting a deviation to the fence standard along Emily Way and parking requirements from 214 total required parking spaces to 190 total parking spaces. The PPL allows the use of special

design criteria such as, in this case, deviations in fence standards and parking requirements without requiring approval of a variance application.

Fence Standard. The code requires that fences be limited to 3 feet in height within the required setback area. Gary Lane has a 10-foot setback required and Emily Way has a 15-foot setback required. The project proposes a 6-foot fence set back 10 feet from the property line along Gary Lane and Emily Way. The fence along Gary Lane meets the setback and height requirements; however, the fence along Emily Way would be required to either be 3 feet in height or be set back 15 feet from property line. However, as noted above, the PPL allows for deviations from development standards and staff is in support of allowing a 6-foot fence set back 10 feet from the property line along Emily Way. The fence shall be wrought iron, tubular steel, or other visually superior material, as reflected in the conditions of approval.

Parking Requirement. The 102 proposed units consist of 30 one-bedroom units and 72 two-bedroom units. Section 10-3.12 of the MMC establishes parking space requirements of 1.5 spaces (1 covered) per one-bedroom units and 2 spaces (1 covered) per two or more-bedroom units. Guest parking is also required at a rate of 1 parking space for each group of four units. Therefore, a total of 214 parking spaces (102 covered) would be required. Under the PPL provisions in the Zoning Ordinance, the project is given the allowance to deviate from the standards, including parking requirements. The applicant is requesting a reduction in the parking spaces required from 214 total spaces (102 covered) to 190 total spaces (103 covered). The number of parking spaces will still be provided at just over 1.5 parking spaces for all units (165 parking spaces for 102 units) in addition to still providing the number of guest parking spaces required per code (25 parking spaces). The number of covered parking spaces will also remain consistent with the code requirements. Staff is in support of this reduction in parking spaces.

The proposed use is an allowed use in the PD-1500 zone district. The site plan and elevations have been reviewed in accordance with the applicable development standards of the MMC, including but not limited to setbacks, height limits, parking, access, and landscaping requirements. The proposed development has also been evaluated against the applicable General Plan policies. The proposed development, as conditioned, is consistent with the requirements of the MMC and the General Plan, except for those deviations as described above.

Development of the project site will not put additional stress on the City of Madera's public infrastructure and utilities systems. The necessary water, wastewater, storm drainage, and roadway improvements to serve the project site have been reflected in the conditions of approval for PPL 2021-01 and SPR 2021-07.

CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA)

The proposed project has been reviewed for compliance with CEQA. The project has been determined to be categorically exempt from the preparation of environmental documents pursuant to Section 15332 (In-fill Development Projects) of the State California Environmental Quality Act (CEQA) Guidelines.

CONSISTENCY WITH THE VISION MADERA 2025 PLAN

A continuation of the City's planned growth for residential land uses, as proposed by PPL 2021-01 and SPR 2021-07, supports the vision for Well Planned Neighborhoods and Housing. These principles recognize that the provision of housing opportunities is a key component in the implementation of the City's General Plan and vision for the community.

RECOMMENDATION

The information presented in this report provides support for the adoption of a resolution recommending conditional approval of PPL 2021-01 and SPR 2021-07 by the Planning Commission. It is recommended that the Commission consider the information in this report, as well as testimony received at the public hearing, and make a determination on the Precise Plan 2021-01 and Site Plan Review 2021-07, subject to the findings and conditions of approval.

PLANNING COMMISSION ACTION

The Commission will be acting on the Categorical Exemption, Precise Plan 2021-01, and Site Plan Review 2021-07 and determining to either:

- Adopt a resolution adopting a Finding of a Categorical Exemption pursuant to CEQA Guidelines Section 15332 for the project, and approving Precise Plan 2021-01 and Site Plan Review 2021-07 as conditioned (Motion 1); or
- Continue the hearing to August 10, 2021, with direction to staff to return with an updated resolution with appropriate findings modifying the conditions of approval for the following reasons: (Specify – Planning Commission should articulate reasons for modifications to findings and conditions of approval) (Motion 2); or
- Move to continue the application for Precise Plan 2021-01 and Site Plan Review 2021-07 to the August 10, 2021, Planning Commission hearing with direction to staff to return with an updated resolution with appropriate findings for denial for the following reasons: (Specify – Planning Commission should articulate reasons for denial.) (Motion 3).

Motion 1: Move to adopt a resolution of the Planning Commission of the City of Madera adopting a Finding of a Categorical Exemption pursuant to CEQA Guidelines Section 15332 (In-fill Development Projects), and approving Precise Plan 2021-01 and Site Plan Review 2021-07, based on and subject to the findings and conditions of approval as follows:

Finding a: The proposal is consistent with the General Plan and Zoning Ordinance.

The property is zoned PD-1500- (*Planned Development, one unit for each 1,500 sq. ft. of site area*), which is consistent with the existing General Plan land use designation of HDR (High Density Residential). The project proposes a deviation in the setback standard for fencing and a reduction in the required spaces of 214 to 190, as allowed under the provisions of the PPL provisions. Parking is adequate for the site and the reduction is consistent with the Zoning Ordinance under the PPL provisions. PPL 2021-01 and SPR 2021-07 are consistent with the purpose and intent of the PD-1500 zone district and does not conflict with City standards or other provisions of the Code.

Finding b: The proposal is consistent with any applicable specific plans.

The project site is not subject to any specific plans.

Finding c: The proposed project includes facilities and improvements; vehicular and pedestrian ingress, egress, and internal circulation; and location of structures, services, walls, landscaping, and drainage that are so arranged that traffic congestion is avoided, pedestrian and vehicular

safety and welfare are protected, there will be no adverse effects on surrounding property, light is deflected away from adjoining properties and public streets, and environmental impacts are reduced to acceptable levels.

PPL 2021-01 and SPR 2021-07 have been reviewed and are consistent with surrounding uses and with all applicable requirements for development in the PD(1500) zone district, including provisions for access to and from the site, parking and loading facilities, drainage, and lighting. Although the project proposes a reduction in the required parking spaces, the reduced parking spaces are adequate for the number of units proposed and would not have an adverse effect on surrounding properties.

Finding d: The proposed project is consistent with established legislative policies relating to traffic safety, street dedications, street improvements, and environmental quality.

PPL 2021-01 and SPR 2021-07 will be required to install street improvements in accordance with City standards. Related infrastructure improvements will also be required for storm drainage in conformance with City standards. The project site has access to Gary Lane and Emily Way, which can accommodate traffic generated from the proposed project. Based on the preliminary environmental analysis prepared, the project will not have a significant impact on traffic or the environment.

(OR)

Motion 2: Move to continue the public hearing on PPL 2021-01 and SPR 2021-07 to the August 10, 2021, with direction to staff to return with an updated resolution with appropriate findings modifying the conditions of approval for the following reasons: (Specify – Planning Commission should articulate reasons for modifications to findings and conditions of approval)

(OR)

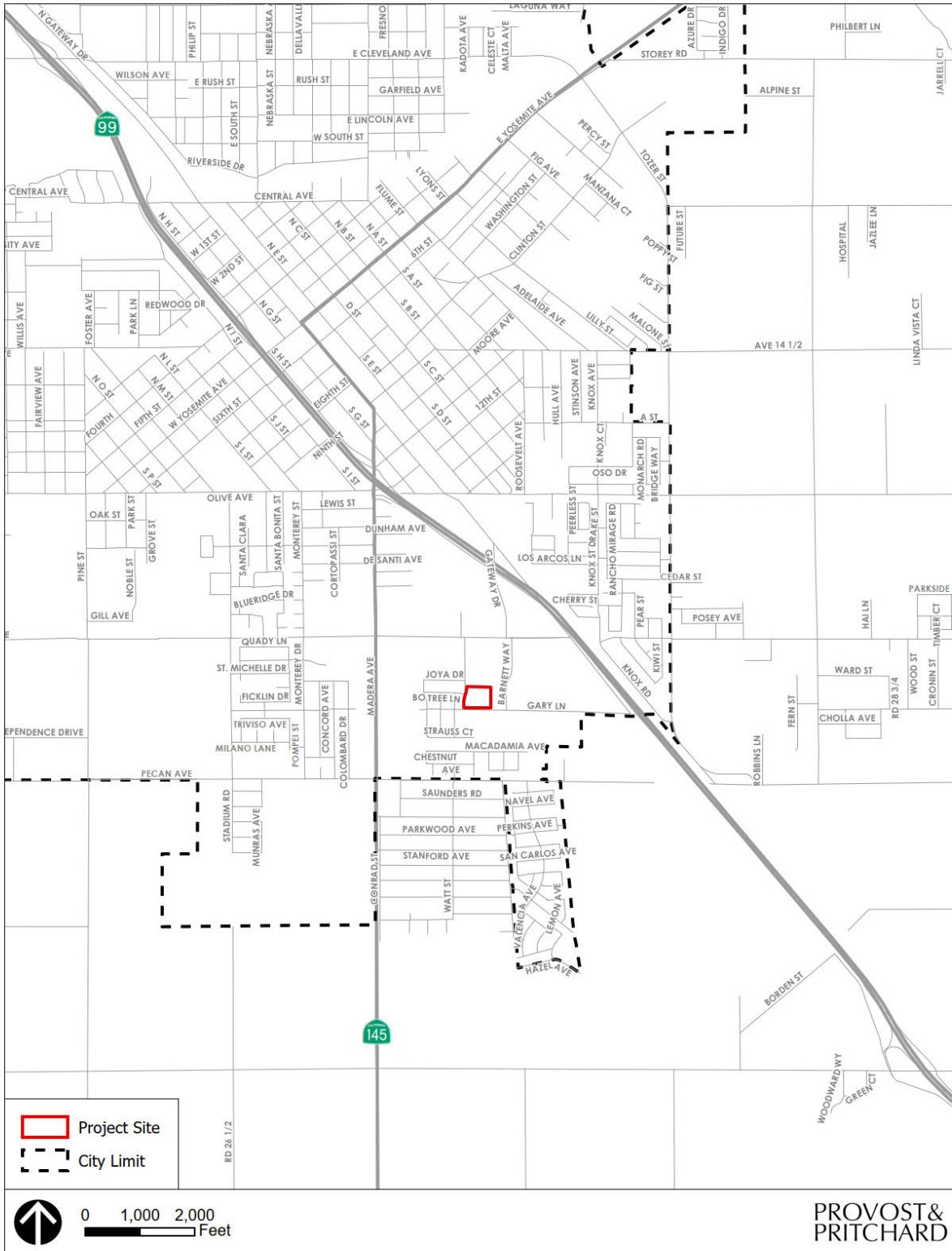
Motion 3: Move to continue the application for PPL 2021-01 and SPR 2021-07 to the August 10, 2021, Planning Commission hearing with direction to staff to return with an updated resolution with appropriate findings for denial for the following reasons: (Specify – Planning Commission should articulate reasons for denial.)

ATTACHMENTS

- Attachment 1: Vicinity Map
- Attachment 2: Aerial Photo
- Attachment 3: General Plan Land Use Map
- Attachment 4: Zoning Map
- Attachment 5: Exhibit A, Site Plan (Dimensioned)
- Attachment 6: Exhibit B, Site Plan (Noted)
- Attachment 7: Exhibit C, Site Plan (Detail)
- Attachment 8: Exhibit D, Site Plan (BBQ)
- Attachment 9: Exhibit E, Floor Plan (Building A)
- Attachment 10: Exhibit F, Floor Plan (Building B – Ground Level)
- Attachment 11: Exhibit G, Floor Plan (Building B – Second/Third Level)
- Attachment 12: Exhibit H, Floor Plan (Building C – Ground Level)

- Attachment 13: Exhibit I, Floor Plan (Building C Second/Third Level)
- Attachment 14: Exhibit J, Floor Plan (Building D Ground Level)
- Attachment 15: Exhibit K, Floor Plan (Building D Second/Third Level)
- Attachment 16: Exhibit L, Floor Plan (Building E Ground Level)
- Attachment 17: Exhibit M, Floor Plan (Building E Second/Third Level)
- Attachment 18: Exhibit N, Elevations (Building A)
- Attachment 19: Exhibit O, Elevations (Building B)
- Attachment 20: Exhibit P, Elevations (Building C)
- Attachment 21: Exhibit Q, Elevations (Building C & D)
- Attachment 22: Exhibit R, Elevations (Building E)
- Attachment 23: Categorical Exemption – Section 15332 for PPL 2021-01 and SPR 2021-07
- Attachment 24: Planning Commission Resolution 1884

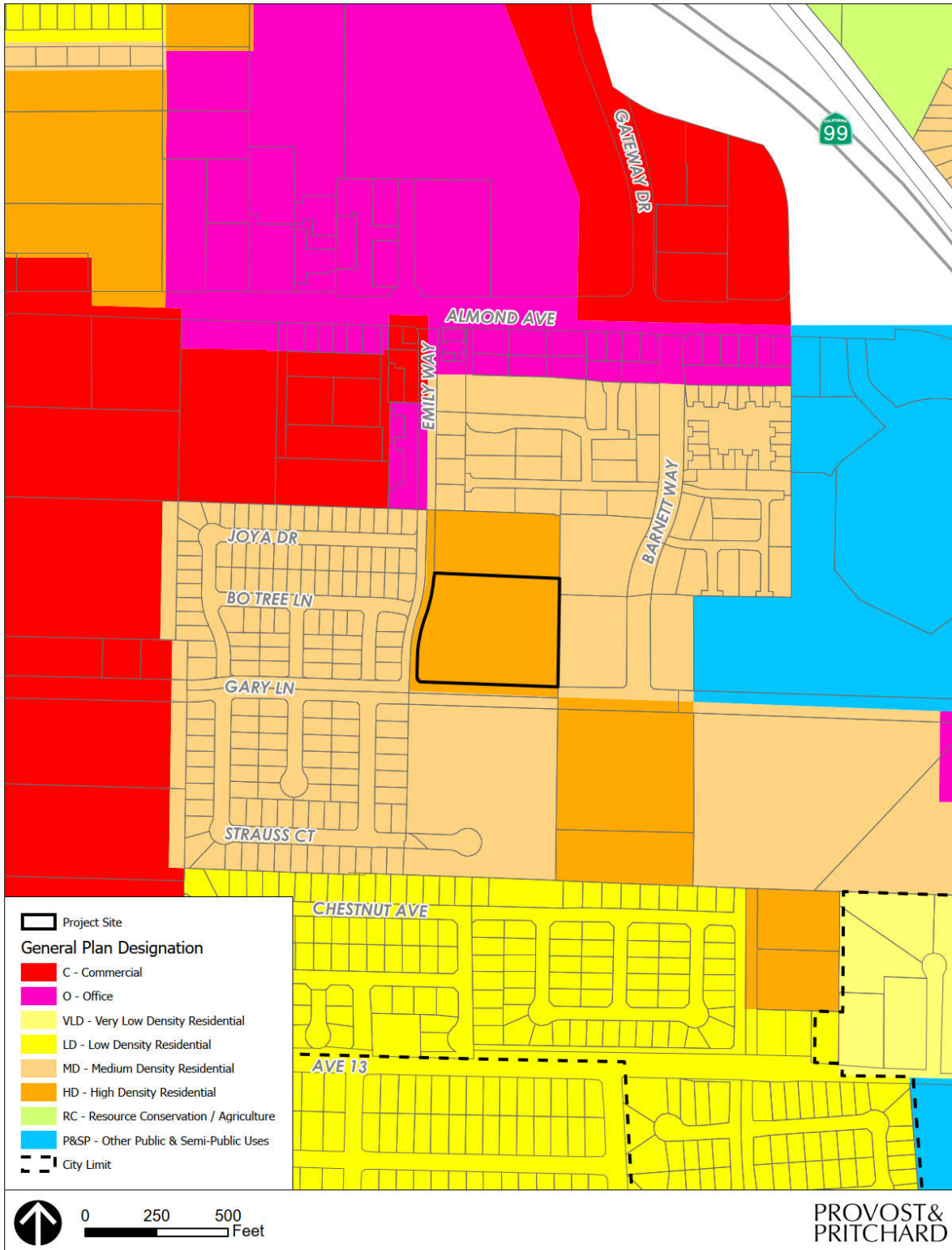
Attachment 1: Vicinity Map



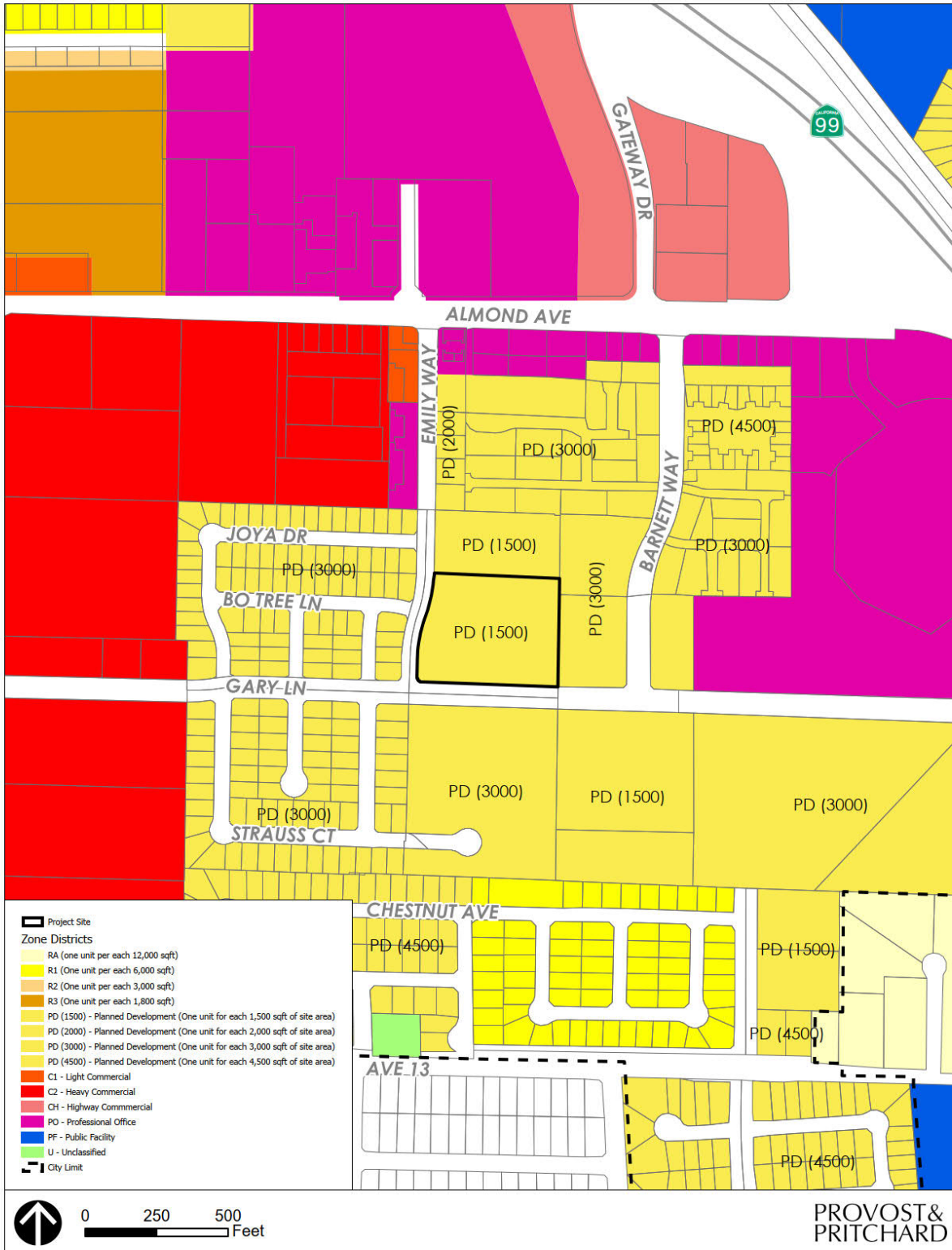
Attachment 2: Aerial Photo



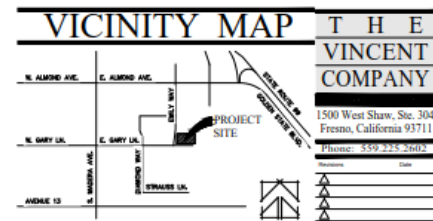
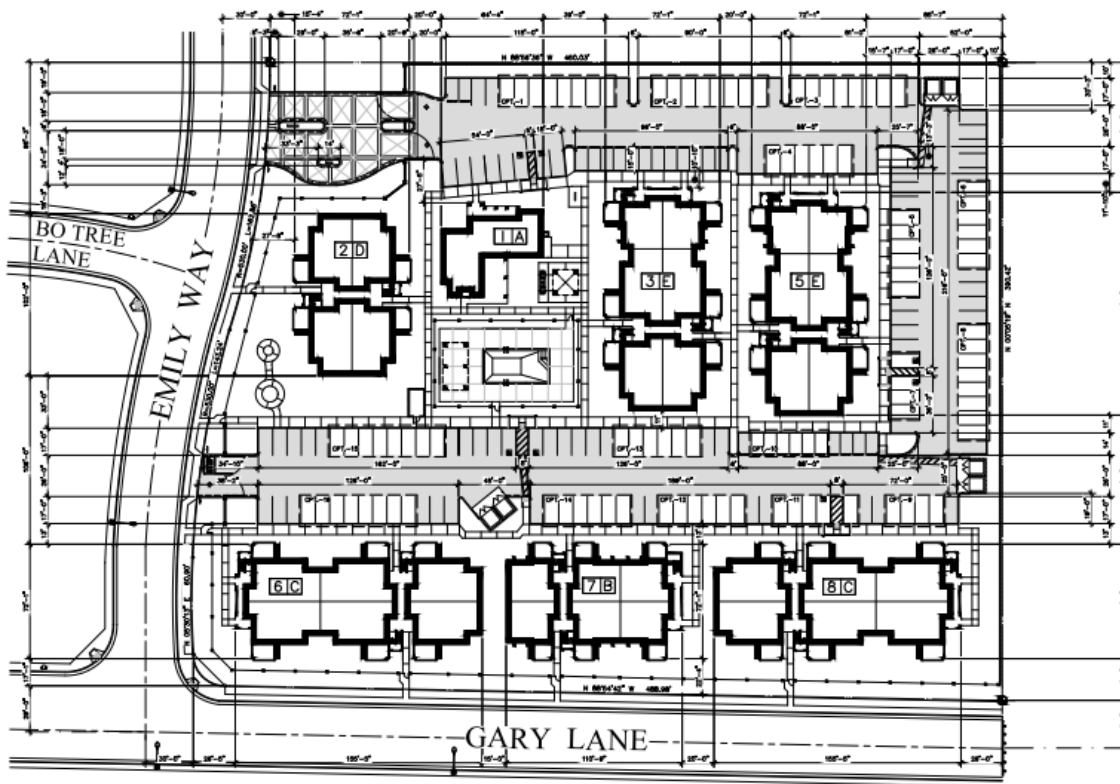
Attachment 3: General Plan Land Use Map



Attachment 4: Zoning Map



Attachment 5: Exhibit A, Site Plan (Dimensioned)



T H E VINCENT COMPANY
 1500 West Shaw, Ste. 304
 Fresno, California 93711
 Phone: 559.235.3602

STATISTICS

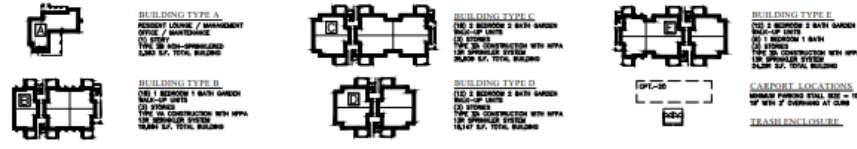
PROJECT PROPOSAL	102 UNITS OF MULTI-FAMILY RESIDENTIAL DEVELOPMENT
PROJECT LOCATION	402 EAST GARY LANE AND EMILY WAY, FRESNO, CALIFORNIA
ASSESSORS PARCEL(S)	010-003-001
CURRENT ZONING	PD-1000
TOTAL SITE AREA	160,790 SF. (3.68 ACRES)
SITE DIMENSIONS	137' UNITS
A. ASSESSED UNITS	102 UNITS
B. PROPOSED UNITS	102 UNITS
C. UNITS PER ACRE	27.7 UNITS/ACRE
SITE COVERAGE	26,700 SF. (16.6%)
P.P.P. RATIO	102 UNITS / 26,700 SF. = 3.82 UNITS/SF
UNIT STATISTICS	
A. TOTAL UNITS	102 UNITS
B. TOTAL SQUARE FEET	267,000 SF.
C. TOTAL SQUARE FEET PER UNIT	2,618 SF./UNIT
D. TOTAL SQUARE FEET PER SQUARE FOOT OF SITE	1.66 SF./SF.
E. TOTAL SQUARE FEET PER ACRE	61,800 SF./ACRE
F. TOTAL SQUARE FEET PER 100 SQUARE FEET OF SITE	166 SF./100 SF.
G. TOTAL SQUARE FEET PER 100 SQUARE FEET OF LOT	166 SF./100 SF.
H. TOTAL SQUARE FEET PER 100 SQUARE FEET OF LOT	166 SF./100 SF.
I. TOTAL SQUARE FEET PER 100 SQUARE FEET OF LOT	166 SF./100 SF.
J. TOTAL SQUARE FEET PER 100 SQUARE FEET OF LOT	166 SF./100 SF.
K. TOTAL SQUARE FEET PER 100 SQUARE FEET OF LOT	166 SF./100 SF.
L. TOTAL SQUARE FEET PER 100 SQUARE FEET OF LOT	166 SF./100 SF.
M. TOTAL SQUARE FEET PER 100 SQUARE FEET OF LOT	166 SF./100 SF.
N. TOTAL SQUARE FEET PER 100 SQUARE FEET OF LOT	166 SF./100 SF.
O. TOTAL SQUARE FEET PER 100 SQUARE FEET OF LOT	166 SF./100 SF.
P. TOTAL SQUARE FEET PER 100 SQUARE FEET OF LOT	166 SF./100 SF.
Q. TOTAL SQUARE FEET PER 100 SQUARE FEET OF LOT	166 SF./100 SF.
R. TOTAL SQUARE FEET PER 100 SQUARE FEET OF LOT	166 SF./100 SF.
S. TOTAL SQUARE FEET PER 100 SQUARE FEET OF LOT	166 SF./100 SF.
T. TOTAL SQUARE FEET PER 100 SQUARE FEET OF LOT	166 SF./100 SF.
U. TOTAL SQUARE FEET PER 100 SQUARE FEET OF LOT	166 SF./100 SF.
V. TOTAL SQUARE FEET PER 100 SQUARE FEET OF LOT	166 SF./100 SF.
W. TOTAL SQUARE FEET PER 100 SQUARE FEET OF LOT	166 SF./100 SF.
X. TOTAL SQUARE FEET PER 100 SQUARE FEET OF LOT	166 SF./100 SF.
Y. TOTAL SQUARE FEET PER 100 SQUARE FEET OF LOT	166 SF./100 SF.
Z. TOTAL SQUARE FEET PER 100 SQUARE FEET OF LOT	166 SF./100 SF.

TERRA VISTA APARTMENTS
 102 UNITS OF MULTI-FAMILY RESIDENTIAL DEVELOPMENT
 402 EAST GARY LANE AND EMILY WAY, FRESNO, CALIFORNIA



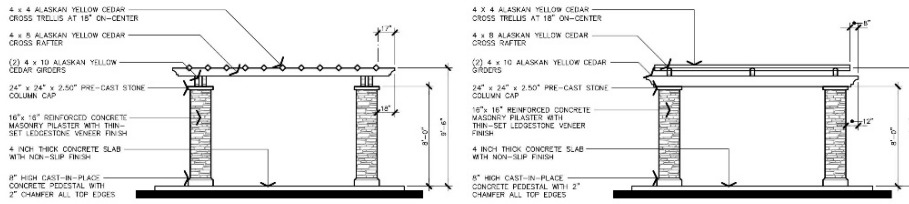
DIMENSIONED SITE PLAN

BUILDING LEGEND



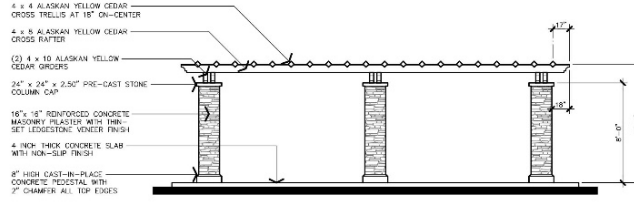
DATE: 08/15/2012
 DRAWN BY: J. SMITH
 CHECKED BY: T. VINCENT
 PROJECT NO: 102
 SHEET NO: 102-01
 SCALE: AS SHOWN
 PROJECT LOCATION: 402 EAST GARY LANE AND EMILY WAY, FRESNO, CALIFORNIA
 PROJECT NAME: TERRA VISTA APARTMENTS
 ARCHITECT: T.H. VINCENT ARCHITECTS, INC.
 LICENSE NO. 12345
 STATE OF CALIFORNIA
PAI

Attachment 8: Exhibit D, Site Plan (BBQ)

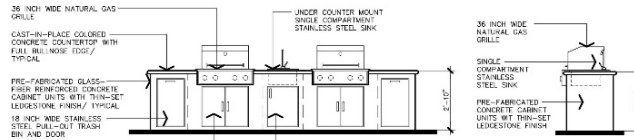


8 RESIDENT BAR-B-QUE ARBOR FRONT / REAR ELEVATION 1/4" = 1'-0"

5 RESIDENT BAR-B-QUE ARBOR END ELEVATION 1/4" = 1'-0"



6 POOL AREA ARBOR FRONT / REAR ELEVATION 1/4" = 1'-0"



A FRONT ELEVATION

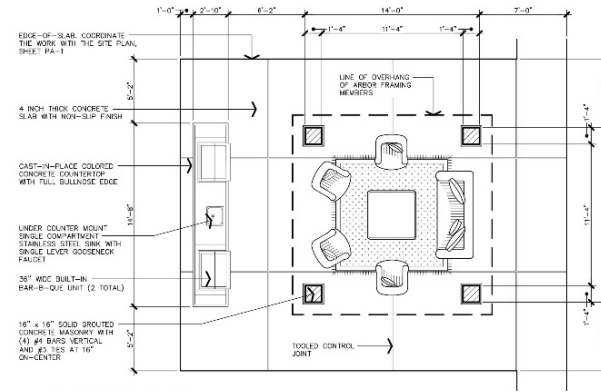
C RIGHT ELEVATION



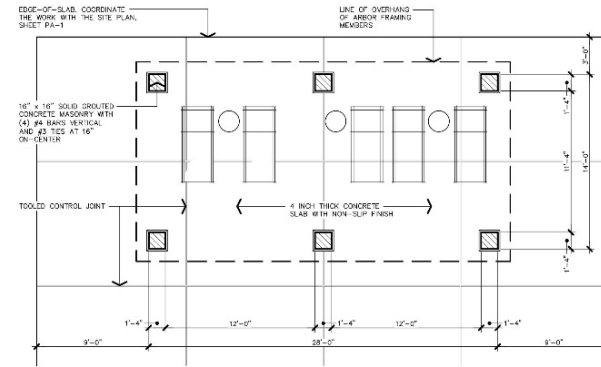
B REAR ELEVATION

D LEFT ELEVATION

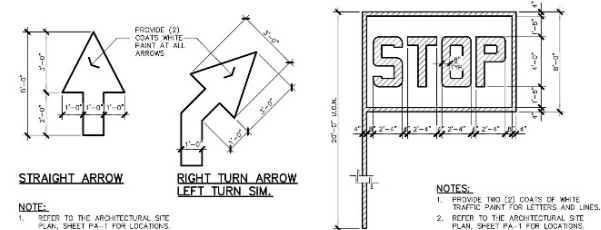
7 RESIDENT BAR-B-QUE DETAILS 3/8" = 1'-0"



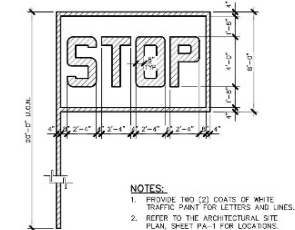
1 RESIDENT BAR-B-QUE ARBOR FLOOR PLAN 1/4" = 1'-0"



2 POOL AREA ARBOR FLOOR PLAN 1/4" = 1'-0"



4 PAINTED TRAFFIC ARROWS



3 PAINTED PAVEMENT SIGNAGE

THE VINCENT COMPANY
ARCHITECTS
1500 West Shaw, Ste. 304
Fresno, California 93711
Phone: 559.225.2602

TERRA VISTA APARTMENTS
1500 WEST SHAW AND VIA WAY
MADERA, CALIFORNIA

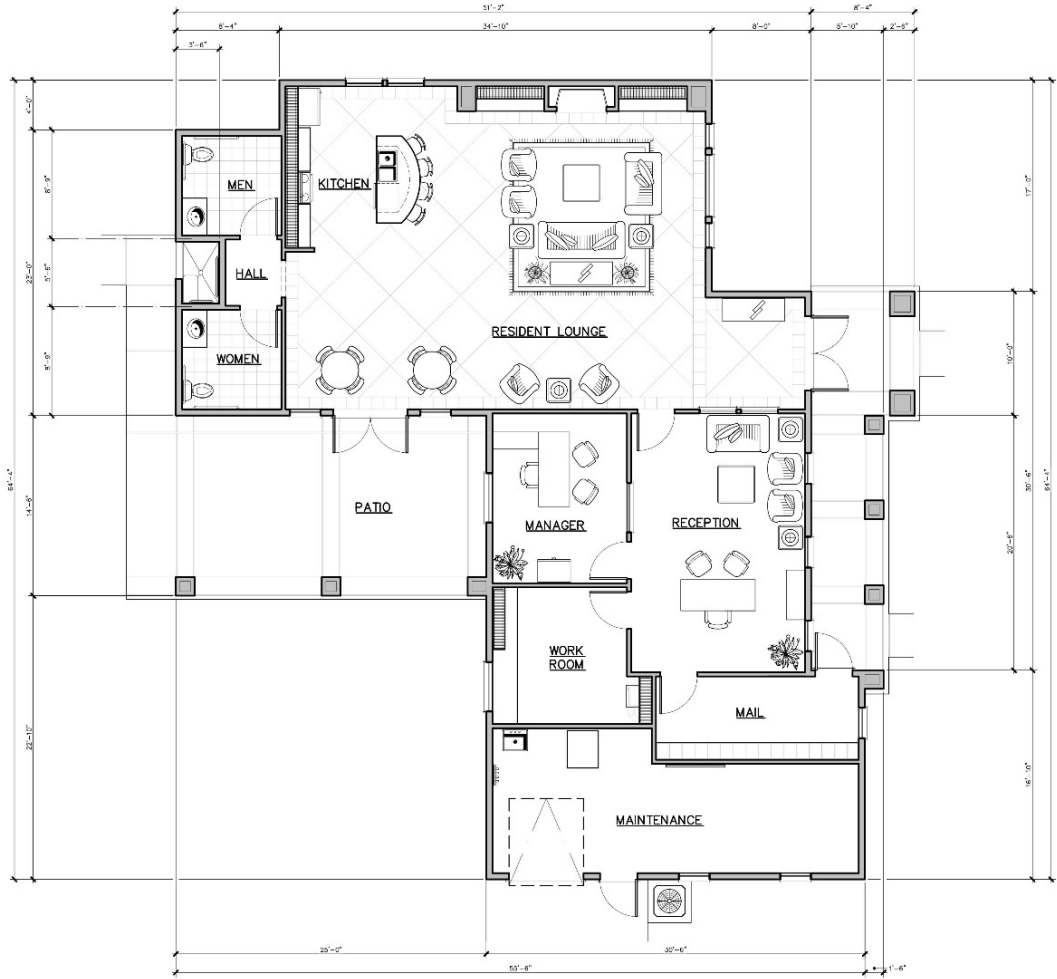


Revisions: _____ Date: _____
 DESIGN REVIEW
 PLAN CHECK
 BACK CHECK
 PERMITS
 CONSTRUCTION
 AS-BUILT

All drawings and written matters appearing herein constitute original work of the architect and may not be reproduced, used, or disclosed without written consent of the architect.
 Scale: AS NOTED
 Project Name: TERRA VISTA
 Project Number: 19103
 Plot Date: 06.26.21
 Sheet Number: PA-4
PA-4

2:28PM 04/13/21 The Vincent Company 1500 West Shaw, Ste. 304, Fresno, CA 93711 559.225.2602

Attachment 9: Exhibit E, Floor Plan (Building A)



BUILDING STATISTICS		T H E VINCENT COMPANY	
PROPOSED USE:	MANAGEMENT / RESIDENT COMMUNITY CENTER		
OCCUPANCY GROUP:	R		
0. LOBBY/ RECEPTION/ MANAGER OFFICE	R		
1. RECEPTION LOUNGE/ DINING ROOM	A-2		
2. TOILETS/ RESTROOMS/ HALL	1-2		
3. WORK ROOM/ MAIL	V R		
CONSTRUCTION TYPE:			
AREA CALCULATIONS			
0. RECEPTION / MANAGER / WORK ROOM	371 S.F.		
1. KITCHEN	72 S.F.		
2. RECEPTION LOUNGE / DINING	891 S.F.		
3. MAIL ROOM	143 S.F.		
4. LOBBY / RECEPTION / HALL	421 S.F.		
5. COVERED PORCH / PATIO	373 S.F.		
6. TOTAL BUILDING AREA	1344 S.F.		
FIRE RESISTANCE REQUIREMENTS			
1. EXTERIOR WALLS	NON-RATED		
2. INTERIOR PARTITION WALLS	NON-RATED		
3. FLOOR / ROOF ASSEMBLY	NON-RATED		
4. CEILING / ROOF ASSEMBLY	NON-RATED		
5. EXTERIOR DOORWAYS	NON-RATED		
OCCUPANCY SEPARATION			
0. R TO S-2 OCCUPANCY GROUPS	NONE REQUIRED PER IRC SECTION 503.2 AND 503.3		

PROPOSED PARAPET COMP ELEVATOR:
TERRA VISTA APARTMENTS
 1500 WEST SHAW, SUC. 304
 FRESNO, CALIFORNIA 93711
 1510 EAST GARY LANE & FAMILY WAY
 MADERA, CALIFORNIA



Title: _____ Date: _____
 DESIGN REVIEW
 PLAN CHECK
 BLOCK CHECK
 COMMENTS
 CONSTRUCTION
 AS BUILT
 All drawings and written material appearing hereon constitute original work of the architect and shall not be duplicated, used, or disclosed without written consent of the architect.
 Author: RW

Scale: 1/4" = 1'-0"
 Project Name: TERRA VISTA
 MADERA, CALIFORNIA
 Project Number: 101112
 Plot Date: 01/28/24
 Sheet Number:

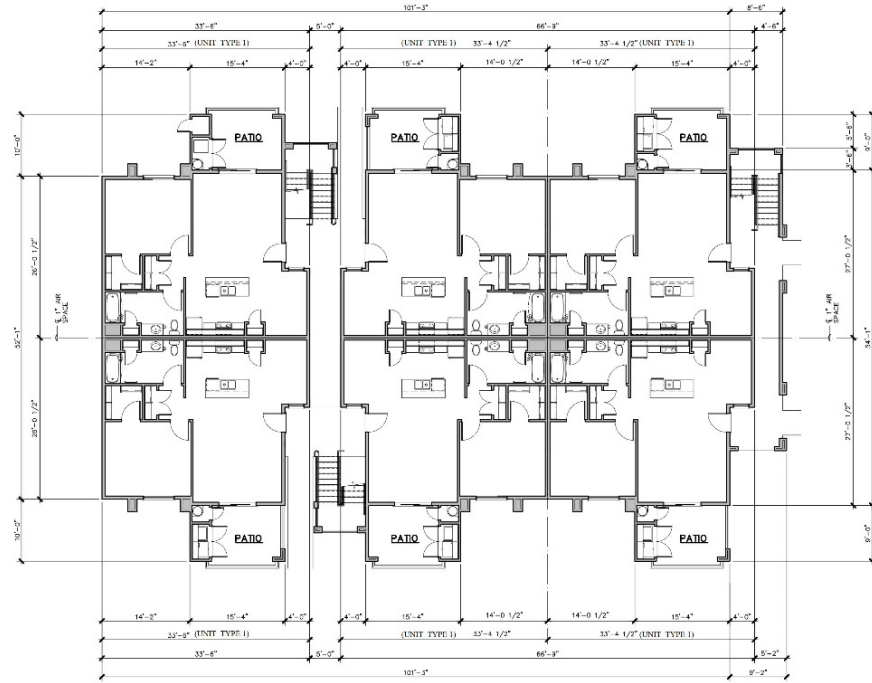
BUILDING 'A' FLOOR PLAN

1/4" = 1'-0"

PA5

Z:\2024\101112 - Terra Vista Apartments\PROJECT INFORMATION\PLAN CHECK\0506 - Building A Floor Plan.dwg, 1/28/24 11:01 AM

Attachment 10: Exhibit F, Floor Plan (Building B – Ground Level)



GROUND

BUILDING STATISTICS

BUILDING UNIT MIX	(18) UNITS TYPE "1" BEDROOMS (1) BATHROOM BULK-LIP UNIT 829 SQ. FT./UNIT
OCCUPANCY GROUP	R-2
CONSTRUCTION TYPE	III-A WITH 13R AUTOMATIC FIRE SPRINKLER SYSTEM
FITTING AREA	
a. GROUND FLOOR	
1. RESIDENTIAL UNITS	4,892 SQ. FT.
2. COVERED PATIOS	828 SQ. FT.
3. STAIRS / WALKWAY	892 SQ. FT.
b. SECOND FLOOR	
1. RESIDENTIAL UNITS	4,892 SQ. FT.
2. COVERED PATIOS	828 SQ. FT.
3. STAIRS / WALKWAY	892 SQ. FT.
c. THIRD FLOOR	
1. RESIDENTIAL UNITS	4,892 SQ. FT.
2. COVERED PATIOS	828 SQ. FT.
3. STAIRS / WALKWAY	892 SQ. FT.
TOTAL BUILDING AREA	15,884 SQ. FT.
FIRE RESISTANT REQUIREMENTS	
a. EXTERIOR WALLS	ONE HOUR RATED (ASSEMBLY 14-1.3 & 15-1.3 PER CRC TABLE 720 (2))
b. INTERIOR BEARING WALLS	ONE HOUR RATED (ASSEMBLY 14-1.3 PER CRC TABLE 720 (2))
c. INTERIOR NON-BEARING WALLS	ONE HOUR RATED (ASSEMBLY 14-1.3 PER CRC TABLE 720 (2))
d. CEILING/ROOF ASSEMBLY	ONE HOUR RATED (C.A. FILE NO. RC-2803)
e. FLOOR/CILING ASSEMBLY	TSC/RCA 60-D ONE HOUR RATED FLOOR/CILING PER ASSEMBLY 15A/W/PA 232
f. UNIT COMMON WALLS	ONE HOUR RATED (C.A. FILE NO. SP-0008) STC RATING = 15 TO 59
g. SHUT ENCLOSEURES	MINC ENCLOSURE
h. EXTERIOR OPENINGS	NON-RATED

**BUILDING 'B'
COMPOSITE PLANS**
1/8" = 1'-0"

THE VINCENT COMPANY
ARCHITECTS INC.
1500 West Shaw, Ste. 304
Fresno, California 93711
Phone: 559.225.2602

Revisions:	Date:
▲	
▲	
▲	
▲	

PROVIDED FOR THE PROJECT FOR:
TERRA VISTA APARTMENTS
NEC. EAST GARY LANE & EMILY WAY
MADERA, CALIFORNIA



Revisions:	Date:
<input type="radio"/> DESIGN REVIEW	
<input type="radio"/> PLAN CHECK	
<input type="radio"/> CHECK CHECK	
<input type="radio"/> PERMITS	
<input type="radio"/> CONSTRUCTION	
<input type="radio"/> AS-BUILT	

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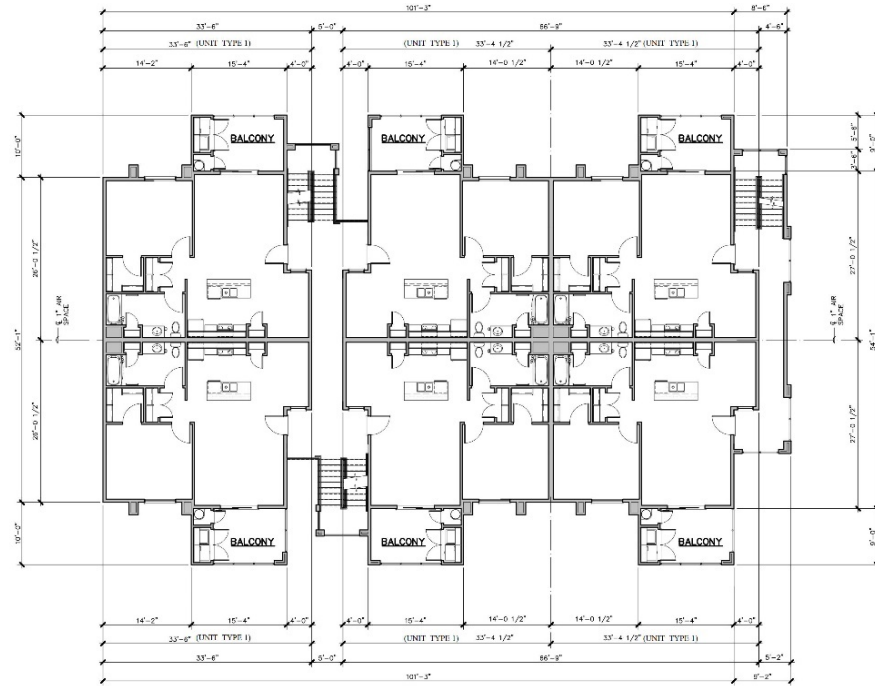
Reference Note:	
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▲	
▲	
Scale: 1/8" = 1'-0"	

Project Name: TERRA VISTA
MADERA, CALIFORNIA
Project Number: 191123
Plot Date: 10/18/21
Sheet Number:

PA6

Z:\2021\191123 - Terra Vista\191123\191123_0100\DWG\191123_0100_01.dwg, 10/18/21, 10:54:56 AM, Scott A. Vincent

Attachment 11: Exhibit G, Floor Plan (Building B – Second/Third Level)



SECOND/ THIRD

THE VINCENT COMPANY
ARCHITECTS
1500 West Shaw, Ste. 304
Fresno, California 93711
Phone: 559.225.2602

Revisions	Date
△	
△	
△	
△	

PROCESSED BY ARCHITECTURAL BOARD FOR:
TERRA VISTA APARTMENTS
1500 WEST SHAW ST. & LINDA WAY
MADERA, CALIFORNIA



- Date: _____
- DESIGN REVIEW
 - PLAN CHECK
 - BACK CHECK
 - PERMITS
 - CONSTRUCTION
 - AS-BUILT

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Reference Note:

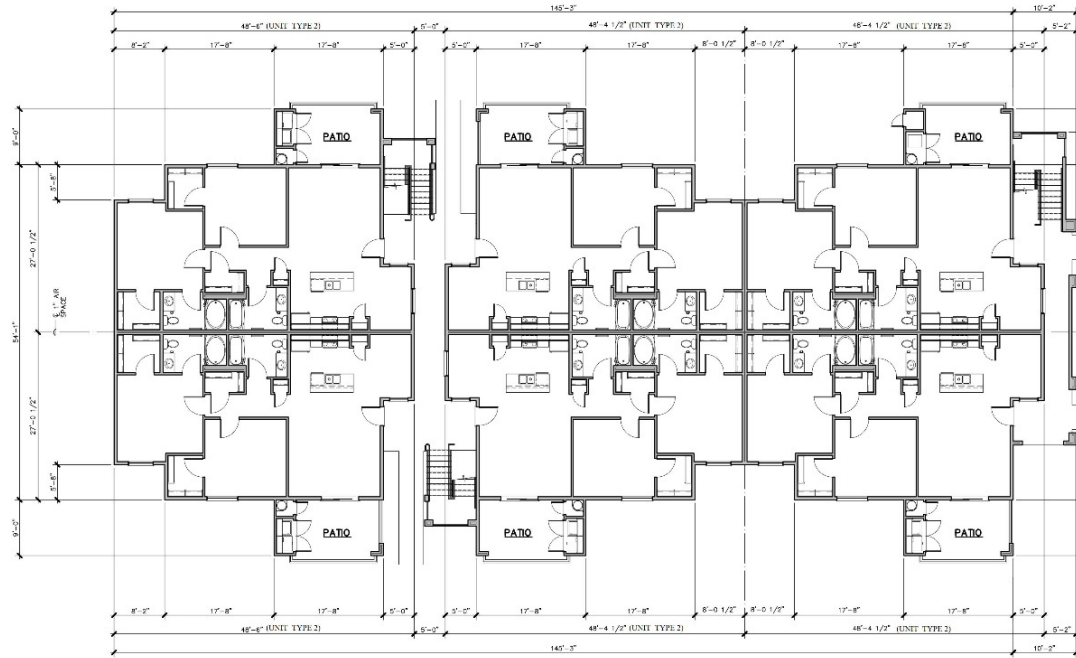
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 Project Name: TERRA VISTA
 Project Number: 10103
 File Date: 09/04/21
 Sheet Number:

**BUILDING 'B'
COMPOSITE PLANS**

PA6.1
1/8" = 1'-0"

2:2019/01/27 - The Vincent Company, 1500 West Shaw, Ste. 304, Fresno, CA 93711, Phone: 559.225.2602, Fax: 559.225.2603

Attachment 12: Exhibit H, Floor Plan (Building C – Ground Level)



GROUND

BUILDING STATISTICS

BUILDING UNIT MIX	100 2-BD TYPE 2 UNITS 5 3-BD/3-ROOMS MAX-UP UNIT 1,000 SQ. FT./UNIT
OCCUPANCY GROUP	R-2
CONSTRUCTION TYPE	V-A w/1: VFA 13R AUTOMATIC FIRE SPRINKLER SYSTEM
BUILDING AREA	
a. GROUND FLOOR	
1. RESIDENTIAL UNITS	7,058 SQ. FT.
2. COVERED PATIO	854 SQ. FT.
3. STAIRS/ HALLWAY	912 SQ. FT.
b. SECOND FLOOR	
1. RESIDENTIAL UNITS	7,058 SQ. FT.
2. COVERED PATIO	854 SQ. FT.
3. STAIRS/ HALLWAY	912 SQ. FT.
c. THIRD FLOOR	
1. RESIDENTIAL UNITS	7,058 SQ. FT.
2. COVERED PATIO	854 SQ. FT.
3. STAIRS/ HALLWAY	912 SQ. FT.
TOTAL BUILDING AREA	70,892 SQ. FT.
FIRE RESISTANCE REQUIREMENTS	
a. EXTERIOR WALLS	ONE HOUR RATED (ASSEMBLY 14-1.3 & 10-1.3 PER CBC TABLE 703.5(1))
b. INTERIOR BEARING WALLS	ONE HOUR RATED (ASSEMBLY 14-1.3 PER CBC TABLE 703.5(2))
c. INTERIOR NON-BEARING WALLS	ONE HOUR RATED (ASSEMBLY 14-1.3 PER CBC TABLE 703.5(2))
d. CEILING/ROOF ASSEMBLY	ONE HOUR RATED (G.A. F.I.F. NO. RB-2000)
e. FLOOR/CEILING ASSEMBLY	150 PSF/160-01 ONE HOUR RATED FLOOR/Ceiling PER ASTM E 119/ NFPA 253
f. UNIT COMMON WALLS	ONE HOUR RATED (G.A. F.I.F. NO. RB-2000) STC RATING = 50 TO 55
g. SHMT ENCLOSURES	NONE OCCUR
h. EXTERIOR OPENINGS	NON-RATED

BUILDING 'C' COMPOSITE PLANS

1/8" = 1'-0"

THE VINCENT COMPANY
ARCHITECTS INC.
1500 West Shaw, Ste. 304
Fresno, California 93711
Phone: 559.225.2602

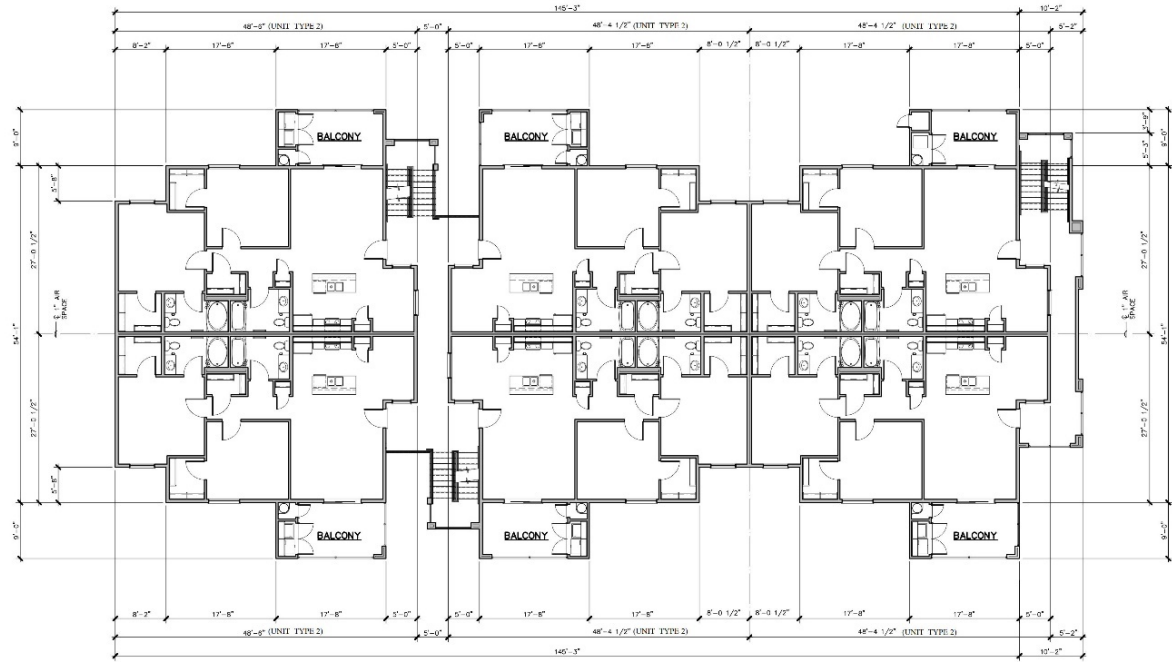
Revisions	Date

PROPOSED APARTMENT COMPLEX FOR:
TERRA VISTA APARTMENTS
NEWCLIFF APARTMENT FAMILY WAY
MADERA, CALIFORNIA



Revisions	Date
<input type="checkbox"/> DESIGN REVIEW	
<input type="checkbox"/> PLAN CHECK	
<input type="checkbox"/> BACK CHECK	
<input type="checkbox"/> PERMITS	
<input type="checkbox"/> CONSTRUCTION	
<input type="checkbox"/> AS BUILT	
All drawings and written materials appearing herein constitute original work of the architect and may not be duplicated, used, or disclosed without written consent of the architect.	
Scale: 1/8" = 1'-0"	
Project Name:	TERRA VISTA
Location:	MADERA, CALIFORNIA
Project Number:	151122
File Name:	08-34.PLT
Sheet Number:	PA7

Attachment 13: Exhibit I, Floor Plan (Building C Second/Third Level)



SECOND/ THIRD

BUILDING 'C'
COMPOSITE PLANS

1/8" = 1'-0"

THE VINCENT COMPANY
MULTIFAMILY DIVISION
1500 West Shaw, Ste. 304
Fresno, California 93711
Phone: 559.225.2602

Revisions	Date

PROPOSED ALARM UNIT COMPLEX FOR:
TERRA VISTA APARTMENTS
1100 EAST GARY LANE & 11TH WAY
MADERA, CALIFORNIA



- Project Architect: _____ Date: _____
- DESIGN REVIEW
 - PLAN CHECK
 - SNACK CHECK
 - PERMITS
 - CONSTRUCTION
 - AS BUILT

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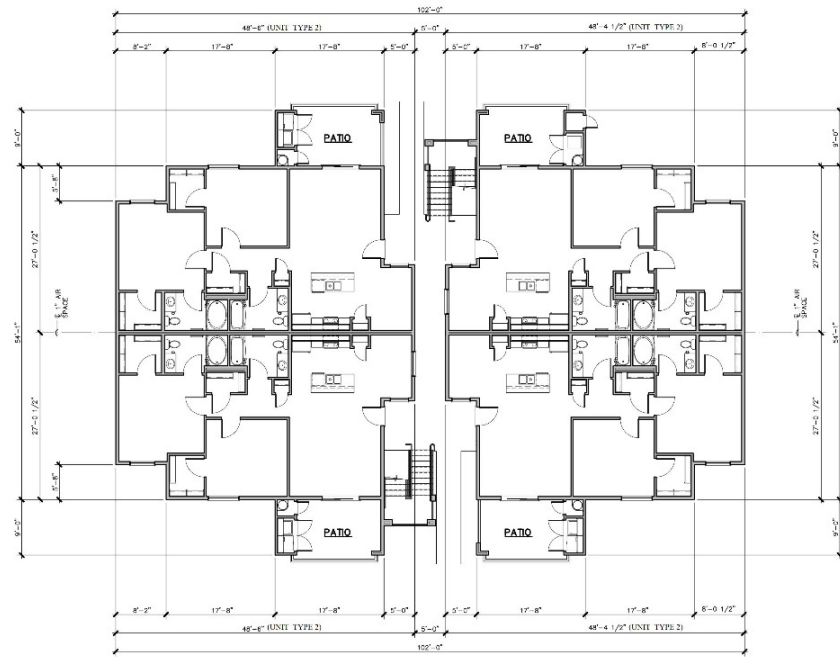
Reference Mark:

Scale: 1/8" = 1'-0"
Project Name: TERRA VISTA
MADERA, CALIFORNIA
Project Number: 111119
Plot Date: 01.06.21
Sheet Number:

PA7.1

Z:\2021\111119_Terra Vista Apartments\111119_111119_Plan\111119_Plan_71.dwg, 11/11/2021, 11:00:00 AM

Attachment 14: Exhibit J, Floor Plan (Building D Ground Level)



GROUND

BUILDING STATISTICS

BUILDING UNIT MIX	(22) UNITS: Two "2" 2 bedrooms 2 Bathrooms walk-up unit 1,853 SQ. FT./UNIT
OCCUPANCY GROUP	R-2
CONSTRUCTION TYPE	VIA IBC: VFA-135 AUTOMATIC FIRE SUPPRESSOR SYSTEM
INTENDING AREA	
a. GROUND FLOOR	
1. RESIDENTIAL UNITS	4,732 SQ. FT.
2. COVERED PATIOS	430 SQ. FT.
3. STAIRS/ BRILLERWAY	345 SQ. FT.
b. SECOND FLOOR	
1. RESIDENTIAL UNITS	4,732 SQ. FT.
2. COVERED PATIOS	430 SQ. FT.
3. STAIRS/ BRILLERWAY	345 SQ. FT.
c. THIRD FLOOR	
1. RESIDENTIAL UNITS	4,732 SQ. FT.
2. COVERED PATIOS	430 SQ. FT.
3. STAIRS/ BRILLERWAY	345 SQ. FT.
TOTAL BUILDING AREA	17,238 SQ. FT.
FIRE RESISTANCE REQUIREMENTS	
a. EXTERIOR WALLS	ONE HOUR RATED ASSEMBLY 14-1.3 & 15-1.3 PER IBC TABLE 703.1(2)
b. INTERIOR BEARING WALLS	ONE HOUR RATED ASSEMBLY 14-1.3 PER IBC TABLE 703.1(2)
c. INTERIOR NON-BEARING WALLS	ONE HOUR RATED ASSEMBLY 14-1.3 PER IBC TABLE 703.1(2)
d. CEILING/ROOF ASSEMBLY	ONE HOUR RATED (G.A. F.I.P. NO. RC-2000)
e. FLOOR/CILING ASSEMBLY	1 3/4" A.C.A. 62-01 ONE HOUR RATED (1100V/CEILING FOR A21M 1 1/8" W/PEPA 231)
f. UNIT COMMON WALLS	ONE HOUR RATED (G.A. F.I.P. NO. SP-5000) SITE RATING = 35 TO 59
g. SHAFT ENCLOSURES	NONE OCCUR
h. EXTERIOR FINISHES	NOV-44-803

**T H E
VINCENT
COMPANY**
ARCHITECTS, INC.
1500 West Shaw, Ste. 314
Fresno, California 93711
Phone: 559.225.2602

Revisions	Date

**TERRA VISTA
APARTMENTS**
1101 EAST GARY LANE & FAMILY WAY
MADERA, CALIFORNIA

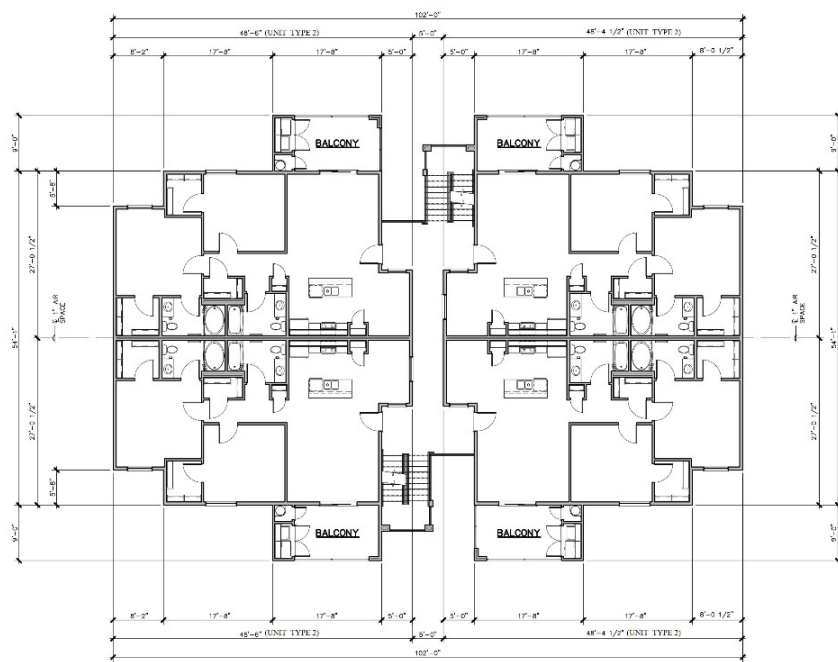


Project Name: TERRA VISTA
Project Number: 101102
City: MADERA, CALIFORNIA
Scale: 1/8" = 1'-0"
Sheet Number: PA8
Date: 08-21-21
Drawn: _____

**BUILDING 'D'
COMPOSITE PLANS** 1/8" = 1'-0"

2:08PM 10/22/21 Thu, 10/22/2021 10:08:00 AM 10/22/2021 10:08:00 AM 10/22/2021 10:08:00 AM

Attachment 15: Exhibit K, Floor Plan (Building D Second/Third Level)



SECOND/ THIRD

THE VINCENT COMPANY ARCHITECTS, INC.
 1500 West Shaw, Ste. 304
 Fresno, California 93711
 Phone: 559.225.2602

Revisions: _____ Date: _____

△
△
△
△

TERRA VISTA APARTMENTS
 PROPOSED APARTMENT COMPLEX
 1500 WEST SHAW AND FAMILY WAY
 MADRERA, CALIFORNIA



Prepared by: _____ Date: _____

DESIGN REVIEW
 PLAN CHECK
 ASK CHECK
 PERMITS
 CONSTRUCTION
 AS BUILT

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Scale: 1/8" = 1'-0"

Project Name: TERRA VISTA
 MADRERA, CALIFORNIA

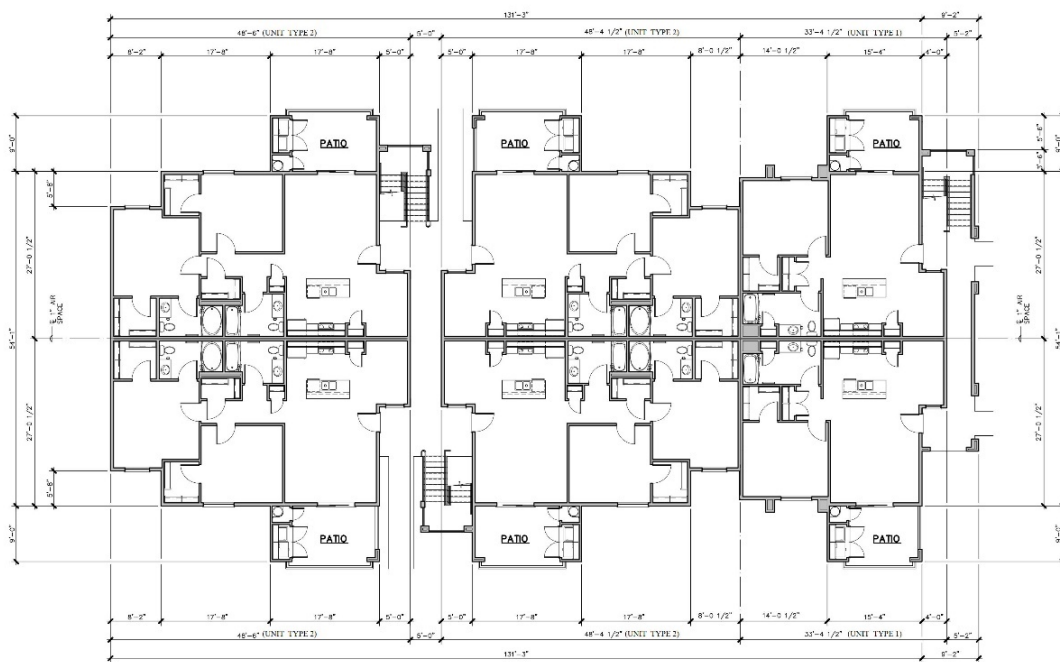
Project Number: 191122
 Project Date: 08.08.21
 Sheet Number: _____

PA8.1

1/8" = 1'-0"

**BUILDING 'D'
 COMPOSITE PLANS**

Attachment 16: Exhibit L, Floor Plan (Building E Ground Level)



GROUND

BUILDING STATISTICS

BUILDING UNIT MIX	(6) UNITS TYPE "1" 1 BEDROOM 1 BATHROOM 844-SQ-FEET UNIT 825 SQ. FT./UNIT
OCCUPANCY GROUP	R-2 (SEE TYPE "2" 2 BEDROOMS 2 BATHROOM 944-SQ-FEET UNIT 1,183 SQ. FT./UNIT)
CONSTRUCTION TYPE	III-A PER IBC 136 AUTOMATIC FIRE SPRINKLER SYSTEM
BUILDING AREA	
a. GROUND FLOOR	6,382 SQ. FT.
1. RESIDENTIAL UNITS	912 SQ. FT.
2. COVERED PATIO	891 SQ. FT.
3. STAIRS/HALLWAY	891 SQ. FT.
b. SECOND FLOOR	6,382 SQ. FT.
1. RESIDENTIAL UNITS	912 SQ. FT.
2. COVERED PATIO	891 SQ. FT.
3. STAIRS/HALLWAY	891 SQ. FT.
c. THIRD FLOOR	6,382 SQ. FT.
1. RESIDENTIAL UNITS	912 SQ. FT.
2. COVERED PATIO	891 SQ. FT.
3. STAIRS/HALLWAY	891 SQ. FT.
TOTAL BUILDING AREA	19,146 SQ. FT.
FIRE RESISTANCE REQUIREMENTS	
a. EXTERIOR WALLS	ONE HOUR RATED (ASSEMBLY 14-1.3 R-10-1.3 PER IBC TABLE 703.2(2))
b. INTERIOR BEARING WALLS	ONE HOUR RATED (ASSEMBLY 14-1.3 PER IBC TABLE 703.2(2))
c. INTERIOR NON-BEARING WALLS	ONE HOUR RATED (ASSEMBLY 14-1.3 PER IBC TABLE 703.2(2))
d. CEILING/ROOF ASSEMBLY	ONE HOUR RATED (6.4, F.L.C. NO. RC-2003)
e. FLOOR/ROOF ASSEMBLY	750 PSF AREA 45'-0" ONE HOUR RATED FLOOR/CEILING PER ASTM E 1193/IFPA 531
f. UNIT COMMON WALLS	ONE HOUR RATED (6.4, F.L.C. NO. RC-5000) STC RATING = 55 TO 59
g. SHAFT ENCLOSURES	NOTED OCCAS
h. EXTERIOR OPENINGS	NOTED

THE VINCENT COMPANY
ARCHITECTS, INC.
1500 West Shaw, Ste. 304
Fresno, California 93711
Phone: 559.225.2602

Revisions	Date
△	
△	
△	
△	

TERRA VISTA APARTMENTS
PROPOSED APARTMENT COMPLEX FOR:
1100 EAST CAROLAN BLVD. UNIT 100
MADERA, CALIFORNIA



Author:	Date:
<input type="checkbox"/> DESIGN REVIEW	
<input type="checkbox"/> PLAN CHECK	
<input type="checkbox"/> CHECK/CHECK	
<input type="checkbox"/> PERMITS	
<input type="checkbox"/> CONSTRUCTION	
<input type="checkbox"/> AS-BUILT	

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PROJECT INFORMATION

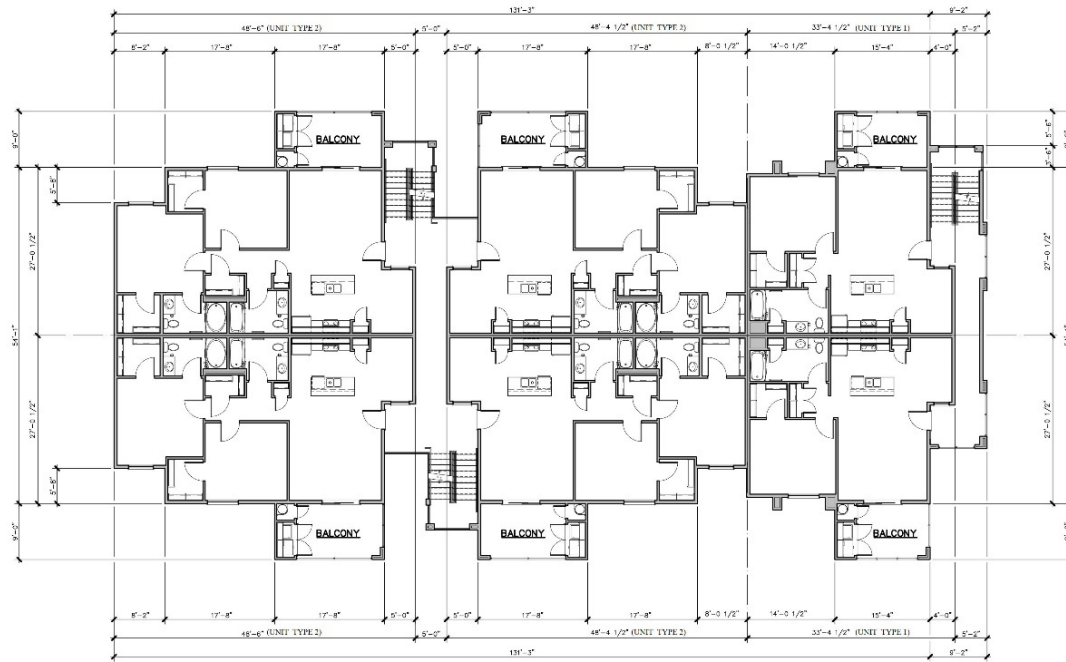
Project Name: TERRA VISTA
Project Number: 191122
Site: 1100 East Carolan Blvd., Madera, California

PA9

BUILDING 'E' COMPOSITE PLANS

2:00PM 11/22/22 7416 1100 East Carolan Blvd. (1100 East Carolan Blvd.) - Terra Vista Apartments - Project Information - 11/22/22 2:00 PM 11/22/22

Attachment 17: Exhibit M, Floor Plan (Building E Second/Third Level)



SECOND/ THIRD

BUILDING 'E'
COMPOSITE PLANS

THE VINCENT COMPANY
ARCHITECTS, INC.
1500 West Shaw, Ste. 304
Fresno, California 93711
Phone: 559.225.2602

Revisions	Date
△	
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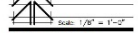
PROPOSED MARINI COMPLEX FOR:
TERRA VISTA APARTMENTS
NE. EAST GARY LANE & EMILY WAY
MADERA, CALIFORNIA



Revision	Date
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Reference Mark:



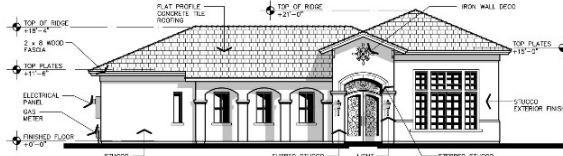
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Project Name: TERRA VISTA
MADERA, CALIFORNIA

Project Number: 101122
Plot Date: 10.08.21
Sheet Number:

PA9.1

2:200901122 - Terra Vista Apartments (2009) 10/08/21 10:08 AM

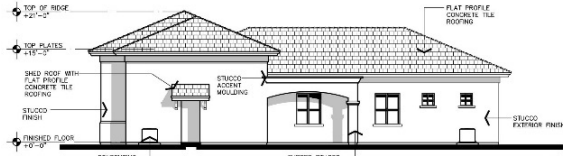
Attachment 18: Exhibit N, Elevations (Building A)



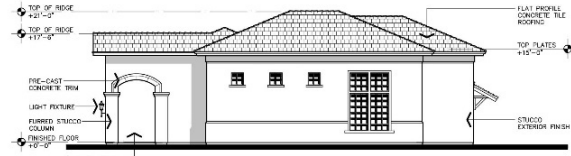
BUILDING 'A' - FRONT



BUILDING 'A' - LEFT



BUILDING 'A' - REAR

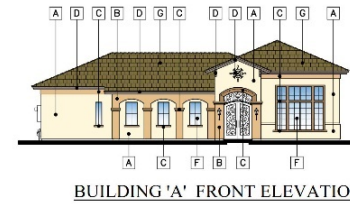
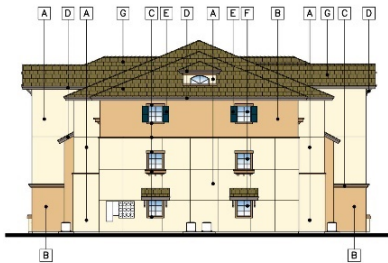


BUILDING 'A' - RIGHT

EXTERIOR ELEVATIONS

1/8" = 1'-0"

TYPICAL EXTERIOR COLORS



BUILDING 'A' FRONT ELEVATION

COLOR SCHEDULE

SYMBOL	KEY	DESCRIPTION	SYMBOL	KEY	DESCRIPTION
[Light beige swatch]	A	STUCCO - BASE WALL COLOR COLOR TO MATCH: SHIMON WILLIAMS WOODRIFE 3057, SW 6147	[Dark green swatch]	E	DOORS & VINYL SHUTTERS COLOR TO MATCH: SHIMON WILLIAMS WOODRIFE 3057, SW 6147
[Medium beige swatch]	B	STUCCO - ACCENT WALL COLOR TO MATCH: SHIMON WILLIAMS WOODRIFE 3057, SW 6147	[White swatch]	F	VINYL WINDOWS FACTORY BRIGHT WHITE
[Dark beige swatch]	C	DOOR & WINDOW TRIMS, PLASTER BOXES, ACCENT TRIMS & RAILS COLOR TO MATCH: SHIMON WILLIAMS WOODRIFE 3057, SW 6147	[Dark brown swatch]	G	FLAT PROFILE TILE ROOF FAZEP ROOFING PRODUCTS "RH" 404 3057K, COLOR: REG. 4052 "MAGNIA"
[Brown swatch]	D	FASCIA, KNIFE BRACES, RAILINGS, FLASHING & DOWNSPUTTS COLOR TO MATCH: SHIMON WILLIAMS WOODRIFE 3057, SW 6147			

THE VINCENT COMPANY

ARCHITECTS, INC.
1500 West Shaw, Ste. 304
Fresno, California 93711
Phone: 559.225.2602

Revisions
Date

PROPOSED APARTMENT COMPLEX
TIERRA VISTA APARTMENTS
1500 WEST SHAW, SAN JOSE WAY
MADERA, CALIFORNIA



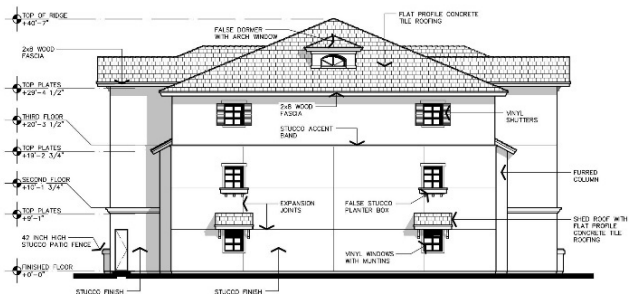
REVISIONS

DESIGN REVIEW
 PLAN CHECK
 CHECK CONSTRUCTION
 PERMITS
 CONSTRUCTION
 AS BUILT

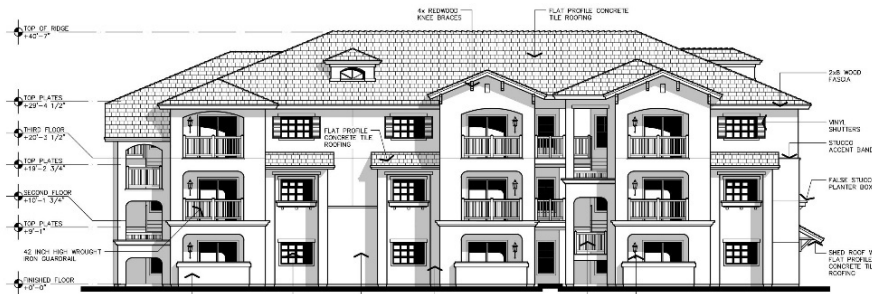
All drawings and written materials appearing herein constitute original work of the architect and may not be duplicated, used, or disclosed without written consent of the architect.

Project Name: TIERRA VISTA
MADERA, CALIFORNIA
Project Number: 191122
Plot Date: 08.28.24
Sheet Number: PA10

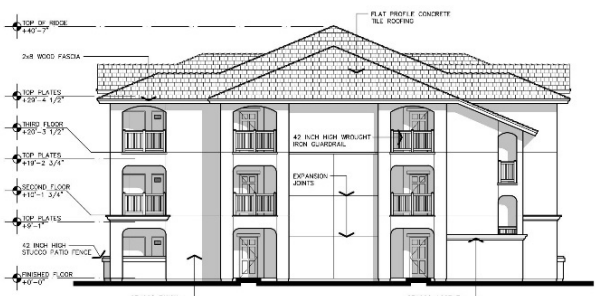
Attachment 19: Exhibit O, Elevations (Building B)



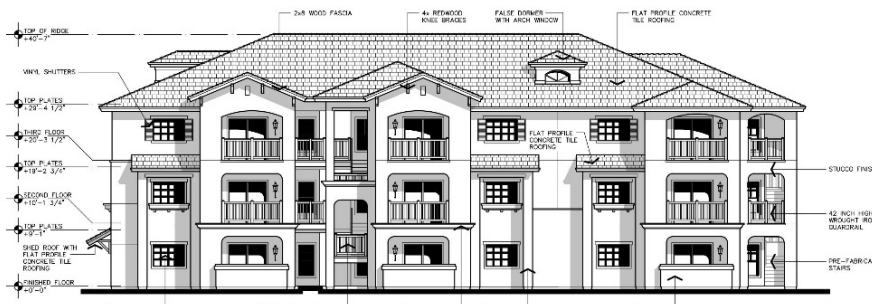
BUILDING 'B' - RIGHT



BUILDING 'B' - FRONT



BUILDING 'B' - LEFT



BUILDING 'B' - REAR

2:00PM/15:02 - 7:00PM/19:00 ARCHITECT PHOTOGRAPHY, INC. 1000 N. 10TH STREET, SUITE 100, SAN ANTONIO, TEXAS 78207-2818 TEL: 214.252.1111 FAX: 214.252.1112

THE VINCENT COMPANY
ARCHITECTS INC.
 1500 West Shaw, Ste. 304
 Fresno, California 93711
 Phone: 559.225.2602

Revisions: _____ Date: _____
 ▲ _____
 ▲ _____
 ▲ _____
 ▲ _____

TERRA VISTA APARTMENTS
 1100 EAST GARY LANE & FAMILY WAY
 MADRERA, CALIFORNIA



Project No: _____ Date: _____
 DESIGN REVIEW
 PLAN CHECK
 CHECK CHECK
 PERMITS
 CONSTRUCTION
 AS BUILT

All drawings and written materials appearing herein constitute original work of the architect and may not be duplicated, used, or disclosed without written consent of the architect.
 Reference Mark: _____

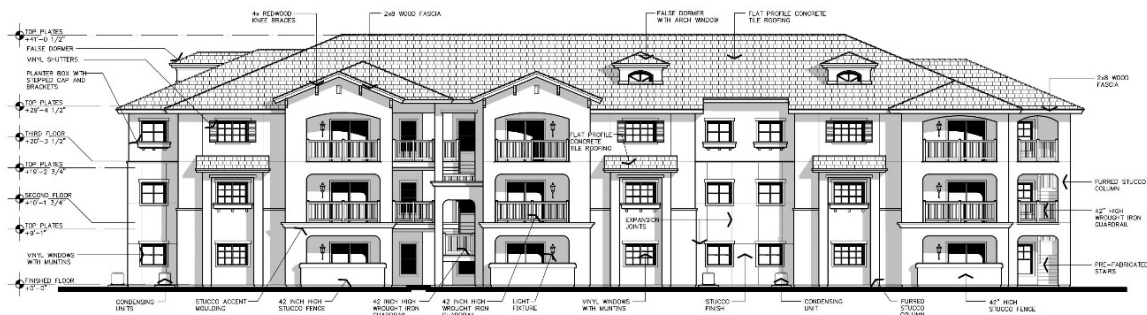
Project Name: **TERRA VISTA**
 Project Location: **MADRERA, CALIFORNIA**
 Project Number: 101123
 Plot Date: 02.08.21
 Sheet Number: _____

EXTERIOR ELEVATIONS

PA11

1/8" = 1'-0"

Attachment 20: Exhibit P, Elevations (Building C)



BUILDING 'C' - FRONT



BUILDING 'C' - REAR

**T H E
VINCENT
COMPANY**

ARCHITECTS, INC.

1500 West Shaw, Ste. 304

Fresno, California 93711

Phone: 559.225.2602

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**TERRA VISTA
APARTMENTS**
 1500 WEST SHAW, SUITE 304
 MADERA, CALIFORNIA



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**EXTERIOR
ELEVATIONS**

1/8" = 1'-0"

PA12

Sheet Number

Project Name: TERRA VISTA

Project Number: 01102

Project Name: MADERA, CALIFORNIA

Project Number: 01102

Project Name: TERRA VISTA

Project Number: 01102

Project Name: MADERA, CALIFORNIA

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Project Name: TERRA VISTA

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Project Name: MADERA, CALIFORNIA

Project Number: 01102

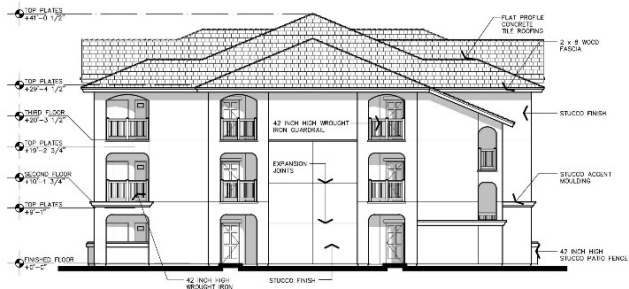
Project Name: TERRA VISTA

Project Number: 01102

Project Name: MADERA, CALIFORNIA

Project Number: 01102

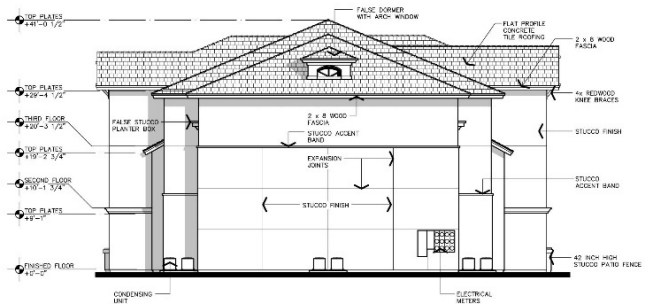
Attachment 21: Exhibit Q, Elevations (Building C & D)



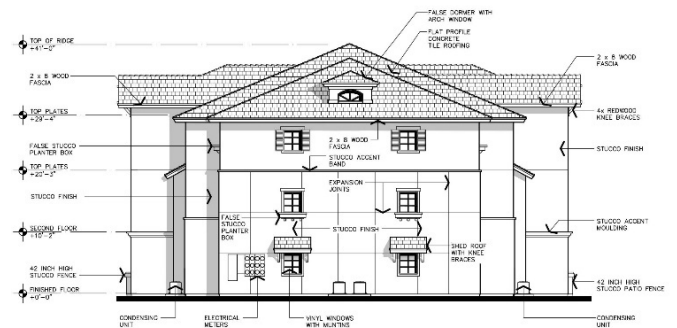
BUILDING 'C' - LEFT



BUILDING 'D' - FRONT / REAR



BUILDING 'C' - RIGHT



BUILDING 'D' - END

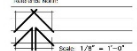
THE VINCENT COMPANY
ARCHITECTS, INC.
 1500 West Shaw, Ste. 304
 Fresno, California 93711
 Phone: 559.225.2602

TERRA VISTA APARTMENTS
 1500 WEST SHAW & EAST AVENUE
 VADERA, CALIFORNIA



- Revised: _____ Date: _____
- DESIGN REVIEW
 - PLAN CHECK
 - BRUSH CHECK
 - PERMITS
 - CONSTRUCTION
 - AS BUILT

All drawings and written material appearing herein constitute original work of the architect and may not be duplicated, used, or disclosed without written consent of the architect.



Project Name: TERRA VISTA
 VADERA, CALIFORNIA
 Project Number: 191112
 Plot Size: 12.92 AC
 Sheet Number: **PA13**

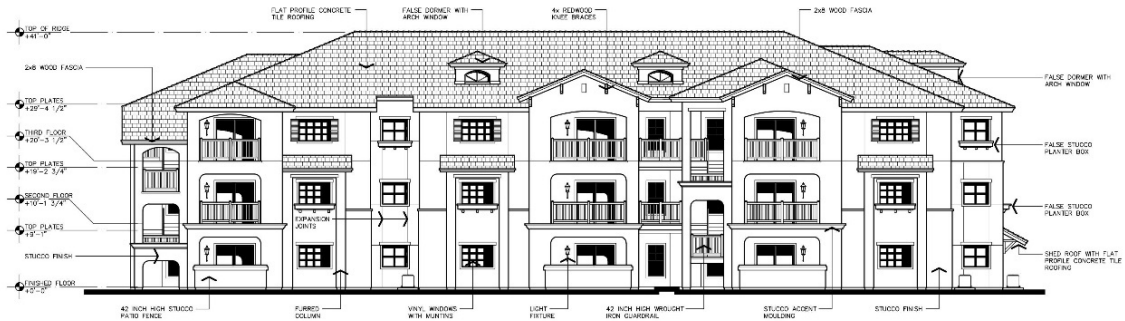
EXTERIOR ELEVATIONS

1/8" = 1'-0"

Attachment 22: Exhibit R, Elevations (Building E)



BUILDING 'E' - FRONT



BUILDING 'E' - REAR



BUILDING 'E' - END

EXTERIOR ELEVATIONS

THE VINCENT COMPANY
 ARCHITECTS INC.
 1500 West Shaw, Ste. 304
 Fresno, California 93711
 Phone: 559.225.2602

Revisions	Date
▲	
▲	
▲	
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PROPOSED APARTMENT COMPLEX FOR:
TERRA VISTA APARTMENTS
 N.E. EAST GARY LANE & FAMILY WAY
 MADERA, CALIFORNIA



Revision:	Date:
<input type="radio"/> DESIGN REVIEW	
<input type="radio"/> PLAN CHECK	
<input type="radio"/> BIDDING CHECK	
<input type="radio"/> PERMITS	
<input type="radio"/> CONSTRUCTION	
<input checked="" type="radio"/> AS BUILT	

All drawings and written material appearing herein constitute original work of the architect. We may not be duplicated, used, or disclosed without written consent of the architect.

Author's Mark:
 Scale: 1/8" = 1'-0"
 Project Name: TERRA VISTA
 MADERA, CALIFORNIA
 Project Number: 101102
 Plot Date: 02/09/21
 Sheet Number:

PA14
 1/8" = 1'-0"
 14 of 20 sheets

2:00PM 01/13/21 Terra Vista Apartments (PROPOSED) SHEET PA14 OF 20 (14 OF 14) VCN

**Attachment 23:
Categorical Exemption for PPL 2021-01 & SPR 2021-07**



City of Madera Planning Department
205 W. 4th Street
Madera, CA 93637
(559) 661-5430
www.madera.gov

CITY OF MADERA CATEGORICAL EXEMPTION PPL 2021-01 and SPR 2021-07

THE PROJECT DESCRIBED HEREIN IS DETERMINED TO BE CATEGORICALLY EXEMPT FROM THE PREPARATION OF ENVIRONMENTAL DOCUMENTS PURSUANT TO ARTICLE 19 OF THE STATE CEQA GUIDELINES

Applicant: Tierra Vista Apartments, LLC

Project Location: Northeast corner of Gary Lane and Emily Way, Madera CA 93637 (APN 012-253-001), City of Madera, County of Madera

Project Description: Precise Plan No. 2021-01 and Site Plan Review No. 2021-07 proposes the development of a 102-unit apartment complex on an approximately 4.38-acre site. The site is currently vacant and is designated HD (High Density Residential) by the Madera General Plan and zoned PD(1500) (*Planned Development, one unit for each 1,500 sq. ft. of site area*).

Name of Public Agency Approving the Project: City of Madera

This project is exempt under Section 15332 of the State CEQA Guidelines.

Section 15332 In-fill Development Projects: Class 32 consists of projects characterized as in-fill development meeting the following conditions: (a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations; (b) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses; (c) The project site has no value as habitat for endangered, rare or threatened species; (d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality; and, (e) The site can be adequately served by all required utilities and public services

The proposed 102-unit apartment complex will include one- and two-bedroom apartments configured into three-story buildings. A community center, management office, swimming pool, and park will be included in the proposal. The proposal is consistent with the applicable general plan designation, all general plan policies, and applicable zoning designation and regulations. The proposed development is located on a lot less than five acres and it is surrounded by substantial urban uses within the city limits of Madera. According to the Recorded Occurrence of Special-status Species map within the City of Madera General Plan Update Draft EIR, the proposed development is not located in an area determined to be a habitat for endangered, rare, or threatened species. According to comments from the appropriate agencies, the proposed development will not result in any significant effects relating to traffic, noise, air quality, or water quality and can be adequately served by all required utilities and public services. The project site does not meet any of the exceptions of Section 15300.2 of the State CEQA Guidelines that would prevent the proposed project from qualifying for a Class 32 categorical exemption. Therefore, the proposed project is determined to be exempt under Section 15332 of the State CEQA Guidelines.

Date: April 22, 2021

Submitted By: Ryan McKelvey, Contract Planner

Gary Conte, Planning Manager
(559) 661-5433

Date

Attachment 24:
Planning Commission Resolution 1884

RESOLUTION NO. 1884

**RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MADERA
APPROVING PRECISE PLAN 2021-01 AND SITE PLAN REVIEW 2021-07 (Tierra
Vista Apartments)**

WHEREAS, Pestorich Holdings, LLC/Tarleton Residential, LLC (“Owner”) owns APN 012-253-001 in Madera, California (“site”); and

WHEREAS, the 4.38-acre site is vacant and is planned High Density Residential and zoned PD-1500 (*Planned development, one unit for each 1,500 sq. ft. of site area*) for residential land uses; and

WHEREAS, the Owner is seeking a precise plan (PPL) and site plan review (SPR) to allow for development of a 102-unit apartment complex on the 4.38-acre vacant lot. The development will include one- and two-bedroom apartments, a community center, management office, swimming pool, and park area. The one- and two-bedroom apartment buildings will be three-stories and the management office will be a one-story building, The development will deviate from the parking requirements from 214 required parking spaces to 190 parking spaces, as proposed by PPL 2021-01 and SPR 2021-07; and

WHEREAS, the City performed a preliminary environmental assessment of this project and has determined that it falls within the Categorical Exemption set forth in section 15332 of the California Environmental Quality Act (CEQA) Guidelines as the project is characterized as in-fill development; and

WHEREAS, under the City’s Municipal Code, the Planning Commission is authorized to review and approve precise plans and site plan reviews on behalf of the City; and

WHEREAS, the City provided notice of the Planning Commission hearing as required by law; and

WHEREAS, the Planning Commission received and reviewed PPL 2021-01 and SPR 2021-07 at a duly noticed meeting on June 8, 2021; and

WHEREAS, a public hearing was opened and subsequently continued to the July 13, 2021, Planning Commission hearing; and

WHEREAS, at the July 13, 2021, Planning Commission hearing, the public was provided an opportunity to comment, and evidence, both written and oral, was considered by the Planning Commission; and

WHEREAS, the Planning Commission now desires to approve PPL 2021-01 and SPR 2021-07, with conditions.

NOW THEREFORE, be it resolved by the Planning Commission of the City of Madera as follows:

1. Recitals: The above recitals are true and correct and are incorporated herein.
2. CEQA: A preliminary environmental assessment was prepared for this project in accordance with the requirements of the California Environmental Quality Act (CEQA). The Planning Commission finds and determines that the project falls within the Class 32 Categorical Exemption set forth

in CEQA Guidelines Section 15332 as the project is characterized as in-fill development and meets the required conditions described in said Section. Furthermore, none of the exceptions to Categorical Exemptions set forth in CEQA Guidelines section 15300.2 apply to this project. As such, the Planning Commission adopts a finding of a Categorical Exemption under CEQA Guidelines section 15332 (In-Fill Development Projects) for this project.

3. Findings for PPL 2021-01 and SPR 2021-07: The Planning Commission finds and determines that there is substantial evidence in the administrative record to support the approval of PPL 2021-01 and SPR 2021-07, as conditioned. With conditions, the project is consistent with the requirements of the Municipal Code, including Sections 10-3.4 and Sections 10-3.1001 through 10-3.1004. The Planning Commission further approves, accepts as its own, incorporates as if set forth in full herein, and makes each and every one of the findings, based on the evidence in the record, as follows:

- a. *The proposal is consistent with the General Plan and Zoning Ordinance.*

The property is zoned PD-1500 (*Planned Development, one unit for each 1,500 sq. ft. of site area*), which is consistent with the existing General Plan land use designation of HDR (High Density Residential). The project proposes a deviation in the setback standard for fencing and a reduction in the required spaces of 214 to 190, as allowed under the provisions of the PPL. Parking is adequate for the site and the reduction is consistent with the Zoning Ordinance under the PPL provisions. PPL 2021-01 and SPR 2021-07 are consistent with the purpose and intent of the PD-1500 zone district and does not conflict with City standards or other provisions of the Code.

- b. *The proposal is consistent with any applicable specific plans.*

The project site is not subject to any specific plans.

- c. *The proposed project includes facilities and improvements; vehicular and pedestrian ingress, egress, and internal circulation; and location of structures, services, walls, landscaping, and drainage that are so arranged that traffic congestion is avoided, pedestrian and vehicular safety and welfare are protected, there will be no adverse effects on surrounding property, light is deflected away from adjoining properties and public streets, and environmental impacts are reduced to acceptable levels.*

PPL 21-01 and SPR 2021-07 have been reviewed and are consistent with surrounding uses and with all applicable requirements for development in the PD-1500 zone district, including provisions for access to and from the site, parking and loading facilities, drainage, and lighting. Although the project proposes a reduction in the required parking spaces, the reduced parking spaces are adequate for the number of units proposed and would not have an adverse effect on surrounding properties.

- d. *The proposed project is consistent with established legislative policies relating to traffic safety, street dedications, street improvements, and environmental quality.*

PPL 21-01 and SPR 2021-07 will be required to install street improvements in accordance with City standards. Related infrastructure improvements will also be required for storm drainage in conformance with City standards. The project site has access to E. Gary Lane and Emily Way, which can accommodate traffic generated from the proposed project. Based on the

environmental analysis prepared, the project will not have a significant impact on traffic or the environment.

4. Approval of PPL 2021-01 and SPR 2021-07: Given that all findings can be made, the Planning Commission hereby approves PPL 2021-01 and SPR 2021-07 as conditioned as set forth in the Conditions of Approval attached as Exhibit "A."

5. Effective Date: This resolution is effective immediately.

* * * * *

Passed and adopted by the Planning Commission of the City of Madera this 13th day of July 2021, by the following vote:

AYES:

NOES:

ABSTENTIONS:

ABSENT:

Robert Gran Jr.
Planning Commission Chairperson

Attest:

Gary Conte, AICP
Planning Manager

Exhibit "A" – Conditions of Approval for PPL 2021-01 and SPR 2021-07

EXHIBIT "A"
PPL 2021-01 & SPR 2021-07 TIERRA VISTA APARTMENTS
CONDITIONS OF APPROVAL
July 13th, 2021

Notice to Applicant

In accordance with the provisions of Government Code Section 66020(d)(1), the imposition of fees, dedications, reservations, or exactions for this project are subject to protest by the project applicant at the time of approval or conditional approval of the development or within ninety (90) calendar days after the date of imposition of fees, dedications, reservation, or exactions imposed on the development project. This notice does not apply to those fees, dedications, reservations, or exactions which were previously imposed and duly noticed; or where no notice was previously required under the provisions of Government Code Section 66020(d)(1) in effect before January 1, 1997.

IMPORTANT: PLEASE READ CAREFULLY

This project is subject to a variety of discretionary conditions of approval. These include conditions based on adopted City plans and policies; those determined through site plan review, and environmental assessment essential to mitigate adverse effects on the environment including the health, safety, and welfare of the community; and recommended conditions for development that are not essential to health, safety, and welfare, but would on the whole enhance the project and its relationship to the neighborhood and environment.

Approval of this permit shall be considered null and void in the event of failure by the applicant and/or the authorized representative, architect, engineer, or designer to disclose and delineate all facts and information relating to the subject property and the proposed development.

Approval of this permit may become null and void in the event that development is not completed in accordance with all the conditions and requirements imposed on this permit, the zoning ordinance, and all City standards and specifications. This permit is granted, and the conditions imposed, based upon the application submittal provided by the applicant, including any operational statement. The application is material to the issuance of this permit. Unless the conditions of approval specifically require operation inconsistent with the application, a new or revised permit is required if the operation of this establishment changes or becomes inconsistent with the application. Failure to operate in accordance with the conditions and requirements imposed may result in revocation of the permit or any other enforcement remedy available under the law. The City shall not assume responsibility for any deletions or omissions resulting from the review process or for additions or alterations to any construction or building plans not specifically submitted and reviewed and approved pursuant to this permit or subsequent amendments or revisions. These conditions are conditions imposed solely upon the permit as delineated herein and are not conditions imposed on the City or any third party. Likewise, imposition of conditions to ensure compliance with federal, state, or local laws and regulations does not preclude any other type of compliance enforcement.

Discretionary conditions of approval may be appealed. All code requirements, however, are mandatory and may only be modified by variance, provided the findings can be made.

All discretionary conditions of approval for PPL 2021-01 will ultimately be deemed mandatory unless appealed by the applicant to the City Council within fifteen (15) days after the decision by the Planning

Commission. All discretionary conditions of approval for SPR 2021-07 will ultimately be deemed mandatory unless appealed by the applicant to the City Council within ten (10) days after the decision by the Planning Commission. In the event you wish to appeal the Planning Commission's decision or discretionary conditions of approval, you may do so by filing a written appeal with the City Clerk. The appeal shall state the grounds for the appeal and wherein the Commission failed to conform to the requirements of the zoning ordinance. This should include identification of the decision or action appealed and specific reasons why you believe the decision or action appealed should not be upheld.

These conditions are applicable to any person or entity making use of this permit, and references to "developer" or "applicant" herein also include any applicant, property owner, owner, lessee, operator, or any other person or entity making use of this permit.

GENERAL CONDITIONS

1. All conditions of approval shall be the sole financial responsibility of the applicant/owner, except where specifically noted in the conditions or mandated by statutes.
2. The applicant shall submit to the City of Madera Planning Department a check in the amount necessary to file a Notice of Exemption at the Madera County Clerk. This amount shall equal the Madera County filing fee in effect at the time of filing. Such check shall be made payable to the Madera County Clerk and submitted no later than three (3) days following action on PPL 2021-01 and SPR 2021-07.
3. Project approval is conditioned upon acceptance of the conditions of approval contained herein, as evidenced by the applicant's signature on the Acknowledgement and Acceptance of Conditions of Approval.
4. PPL 2021-01 will expire twelve (12) months from the effective date, and SPR 2021-07 will expire one (1) year from the effective date, unless a building permit is issued by the Building Official and construction is commenced and diligently pursued toward completion of the site or structures which were the subject of the site plan or the required action is taken to extend the approval before expiration date [Municipal Code Section 10-3.4.0114, Lapse of Site Plan Approval, and Section 10-3-4.103, Planning Commission Approval].
5. It shall be the responsibility of the property owner, operator, and/or management to ensure that any required permits, inspections, and approvals from any regulatory agency be obtained from the applicable agency prior to issuance of a building permit and/or the issuance of a certificate of completion, as determined appropriate by the City of Madera Planning Department.
6. Prior to issuance of building permits or any future division of the property, the applicant at their sole expense shall cause the property to be annexed into the City-wide Community Facilities District No. 2005-01, and shall pay all applicable fees.
7. Development of the project shall conform to the plans designated by the City as Exhibits A through R, subject to the conditions noted herein.
8. All construction shall cease, and the Planning Manager and City Engineer shall be notified immediately if any prehistoric, archaeological, or fossil artifact or resource is uncovered during construction. All construction shall immediately stop and an archaeologist that meets the Secretary of the Interior's Professional Qualifications Standards in prehistoric or historical archaeology shall be retained, at the applicant's and/or successors-in-interest's expense, to evaluate the find(s) and recommend appropriate action according to Section 15064.5 of the California Environmental Quality Act (CEQA) Guidelines. If avoidance is infeasible, other appropriate measures would be instituted. Work may proceed on other parts of the project

subject to direction of the archaeologist while assessment of historic resources or unique archaeological resources is being carried out.

9. All construction shall cease if any human remains are uncovered, and the Planning Manager, City Engineer and County of Madera Coroner shall be notified in accordance to Section 7050.5 of the California Health and Safety Code. If human remains are determined to be those of a Native American or has reason to believe that they are those of a Native American, the Native American Heritage Commission shall be contacted, and the procedures outlined in CEQA Section 15064.5(e) shall be followed.
10. Approval of this project is for the benefit of the applicant. The submittal of applications by the applicant for this project was a voluntary act on the part of the applicant not required by the City. Therefore, as a condition of approval of this project, the applicant agrees to defend, indemnify, and hold harmless the City of Madera and its agents, officers, consultants, independent contractors, and employees (“City”) from any and all claims, actions, or proceedings against the City to attack, set aside, void, or annul an approval by the City concerning the project, including any challenges to associated environmental review, and for any and all costs, attorneys’ fees, and damages arising therefrom (collectively “claim”).

The City shall promptly notify the applicant of any claim and the City shall cooperate fully in the defense. If the City fails to promptly notify the applicant of any claim or if the City fails to cooperate fully in the defense, the applicant shall not thereafter be responsible to defend, indemnify, or hold harmless the City.

Nothing in this condition shall obligate the City to defend any claim and the City shall not be required to pay or perform any settlement arising from any such claim not defended by the City, unless the City approves the settlement in writing. Nor shall the City be prohibited from independently defending any claim, and if the City does decide to independently defend a claim, the applicant shall be responsible for City’s attorneys’ fees, expenses of litigation, and costs for that independent defense, including the costs of preparing any required administrative record. Should the City decide to independently defend any claim, the applicant shall not be required to pay or perform any settlement arising from any such claim unless the applicant approves the settlement.

PLANNING DEPARTMENT

General Conditions

11. The project site shall be developed in conformance with the site plan as reviewed and approved under PPL 2021-01 and SPR 2021-07. Minor modifications to the site plan, which are necessary to meet regulatory, engineering, or similar constraints or requirements may be made at the discretion of the Planning Manager without an amendment to PPL 2021-01 or SPR 2021-07. However, should the Planning Manager determine that modifications are substantive, he/she may require that an amendment to PPL 2021-01 and/or SPR 2021-07 be filed for review and approval through the applicable City process.
12. All on-site improvements shall be completed prior to final building inspection and shall be completed in conformance with PPL 2021-01 and SPR 2021-07 to the satisfaction of the City of Madera prior to issuance of a certificate of completion.
13. The project site shall be subject to periodic reviews and inspection by the City to determine compliance with the conditions of approval and applicable codes. If at any time, the use is determined by staff to be in violation of the conditions, the property owner, operator, and/or manager may be subject to corrective action.

14. Vandalism and graffiti shall be corrected in accordance with the provisions of the Madera Municipal Code.
15. The property owner, operator, and/or manager shall operate the site in a manner that does not generate noise, odor, blight, or vibration that adversely affects adjacent properties.
16. The property owner, operator, and/or manager shall keep the property clear of all trash, rubbish, and debris at all times.

Parking Requirements

17. As approved under PPL 2021-01 and shown on the Exhibit A, Site Plan (Dimensioned), a minimum of 190 total parking spaces, 103 of which are covered, shall be required. The required number of ADA compliant parking spaces shall be provided in accordance with the Building Code.
18. Off-street parking areas shall be paved and maintained so as to eliminate dust or mud and shall be so graded and drained as to dispose of all surface water. In no case shall such drainage be allowed to cross sidewalks, unless approved by the City Engineer.
19. Each off-street parking space shall have a width of not less than nine feet and a length of not less than 19 feet except that up to 25% of the required parking spaces may be designated for compact car use.
20. Parking spaces shall be easily accessible by standard-size automobiles, shall be so designed as to be accessible from a public street or alley, and shall be located so that sufficient area is available for maneuvering purposes.
21. Plans of the proposed parking area shall be submitted to the Building Department at the time of an application for a building permit for any building to which the parking area is accessory. The plans shall clearly indicate the proposed development, including the location, size, shape, design, curb cuts, lighting, landscaping, and other features and appurtenances of the proposed parking lot.

Fencing

22. All fences shall be properly maintained so as not to create a hazard, public nuisance or blight in the surrounding neighborhood.
23. Fencing materials shall conform to those listed on Exhibit B, Site Plan (Noted).
24. The six-foot fencing along Gary Lane and Emily Way shall be setback 10 feet from the property line, as depicted on Exhibit A, Site Plan (Dimensioned).

Landscaping

25. A landscape and irrigation plan shall be prepared by a licensed Landscape Architect and submitted as part of the submittals for a building permit. Landscape and irrigation plans shall be approved by the Planning Department prior to issuance of building permits. The plans shall:
 - a) Demonstrate compliance with the State of California's Model Water Efficient Landscape Ordinance (MWELO);
 - b) Provide permanent automatic irrigation systems for all landscaped areas;
 - c) Provide vegetative matter coverage of a minimum of 75 percent of all landscaped areas;
 - d) Locate landscape material in such a way that it does not interfere with utilities above or below ground; and

- e) Provide detailed planting lists for all landscaping, with the number, size, spacing (where applicable) and species of all plant life and groundcover, as well as soil preparation techniques for all landscaped areas.
- 26. The property owner, operator, and/or manager shall develop and submit to the Planning Department for review and approval, prior to issuance of a building permit, a landscape maintenance and irrigation program for the first three years to ensure that streetscapes and landscaped areas are installed and maintained as approved under PPL 2021-01 and SPR 2021-07.
- 27. The property owner shall maintain all landscaping in a healthy and well-manicured appearance. This includes, but is not limited to, ensuring properly operating irrigation equipment at all times, trimming and pruning of trees and shrubs, and replacing dead or unhealthy vegetation with drought-tolerant plantings.
- 28. A maintenance agreement is required for all landscaping located within the public right-of-way. Such agreement shall be entered into prior to issuance of a certificate of completion.

Signage

- 29. All signage shall be in compliance with the Sign Ordinance of the Madera Municipal Code Section 10-6. All permanent signage, with the exception of required signs in accordance with City standards for Gary Lane or Emily Way, is required to have an approved Sign Permit issued by the Planning Department per Madera Municipal Code Section 10-6.

ENGINEERING

General Conditions

- 30. Deferrals are not permitted for any condition included herein, unless otherwise stated.
- 31. Nuisance onsite lighting shall be redirected as requested by City Engineer within 48 hours of notification.
- 32. Development impact fees shall be paid at time of building permit issuance.
- 33. Developer shall pay all required fees for completion of project. Fees due may include but shall not be limited to the following: plan review, easement acceptance, encroachment permit processing and improvement inspection fees.
- 34. Improvement plans sealed by an engineer shall be submitted to the Engineering Division according to the Engineering Plan Review Submittal Sheet and Civil Plan Submittal Checklist.
- 35. The improvement plans for the project shall include the most recent version of the City's General Notes.
- 36. Prior to the construction of improvements within the City right-of-way, an Encroachment Permit will be required from the Engineering Division.
- 37. All off-site improvements shall be completed prior to issuance of final occupancy.
- 38. The developer shall coordinate with the United States Post Office relative to the proposed location of the postal boxes for the project.

Water

- 39. New or existing water service connection(s), including landscape areas, shall be upgraded or constructed to current City standards including Automatic Meter Reading (AMR) water meter

installed within City right-of-way and backflow prevention device installed within private property. Each parcel shall have a separate domestic water service.

40. A separate water meter and backflow prevention device will be required for landscaped areas.
41. The water system shall be designed for the apartment complex to meet the required fire flow for this type of development and shall be approved by the fire department and shall be operational prior to any framing construction on-site. Fire flows shall be determined by Uniform Fire Code appendix III-A.
42. Existing water service connections that will not be used for the project shall be abandoned at the mains per City of Madera standards.
43. The developer shall reimburse its fair share cost to the city for the previously constructed water main along the entire Emily Way and Gary Lane project frontages.
44. Existing wells, if any, shall be abandoned as directed and permitted by City of Madera for compliance with State standards, prior to issuance of building permits or any activities in which the well to be abandoned may be further damaged resulting in potential contamination to the aquifer below.
45. The developer shall install fire hydrants along Emily Way and Gary Lane in accordance with current City standards. Fire hydrant locations shall be approved by the Fire Marshal.

Sewer

46. New or existing sewer service connection(s) shall be constructed or upgraded to current City standards. Each parcel shall have a separate sewer service.
47. Existing sewer service connections that will not be used for the project shall be abandoned at the mains per current City of Madera standards.
48. Sewer main connections 6" and larger in diameter shall require manhole installation.
49. The developer shall reimburse its fair share cost to the City for the previously constructed sewer main along the entire Emily Way and Gary Lane project frontages.
50. Existing septic tanks, if found, shall be removed pursuant to issuance of a permit and inspection by the City of Madera Building Department.

Storm Drain

51. Support calculations shall be provided that prove the existing storm drain facilities in Emily Way and Gary Lane are capable of intercepting runoff in accordance with the provisions of the Storm Drainage System Master Plan. A detailed drainage study shall be provided to support the chosen path of conveyance and design of any necessary conveyance facilities required to provide appropriate drainage along adjacent street frontages.
52. Storm runoff from this project site is planned to go to Abshire Basin located south of this project. Runoff volume calculations shall be provided, and the Developer shall excavate the basin to an amount equivalent to this project's impact on the basin.
53. This project shall comply with the design criteria as listed on the National Pollutant Elimination Systems (NPDES) General Permit for Storm Water Discharges from Small Municipal Separate Storm Sewer System (MS4's) as mandated by Water Quality Order No. 2013-0001-DWQ, NPDES General Permit No. CAS000004. For the purpose of this proposed development, post development runoff shall match or be less than pre-development runoff. The development shall submit to future inspections by City or other designated agencies relative to the improvements

installed as a result of this condition to ensure they remain in compliance with the conditions imposed under this condition.

Streets

54. The east half of Emily Way along the entire project parcel frontage shall be improved to a 60-foot residential street per City of Madera standards. The fronting half of the street shall include but not be limited to curb and gutter, sidewalk, park strip landscaping and irrigation, streetlights, signage, and fire hydrants.
55. The north half of Gary Lane along the entire project frontage shall be improved to an 80-foot collector street per City of Madera standards. The fronting half of the street shall include but not be limited to curb and gutter, sidewalk, park strip landscaping and irrigation, streetlights, signage, and fire hydrants.
56. The developer shall reimburse its fair share cost to the City for the previously constructed road improvements on Emily Way in compliance with the associated subdivision agreement.
57. The developer shall install a curb ramp on the northeast corner of Emily Way and Gary Lane in accordance with City and ADA standards.
58. For any proposed driveway location, the potential for driveway conflicts must be addressed. Driveways/roadways on opposite sides of the street shall be aligned, or separated a minimum of 100 feet (edge to edge). Driveways/roadways on the same side of the street shall be separated a minimum of 100 feet or a distance equivalent to the left turn storage required for both driveways. All drive approaches shall be constructed to current City standards.
59. The driveway approach shall have a minimum throat length of 30 feet from face of curb. The throat length shall be justified based on anticipated operation of the complex and the ability to ensure vehicle queues do not extend into the public right-of-way.
60. The developer shall determine the peak hour trips generated by the project. A traffic impact study shall be required if the project generates over 100 peak hour trips.
61. "No Parking" signs shall be installed along the Gary Lane project parcel frontage per City Standards.
62. The developer shall dedicate a Public Utility Easement 10-feet wide along the entire project parcel frontage on Emily Way and Gary Lane. A \$466 fee or the fee in effect at that time for grant easement or deed acceptance shall be paid with the Engineering Department.
63. The developer shall annex into and execute such required documents that may be required to participate in Landscape Maintenance District Zone 40 for the purposes of participating in the cost of maintaining landscape improvements within said zone.
64. All existing and proposed public utilities (electric, telephone, cable, etc.) shall be undergrounded, except transformers, which may be mounted on pads. Public utility easements shall be dedicated outside and adjacent to all streets rights-of-way. All public utilities within the project property and adjacent to the project property frontage on peripheral streets (on the development side of the street centerline) shall be placed underground except those facilities exempted by the Public Utilities Commission Regulations or operating at 70,000 volts or greater.

BUILDING DEPARTMENT

65. Submit full sets of plans (5) for review and approval prior to obtaining all required permits for construction of project.
66. A building permit is required for all construction on the site.

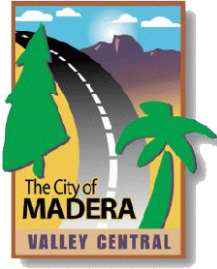
FIRE DEPARTMENT

67. All buildings shall be equipped with fire sprinklers. Fire Department Connections shall be placed at fire lanes and near fire hydrants. FDC's shall be labeled to indicate which building they serve.
68. Fire access gates shall be a minimum of 16 feet wide where the approach is direct and 22 feet wide where a turning movement is required. Fire access shall comply with CFC Appendix D.
69. All fire lanes shall be properly posted.
70. On site fire hydrants shall be provide in accordance with CFC Appendices B & C.
71. A Knox box will be provided for access. Powered gates shall prove a Knox override switch.
72. Building setbacks, and exterior wall protection shall comply with the CBC.
73. 2A10BC rated fire extinguishers shall be provided for each building in accordance with the CFC.

SAN JOAQUIN VALLEY AIR POLLUTION CONTROL DISTRICT

74. The applicant shall consult with and shall comply with the requirements of the San Joaquin Valley Air Pollution Control District, including but not limited to compliance with Regulation VIII (Fugitive PM10 Prohibitions) and Rule 9510 (Indirect Source Review), as referenced in the attached letter from the San Joaquin Valley Air Pollution Control District, dated April 27, 2021.

-END OF CONDITIONS-



**CITY OF MADERA
PLANNING COMMISSION**

**205 W. Fourth
Street
Madera CA 93637
(559) 661-5430**

**Staff Report: Omni Subdivision Precise Plan
PPL 2021-03 and Environmental Determination
Item #2 – July 13, 2021**

PROPOSAL: An application for a precise plan (PPL 2021-03) for the development of 61-lot subdivision on 10 acres. PPL also requests a deviation in the exterior side yard setback requirements from the required 10 feet to 8 feet on Lots 37, 39, and 61.

APPLICANT:	Century Community of California, LLC 7815 N. Palm Ave, Suite 101 Fresno, CA 93711	OWNER:	Century Community of California, LLC 7815 N. Palm Ave, Suite 101 Fresno, CA 93711
SITE ADDRESS:	Ellis Street and North D Street	APN:	003-200-006 & 007
APPLICATIONS:	PPL 2021-03	CEQA:	Negative Declaration

LOCATION: The project area is located on the southwest corner of the intersection of Ellis Street and North D Street.

STREET ACCESS: Access will be provided from Ellis Street and North D Street.

PROJECT SIZE: 10 acres (gross), 7.68 acres (net)

GENERAL PLAN DESIGNATION: LD (Low Density)

ZONING DISTRICT: P-D(6000) (One unit for each 6,000 square feet of site area)

SITE CHARACTERISTICS: The project site is vacant with a few scattered non-native shrubs and one tree located in the southeastern corner of the site. Overhead pole mounted communications parallel the northern and easterly perimeter. The City limits form the site's western, northern, and eastern property boundaries. Surrounding land uses include vacant and existing rural residential to the north, east and west. Adjacent uses to the south include multi-family residential development, multiple religious worship centers and a gated multi-family complex to the south. Nishimoto Elementary School and Matilda Torres High School are located to the north and northwest of the site, respectively.

ENVIRONMENTAL REVIEW: A Negative Declaration was previously adopted by the Planning Commission for the subdivision on February 12, 2019. The proposed precise plan is consistent with the previously approved development analyzed by the prior Negative Declaration. Therefore, no additional environmental analysis is required.

SUMMARY: The precise plan will guide the overall development of the Omni Subdivision. The proposal includes five (5) different home models with three (3) different elevations for each model. The proposed one- and two-story home models range in size from 1,523 to 2,222 square feet. Varying front porch designs are proposed with four (4) of the models (Plans 1523, 1717, 1839, 2096), including subordinate garage design resulting in a visual interest in the streetscape. With the fifth model (Plan 2222), the garage extends forward beyond the living space. The fifth model includes a porch entry. Models 1523 and 1717 are single-story structures and models 1839, 2096 and 2222 are two-story structures. The garage subordinate designs, architecture, and varying front porches are in conformance with the goals and policies of the General Plan Community Design Element.

APPLICABLE CODES AND PROCEDURES

City of Madera General Plan, Community Design Element
Madera Municipal Code (MMC) Section (§)10-3-4.101, P-D Zones
MMC §10-3-4.103 Planning Commission Approval
MMC §10-3-4.104, Precise Plan Application
MMC §10-3.13, Use Permit
MMC §§10-3.501 through 10-3.513 Residential Zones
California Public Resources Code §21000 et al., California Environmental Quality Act (CEQA).

Precise plans are a tool for coordinating public and private improvements on specific properties where special conditions of size, shape or an existing or desired development require particular attention. Precise plans are utilized within the P-D (Planned Development) Zone District to establish the proposed project's specific development and improvement standards. Sections 10-3-4.101 through 10-3-4.107 of the MMC establishes standards specific to the development within the P-D (Planned Development) zone district. Sections 10-3.501 through 10-3.513 of the MMC establishes standards specific to the development within the R (Residential) zone district. Additional development standards identified in the MMC, such as parking requirements also apply. Precise plans address, as applicable, the project's relationship to neighboring properties, project building and landscape design and aesthetics, fencing, walls, public infrastructure and services, circulation, parking, and open space. No construction, grading or new development activity may commence in any P-D Zone prior to the approval of a precise plan.

All precise plans are to be processed under the provisions for use permits as set forth in MMC §10-3.13. MMC §10-3.13 addresses the application, public hearing process as well as the appeal, termination and revocation process.

Pursuant to MMC §10-3-4.103, precise plans are subject to the approval of the Planning Commission, and in the case of residential subdivision projects, remain valid so long as the approved tentative map remains valid. Once the subdivision is recorded, the precise plan remains valid until such time that it is amended or repealed.

A precise plans must be utilized (implemented) within 12 months of the effective date of its approval. Failure to utilize the approved precise plan within the 12 month period renders the precise plan null and void unless a written request for an extension is submitted to the Planning Commission prior to the expiration of the precise plan. At such time of the request, the Planning Commission may grant or conditionally grant an extension as it deems appropriate.

The City's Planning and Zoning Ordinance allows for the granting of an amendment to a precise plan by the Planning Commission subject to the Planning Commission being able to make findings that the establishment, maintenance, or operation of the development will not, under the circumstances of the particular case, be detrimental to the health, safety, peace, morals, comfort and general welfare of persons residing or working in the neighborhood of the development, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the city.

If the Commission cannot make the appropriate findings, the development should be denied. Conditions may be attached to the approval of the precise plan to ensure compatibility. Project design may be altered and on or off-site improvements are required in order to make the Project compatible with nearby uses. In addition, the application may be subject to further review, modification or revocation by the Commission as necessary.

PRIOR ACTION

The subject properties were initially evaluated for a potential subdivision in September of 2018 through the Preliminary Project Review (“PPR”) process the City offers as a resource for anticipated projects. Based on the City’s review of the applicant’s PPR material submitted, the City provided a letter to the applicant of PPR 2018-10, Precision Engineering, outlining the application process for the subdivision along with potential conditions of approval the project would be expected to meet. Being that the property at the time was outside of the City Limits, the letter requested submittal of a rezone application in conjunction with the tentative subdivision map application as a precursor to annexation of the site to be considered by Madera Local Agency Formation Commission (“LAFCo”).

An application for a rezone (REZ 2018-08) and tentative subdivision map (TSM 2018-07) was received in December of 2018. Both applications, REZ 2018-08 and TSM 2018-07, were reviewed by staff and recommended for approval. At its regularly scheduled meeting on February 12, 2019, the Planning Commission adopted a Negative Declaration for the project and conditionally approved TSM 2018-07. The Commission also adopted a resolution recommending to the City Council adoption of REZ 2018-08 rezoning the subject site PD-6000 (Planned Development) Zone District.

First reading of the rezone was introduced to City Council on March 6, 2019 with direction given to staff to prepare a formal resolution to be brought back for Council action at a later hearing. At the regular meeting of the City Council on March 20, 2019, the second reading of the zoning ordinance amendment was approved and adopted as Ordinance Number 961 C.S.

Annexation of the properties were approved by Madera LAFCo on April 24, 2019. The annexation included properties on the east side of North D Street, south of its intersection with Ellis Street. The inclusion of these properties was at the request of Madera LAFCo in efforts to create logical, consistent agency boundaries to maximize resource efficiency.

In compliance with MMC §10-2.402.8.2, the City received an application and written request from the subdivider on January 22, 2021 requesting a subdivision map extension (TSM 2018-07 EXT). The reasoning for the map extension was to enable the subdivider to continue to work with City staff on the review and approval fo the final map for recording and construction plans in preparation of a precise plan submittal to the City. On April 13, 2021, the Planning Commission approved TSM 2018-07 EXT. The Final Map was approved by the City Council on May 5, 2021.

ANALYSIS

The proposed use is an allowed use in the PD - 6000 zone district. The site plan and elevations have been reviewed in accordance with the applicable development standards of the MMC, including but not limited to setbacks, height limits, parking, access, and landscaping requirements. The proposed development has also been evaluated against the applicable General Plan policies. The proposed development, as conditioned, is consistent with the requirements of the MMC and the General Plan, except for those deviations as described above.

Development of the project site will not put additional stress on the City of Madera’s public infrastructure and utilities systems. The necessary water, wastewater, storm drainage, and roadway improvements to serve the project site have been reflected in the conditions of approval for PPL 2021-03.

Precise Plan

Precise Plans are utilized within the P-D (Planned Development) Zone District to establish the specific development and improvement standards for a proposed residential project. Precise plans address, as applicable, the project’s relationship to neighboring properties, project building and landscape design and aesthetics, fencing, walls, public infrastructure and services, circulation, parking and access, and open space.

Requested Deviation

As an element of the proposed precise plan for this project, the applicant is requesting an exterior side yard setback reduction of two (2) feet has been requested for Lots 37, 39, and 61 as part of the Precise Plan application. The PPL allows the use of special design criteria such as, in this case, deviation in the exterior side yard setback standard without requiring approval of a variance application.

Typically, a 10-foot exterior side yard setback is required for corner lots adjacent to public rights-of-way. Lots 37, 39 and 61 are corner lots. The reduction is being requested given these lots have a width of 50 feet, which is the typical interior lot size of the subdivision, while other corner lots have a 55-foot width. The 2-foot reduction would allow some home plans being proposed to be placed without issue. If a reduction is not granted, these lots would be unbuildable for the home models proposed for the subdivision.

Model Elevations

The applicant is requesting approval of five (5) home model plans for construction within the subdivision. The homes range in size from 1,523 to 2,222 square feet. The two smallest homes (model plans 1523 and 1717) proposed are four-bedroom, two bath, single story homes. The 1839 model plan is a four-bedroom, two bath, two-story home. The two largest two homes proposed (model plans 2096 and 2222) are five-bedroom, two bath, two-story homes. The proposed model plans are as follows:

Model	Floor Area	Bed/Bath	Garage	% Buildable Lots (with 2-foot reduction)
1523	1523 sq. ft.	4 bed / 2 bath	Subordinate	100%
1717	1717 sq. ft.	4 bed / 2 bath	Subordinate	100%
1839	1839 sq. ft.	4 bed / 2 bath	Subordinate	100%
2096	2096 sq. ft.	5 bed / 3 bath	Subordinate	100%
2222	2222 sq. ft.	5 bed / 3 bath	Forward	100%

Each model plan will be available in three different elevations. The five proposed models will be offered in Early California, Bungalow and Cottage. All homes will offer Spanish, Traditional and Craftsman elevation styles (see Attachments 6 through 10). All models will include a two-car garage, a front porch, and a rear patio which are encouraged features pursuant to General Plan Policy CD-35. In addition, models will include composition shingle roofing, and varying architectural treatments including wall sconces, varying window shutters, gable decorations and hatched window treatments. Cumulatively, these features “reflect attention to detail as necessary to produce high architectural design and construction quality” (Policy CD-34).

Side-Yard Elevations

In addition to providing a varied primary elevation, the General Plan requires that exterior side and/or rear yard elevations that are visible from the public right-of-way provide architectural treatments consistent with the front (primary) elevation (Policy CD-34). This policy is applicable to 19 of 61 lots within

the subdivision (Lots 19 through and including 26, 31, 32, 37, 38, 43, 44, 49, 50, 54, 57, 61). Staff recommends the exterior side and/or rear elevations be enhanced for homes built on these lots to provide architectural features consistent with the primary elevation.

Varied Setbacks

Pursuant to Policy CD-31, “residential building setbacks from the street should be varied when possible in all areas of Madera.” Staff recommends the front structural setback vary from a minimum of 12 feet to a maximum of 20 feet, with at least a two-foot variation amongst any 2 adjacent lots, and a five-foot variation over any 3 consecutive lots, regardless of home model.

Garage Subordinate Design

General Plan policy CD-32 states, “Garages for new single-family houses, duplexes, and townhouses should be subordinate in visual importance to the house itself, especially the entry. This may be achieved in a number of ways, such as by locating garages toward the back of the properties, constructing alleys, building garages as separate structures from the house, requiring garages to be set back from the front facade of the house, and encouraging the orientation of garage doors at 90 degrees to the street.” Four of the five proposed models fully satisfy CD-32 with the façade of the porch or living space extending in front of the garage. One model (Model 2222) does not satisfy Policy CD-32. However, the architecture of Plan 2222 includes varying depths of the garage, porch, and living space that provide character to the neighborhood. With four of five model plans satisfying CD-32, the spirit the goal is being met with the diversity of the model plans proposed.

Architecture

Policy CD-33 states, “The exterior of residential buildings shall be varied and articulated to provide visual interest to the streetscape.” The proposed models include two-car garages, 12 different color schemes, window shutters, foam pop-outs, decorative lighting, and a stucco exterior, among other options, which comply with Policy CD-33. The applicant also proposes front porches for all models, which complies with Policy CD-35. To comply with Policy CD-34, staff recommends that all proposed models on corner lots incorporate architectural treatments in keeping with the features consistent with the front elevation. Staff also recommends for all “standard” elevations, the developer incorporate window shutters for all second-story windows visible from the public right-of-way. The incorporation of window shutters would apply to Lots 19 through and including 26, 31, 32, 37, 38, 43, 44, 49, 50, 54, 57 and 61.

Landscape

Landscape plans are required as an element of the precise plan. Attention to detail and aesthetic design is necessary to satisfy Goal 4 of the General Plan Community Design Element. Goal 4 requires “[A]ttractive streetscapes in all areas of Madera.” Staff recommends landscape and irrigation plans for each model and as well as for Ellis Street and North D Street be submitted to the Planning Department for review and approval prior to issuance of building permits.

Open Space

Policy LU-22 states, “Single-family developments need to provide functional outdoor recreational space.” The approved final subdivision map did not include park or open space. Instead, through conditions of approval for the tentative subdivision map, the Project will be required to pay the necessary park impact fees, as well as parkland acquisition fees to provide for the park and recreational needs of residents, thereby satisfying Policy LU-22. The park impact and parkland acquisition fees collected will be expended solely for the acquisition, development, and/or rehabilitation of parkland or improvements.

General Plan Conformance

Cumulatively, the proposed model plans and elevations of PPL 2021-03 conform with the goals and policies of the General Plan.

City Department and Agency Review and Comment

The Project was reviewed by various City Departments and outside agencies. The responses and recommendations have been incorporated into the recommended conditions of approval included in this report.

CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA)

The development of the project site has already been environmentally assessed, and a Negative Declaration (“ND”) was adopted for the tentative subdivision map (TSM 2018-07) by the Planning Commission as part of the original approvals on February 12, 2019. The setting for this project has not substantially changed since the adoption of the ND. No additional development in the area has occurred since the approval of TSM 2018-07 that would require additional environmental analysis of the project. The implementation of PPL 2018-03 does not involve any physical changes in the environment and hence does not have the potential for causing a significant effect on the environment. No substantial changes are proposed in the project which will require major revisions of the previous negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects. Likewise, no substantial changes occur with respect to the circumstances under which the project is undertaken, which will require major revisions of the previous negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects. There is no new information, which was not known and could not have been known at the time of the previous negative declaration that the project will have significant effect not discussed in the negative declaration. Finally, since a negative declaration was previously adopted for the considerations set forth in CEQA Guidelines § 15162(a)(3)(C) and (D), related to the adequacy and feasibility of previously adopted mitigation measures, are not applicable. Therefore, the adopted negative declaration is sufficient and pursuant to State CEQA Guidelines Section 15162, which identifies the requirements for which subsequent analysis is required, no further environmental review is required.

CONSISTENCY WITH THE VISION MADERA 2025 PLAN

The first of the four core vision statements in the Vision Plan reflect the desires of the community. An Action Plan was developed with specific ideas to implement the vision statements. The first of the four vision statements, “A Well-Planned City,” states “Madera promotes affordable, quality housing that is accessible to all its residents.” Action 101.8 states “Promote and encourage development and redevelopment of low- and moderate-cost housing.” Approval of the Project is consistent with the aforementioned vision statement and Action 101.8.

RECOMMENDATION

The Precise Plan allows for the development of a residential neighborhood in conformity with the General Plan. The information presented in this report supports a recommendation of approval for the Precise Plan, subject to the recommended conditions of approval. It is recommended that the Commission consider this information, together with testimony provided at the public hearing, and approve the precise plan.

PLANNING COMMISSION ACTION

The Commission will be acting on Precise Plan 2021-03 and determining to either:

- Adopt a resolution approving Precise Plan 2021-03 as conditioned (Motion 1); or
- Continue the hearing to August 10, 2021, with direction to staff to return with an updated resolution with appropriate findings modifying the conditions of approval for the following

reasons: (Specify – Planning Commission should articulate reasons for modifications to findings and conditions of approval) (Motion 2); or

- Move to continue the application for Precise Plan 2021-03 to the August 10, 2021 Planning Commission hearing with direction to staff to return with an updated resolution with appropriate findings for denial for the following reasons: (Specify – Planning Commission should articulate reasons for denial.) (Motion 3).

Motion 1: Move to adopt a resolution of the Planning Commission of the City of Madera approving Precise Plan 2021-03 based on and subject to the findings and conditions of approval as follows:

Finding a: The proposal is consistent with the General Plan and Zoning Ordinance.

The property is zoned P-D (6,000) *Planned Development, one unit for each 6,000 sq. ft. of site area*, which is consistent with the existing General Plan land use designation of LDR (Low Density Residential). The project proposes a deviation in the setback standard for exterior side yard, as allowed under the provisions of the PPL provisions. PPL 2021-03 is consistent with the purpose and intent of the P-D 6,000 zone district and does not conflict with City standards or other provisions of the Code.

Finding b: The proposal is consistent with any applicable specific plans.

The project site is not subject to any specific plans.

Finding c: The proposed project includes facilities and improvements; vehicular and pedestrian ingress, egress, and internal circulation; and location of structures, services, walls, landscaping, and drainage that are so arranged that traffic congestion is avoided, pedestrian and vehicular safety and welfare are protected, there will be no adverse effects on surrounding property, light is deflected away from adjoining properties and public streets, and environmental impacts are reduced to acceptable levels.

PPL 2021-03 has been reviewed and is consistent with surrounding uses and with all applicable requirements for development in the P-D 6,000 zone district, including provisions for access to and from the site, parking and loading facilities, drainage, and lighting. The project would not have an adverse effect on surrounding properties.

Finding d: The proposed project is consistent with established legislative policies relating to traffic safety, street dedications, street improvements, and environmental quality.

PPL 2021-03 will be required to install street improvements in accordance with City standards. Related infrastructure improvements will also be required for storm drainage in conformance with City standards. The project site has access to North D Street and Ellis Street, which can accommodate traffic generated from the proposed project. Based on the previous environmental analysis prepared, the project will not have a significant impact on traffic or the environment.

(OR)

Motion 2: Move to continue the public hearing on PPL 2021-03 to the August 10, 2021 with direction to staff to return with an updated resolution with appropriate findings modifying the conditions of approval for the following reasons: (Specify – Planning Commission should articulate reasons for modifications to findings and conditions of approval)

(OR)

Motion 3: Move to continue the application for PPL 2021-03 to the August 10, 2021 Planning Commission hearing with direction to staff to return with an updated resolution with appropriate findings for denial for the following reasons: (Specify – Planning Commission should articulate reasons for denial.)

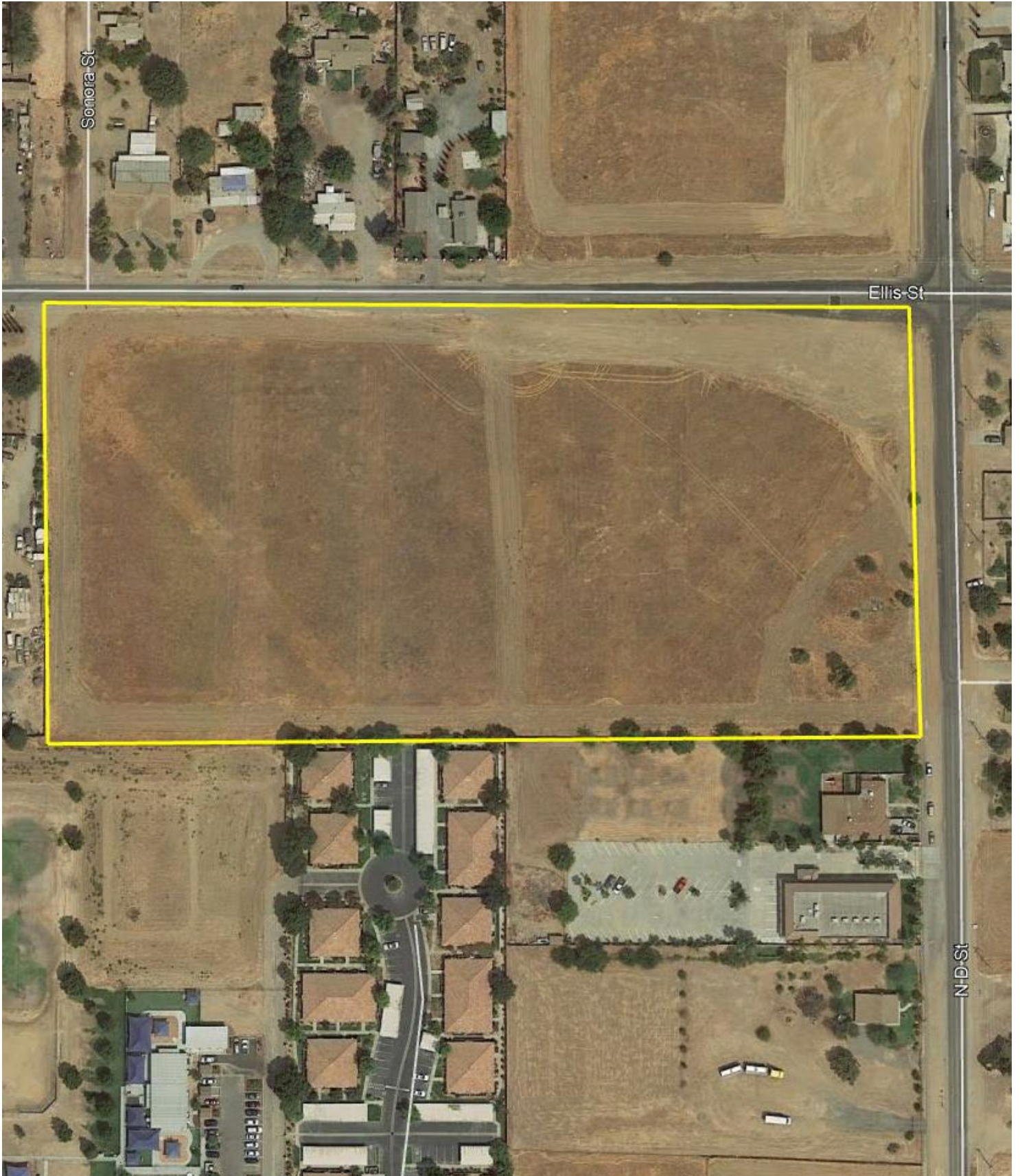
ATTACHMENTS

- Attachment 1: Vicinity Map
- Attachment 2: Aerial Photo
- Attachment 3: Final Subdivision Map 19-S-07
- Attachment 4: Precise Plan
- Attachment 5: Landscape and Planting Plan
- Attachment 6: Plan 1523, Floor Plan and Elevations
- Attachment 7: Plan 1717, Floor Plan and Elevations
- Attachment 8: Plan 1839, Floor Plan and Elevations
- Attachment 9: Plan 2096, Floor Plan and Elevations
- Attachment 10: Plan 2222, Floor Plan and Elevations
- Attachment 11: Color and Material Selections
- Attachment 12: Planning Commission Resolution 1887

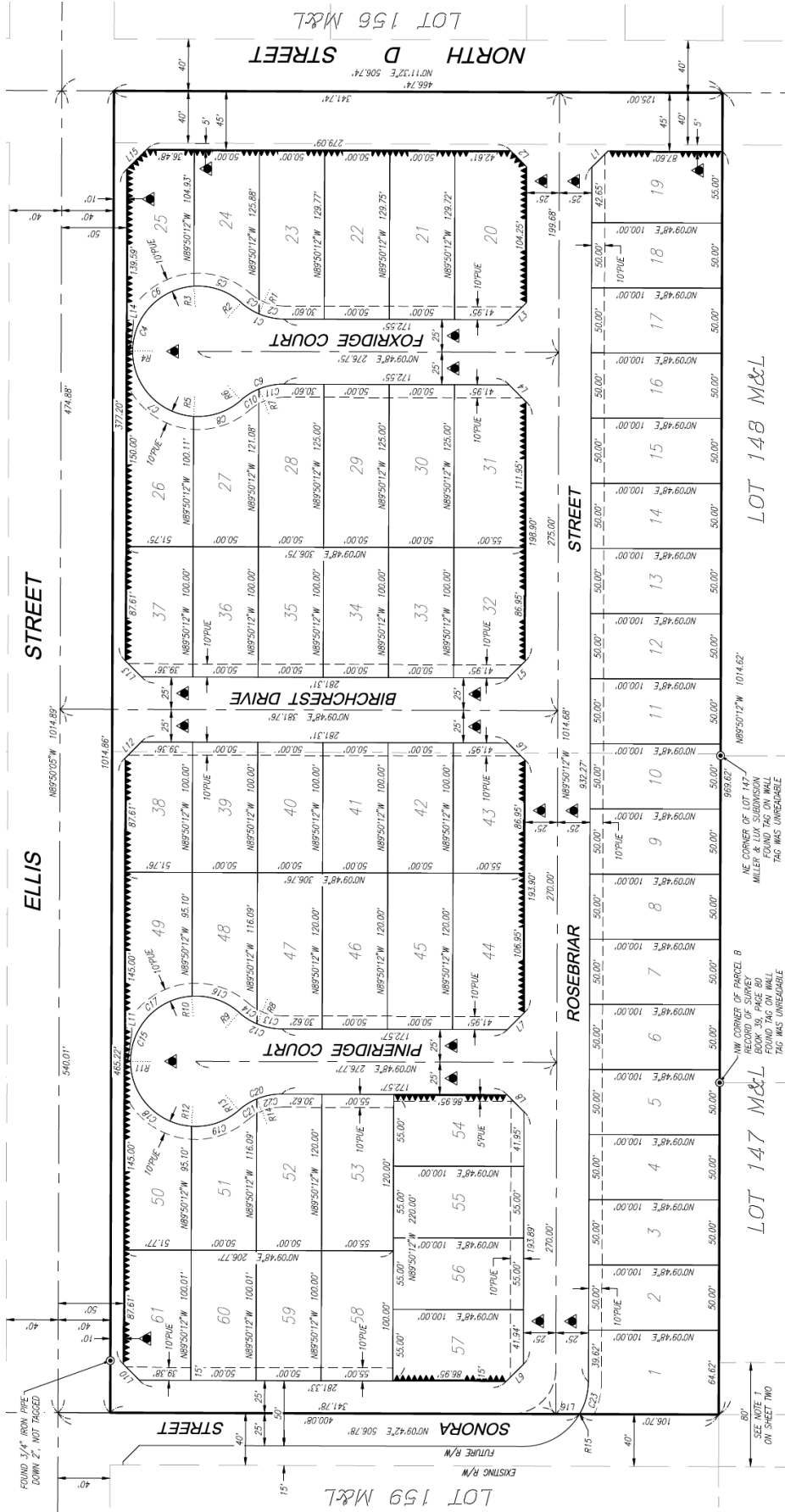
Attachment 1: Vicinity Map



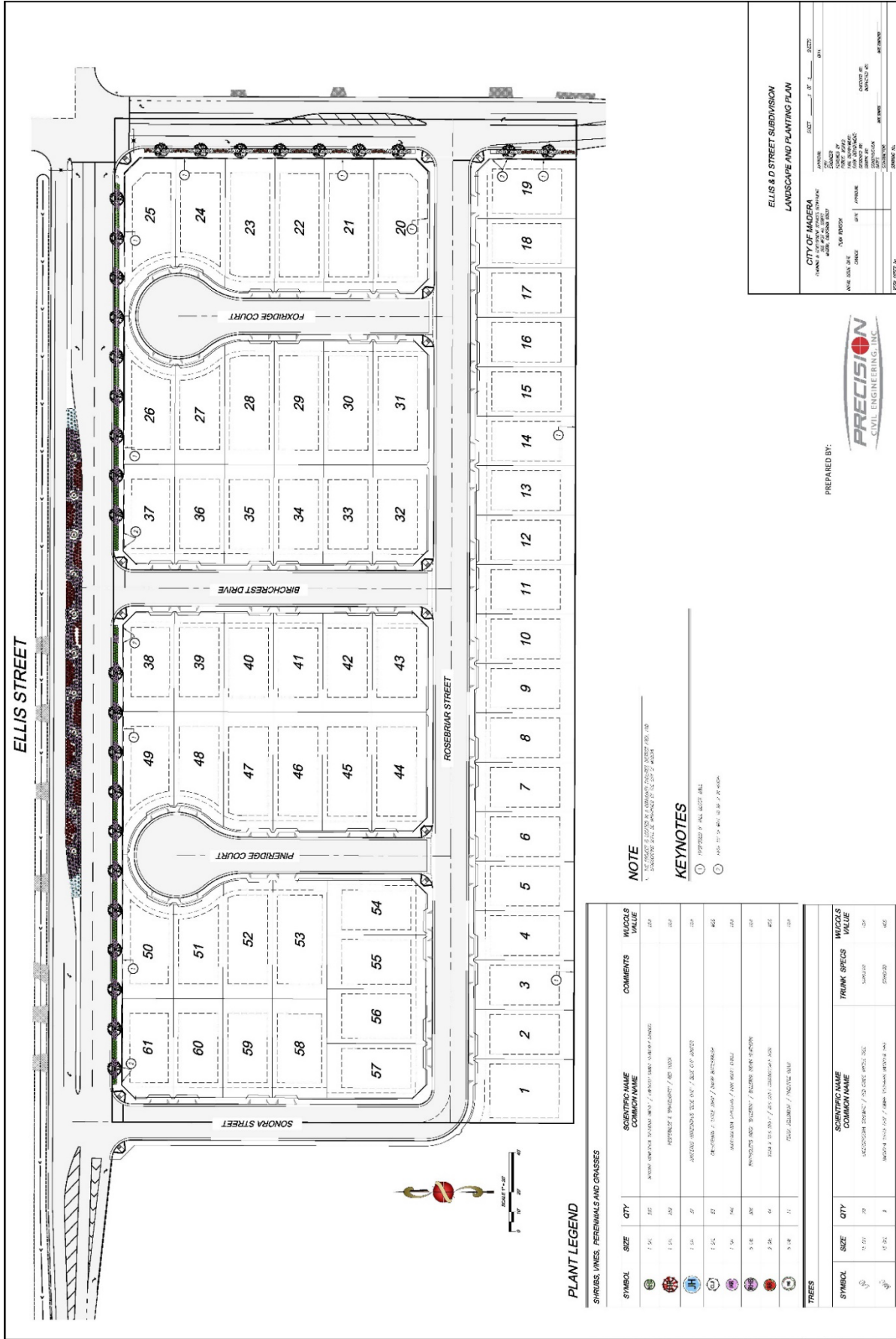
Attachment 2: Aerial Photo



Attachment 3: Final Subdivision Map – Tract 19-S-07



Attachment 5: Landscape and Planing Plan



PLANT LEGEND

SHRUBS, PINES, PERENNIALS AND GRASSES

SYMBOL	SIZE	QTY	SCIENTIFIC NAME COMMON NAME	COMMENTS	WICCOLS VALUE
	1.50'	202	ANTENNARIA DIAPHYLLA / ANTIPODIA	ANTENNARIA DIAPHYLLA / ANTIPODIA	202
	1.50'	202	ANTENNARIA DIAPHYLLA / ANTIPODIA	ANTENNARIA DIAPHYLLA / ANTIPODIA	202
	1.50'	10	ANTENNARIA DIAPHYLLA / ANTIPODIA	ANTENNARIA DIAPHYLLA / ANTIPODIA	10
	1.50'	43	ANTENNARIA DIAPHYLLA / ANTIPODIA	ANTENNARIA DIAPHYLLA / ANTIPODIA	43
	1.50'	704	ANTENNARIA DIAPHYLLA / ANTIPODIA	ANTENNARIA DIAPHYLLA / ANTIPODIA	704
	3.00'	202	ANTENNARIA DIAPHYLLA / ANTIPODIA	ANTENNARIA DIAPHYLLA / ANTIPODIA	202
	3.00'	44	ANTENNARIA DIAPHYLLA / ANTIPODIA	ANTENNARIA DIAPHYLLA / ANTIPODIA	44
	3.00'	11	ANTENNARIA DIAPHYLLA / ANTIPODIA	ANTENNARIA DIAPHYLLA / ANTIPODIA	11

TREES

SYMBOL	SIZE	QTY	SCIENTIFIC NAME COMMON NAME	TRUNK SPECS	WICCOLS VALUE
	10.00'	10	ANTENNARIA DIAPHYLLA / ANTIPODIA	10.00"	202
	10.00'	3	ANTENNARIA DIAPHYLLA / ANTIPODIA	10.00"	402

NOTE

1. ALL PLANTINGS SHALL BE INSTALLED BY 10/31/2021.

KEYNOTES

1. 10' x 10' x 10' x 10' x 10' x 10'
2. 10' x 10' x 10' x 10' x 10' x 10'

**ELLIS & D STREET SUBDIVISION
LANDSCAPE AND PLANTING PLAN**

CITY OF MADERA
PLANNING & DEVELOPMENT DEPARTMENT
MADERA, CALIFORNIA 95331

PROJECT NO. _____ DATE _____

DESIGNED BY _____

CHECKED BY _____

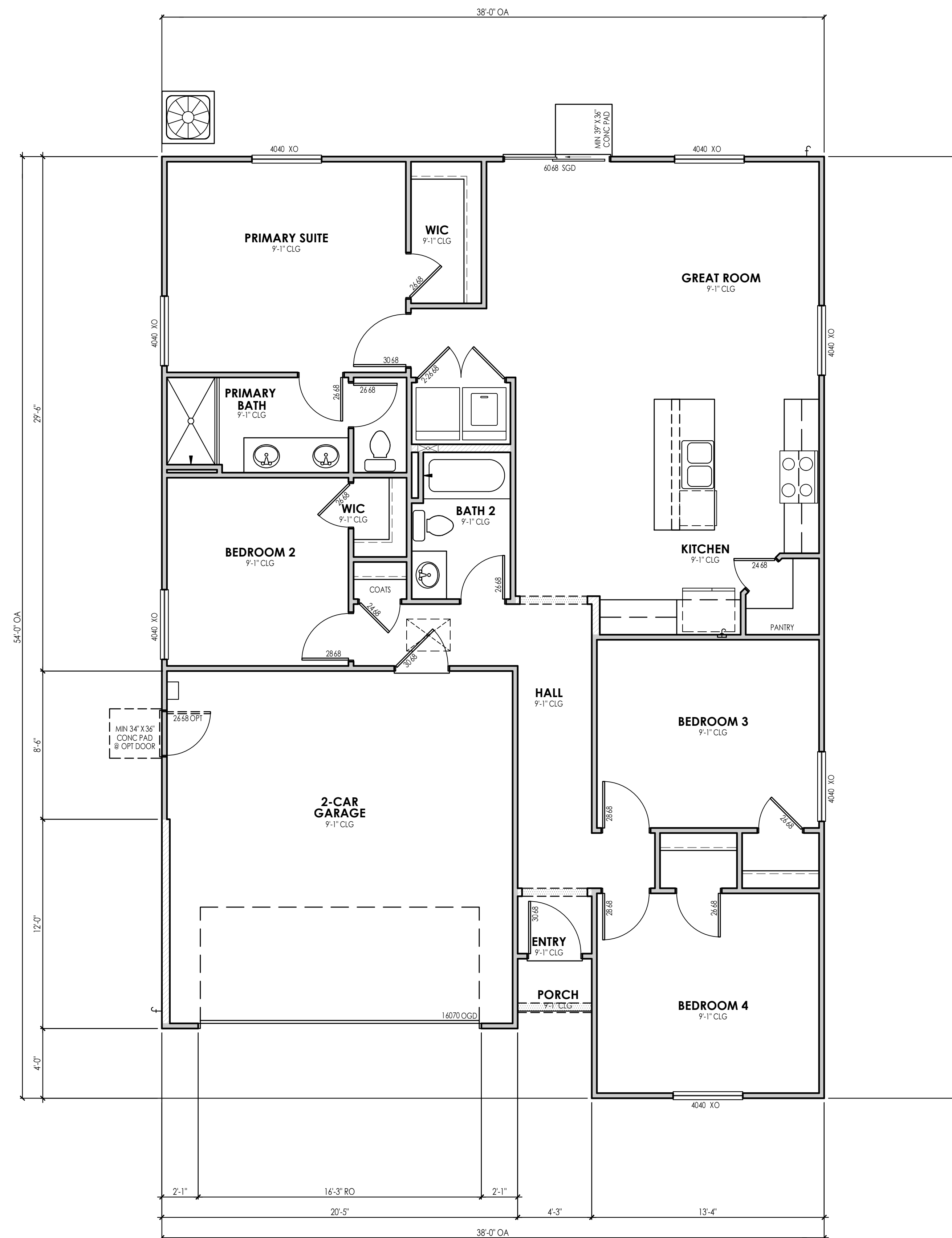
APPROVED BY _____

DATE _____

PREPARED BY: _____

PRECISION CIVIL ENGINEERING, INC.

Attachment 6: Plan 1523, Floor Plan and Elevations



ALL ELEVATIONS
FLOOR PLAN

1/4" = 1'-0"

Sheet Notes:

- FIRE BLOCKING SHALL BE PROVIDED IN ALL CONCEALED SPACES. (CRC SECTION R302.1)
- ALL DIAGONAL WALLS TO BE 45 DEGREES (UNO)
- WINDOW "HEAD" HEIGHTS:
 - 1ST FLOOR = 7'-6" AFF (UNO)
 - 2ND FLOOR = 7'-6" AFF (UNO)
 - DOOR HEIGHTS AS NOTED ON FLOOR PLANS
- ALL DOORS TO BE CENTERED WITHIN ADJACENT WALLS, OR DOOR JAMB TO BE FRAMED AT 3" UNLESS OTHERWISE DIMENSIONED
- PROVIDE BACKING FOR ALL HARDWARE FIXTURES (TOWEL BARS, ETC.) TOWEL BARS SHALL BE INSTALLED NO HIGHER THAN 48" AFF.
- REFER TO BASE FLOOR PLAN FOR INFORMATION NOT SHOWN ON PARTIAL FLOOR PLANS. HATCHED WALLS ON PARTIAL FLOOR PLANS INDICATE FRAMING CHANGES FROM BASE FLOOR PLAN
- ALL JOINTS, PENETRATIONS AND OTHER OPENINGS IN THE BUILDING ENVELOPE THAT ARE POTENTIAL SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKET, WEATHER-STRIPPED OR OTHERWISE SEALED TO LIMIT INFILTRATION AND EXFILTRATION. (CNC SECTION 110.7)

Floor Plan Keynotes:

DWELLING/GARAGE FIRE SEPARATION: ALL SURFACES SHALL BE PROTECTED WITH MINIMUM ONE (1) LAYER 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. ALL HORIZONTAL SURFACES WITH HABITABLE SPACE ABOVE SHALL BE PROTECTED WITH MINIMUM ONE (1) LAYER 5/8" TYPE 'X' GYPSUM BOARD APPLIED TO THE GARAGE SIDE. (CRC SECTION R302.6 & TABLE R302.6)

OPENING PROTECTION: WHERE THE RESIDENCE AND PRIVATE GARAGE ARE PROTECTED BY AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM, DOOR OPENINGS BETWEEN THE HOUSE AND THE GARAGE NEED ONLY BE SELF-CLOSING AND SELF-LATCHING. (CRC SECTION R302.5.1 EXCEPTION)

EMERGENCY ESCAPE AND RESCUE OPENINGS: EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE (1) OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. EMERGENCY OPENING SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44" MEASURED FROM THE FLOOR AND A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24" AND THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20". (CRC SECTION R310.2) WINDOWS USED FOR EMERGENCY ESCAPE AND RESCUE OPENING SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44 INCHES MEASURED FROM THE FLOOR.

TANKLESS WATER HEATER: SPEC PER ENERGY CALCULATIONS.

ATTIC ACCESS: PROVIDE A MINIMUM 22"X30" OPENING OR LARGE ENOUGH TO REMOVE THE LARGEST PIECE OF EQUIPMENT. (CRC SECTION R807.1 & CMC SECTION 304.4) LOCATION APPROXIMATE. VERIFY/COORDINATE WITH TRUSS LAYOUT. ACCESS PANEL TO BE WEATHER-STRIPPED AND HAVE PERMANENTLY ATTACHED INSULATION USING ADHESIVE OR MECHANICAL FASTENERS EQUIVALENT TO THE SURROUNDING AREA REQUIREMENTS. (SECTION 150 OF CALIFORNIA ENERGY CODE)

A/C CONDENSER: PROVIDE MINIMUM 30"X30" CONCRETE PAD, MINIMUM 3" ABOVE GRADE. LOCATE PER PLOT PLAN.

TEMPERED SAFETY GLASS: PROVIDE TEMPERED GLASS AT HAZARDOUS LOCATIONS PER REQUIREMENTS. (CRC SECTION R308.4)

- GLAZING IN WALLS WITHIN 60 INCHES OF A WET SURFACE SHALL BE CONSIDERED A HAZARDOUS LOCATION. EXCEPTION: MORE THAN 60 INCHES AND IN A STRAIGHT LINE FROM THE WATER'S EDGE.
- GLAZING WHERE THE BOTTOM EDGE IS LESS THAN 36" ABOVE AN ADJACENT WALKING SURFACE OF STAIRS, LANDINGS, AND RAMPS SHALL BE CONSIDERED A HAZARDOUS LOCATION. EXCEPTION: GLAZING ADJACENT TO A WALKING SURFACE AND A HORIZONTAL RAIL INSTALLED 34 TO 38 INCHES ABOVE THE WALKING SURFACE.
- GLAZING ADJACENT TO THE BOTTOM OF A STAIR LANDING IS LESS THAN 36 INCHES AND IS WITHIN 60 INCHES FROM THE BOTTOM TREAD NOSE SHALL BE CONSIDERED A HAZARDOUS LOCATION. EXCEPTION: WHERE GLAZING IS PROTECTED BY A GUARD COMPLYING WITH SECTION R312 AND THE GLASS IS MORE THAN 18 INCHES ABOVE THE GUARD.

DRYER: VENT DUCT SHALL BE OF A RIGID METALLIC MATERIAL AND SHALL HAVE SMOOTH INTERIOR SURFACES. EXTENDING TO EXTERIOR WITH BACKDRAFT DAMPER. TRANSITION DUCTS MUST BE IN ACCORDANCE WITH UL 2158A (CMC SECTION 504.4) SEE DETAIL 7/A/D3

WASHING MACHINE: PROVIDE PRE-FABRICATED CORROSION RESISTANT PAN UNDER WASHING MACHINE LOCATED ON UPPER FLOOR. DRAIN TO EXTERIOR.

UPPER CABINETS: WALL MOUNTED ABOVE. 12" DEEP TYPICAL. 24" DEEP ABOVE REFRIGERATOR.

SHOWERS & TUB/SHOWER COMBINATIONS: FLOORS AND WALLS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR. (CRC SECTION R307.2)

MATERIALS USED AS BACKERS FOR WALL TILE IN TUB AND SHOWER AREAS SHALL BE OF MATERIALS LISTED IN TABLE R702.4.2 AND SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECS. (CRC SECTION R702.4.2) LOCATE SHOWER HEAD AT 8'4" AFF. GLAZING IN ALL FIXED AND OPERABLE PANELS OF A SWINGING, SLIDING, OR BI-FOLD DOOR SHALL BE CONSIDERED A HAZARDOUS LOCATION AND SHALL COMPLY WITH CRC SECTIONS R308.3 & R308.4.

COOKING APPLIANCES: 36" RANGE, MICRO/HOOD, LIGHT, EXHAUST FAN ABOVE. FAN: MIN 100 CFM FOR LOCAL EXHAUST VENTILATION. (BUILDING ENERGY EFFICIENCY STANDARDS)

PANTRY / LINEN: (5) SHELVES, EQUAL SPACING.

INTERIOR FLAT SOFFIT: FIRST FLOOR FRAME AT 8'-1" AFF (UNO). SECOND FLOOR FRAME AT 7'-1" AFF (UNO).

EXTERIOR SOFFIT OR ARCH: SEE EXTERIOR ELEVATIONS FOR DIMENSIONS.

DASHED LINE INDICATES OUTLINE OF FLOOR ABOVE. SOLID LINE INDICATES OUTLINE OF FLOOR BELOW.

LOW WALL: PROVIDE WITH DOUBLE TOP PLATE. HEIGHT AT +42" AFF. (UNO)

UNDER-STAIR PROTECTION: ENCLOSED SPACE UNDER STAIRS THAT IS ACCESSED BY A DOOR OR ACCESS PANEL SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" INCH GYPSUM BOARD. (CRC SECTION R302.7)

STAIRWAYS: SHALL NOT BE LESS THAN 36" IN CLEAR WIDTH (AND NOT HAVE A VERTICAL RISE OF MORE THAN 151"). MINIMUM HEADROOM SHALL NOT BE LESS THAN 6'-8". MAXIMUM RISER HEIGHT SHALL BE 7-3/4". AND MINIMUM TREAD DEPTH SHALL BE 10". (CRC SECTION R311.7)

HANDRAILS (AND GUARDS WHERE THE TOP OF THE GUARD ALSO SERVES AS A HANDRAIL) SHALL BE PROVIDED ON NOT LESS THAN ONE SIDE OF EACH FLIGHT OF STAIRS WITH FOUR OR MORE RISERS. HEIGHT SHALL BE NOT LESS THAN 34" AND NOT MORE THAN 38", AND CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT. (CRC SECTION R311.7.8) SEE DETAIL 6/A/D3

GUARDS: SHALL BE NOT LESS THAN 42" IN HEIGHT VERTICALLY ABOVE THE WALKING SURFACE OR THE LINE CONNECTING THE NOSING. RAIL DESIGN TO COMPLY WITH CODE. (CRC SECTION R312) SEE DETAIL 5/A/D3

PROVIDE MINIMUM 30" WIDE CLEAR SPACE AT WATER CLOSET. THAT EXTENDS AT LEAST 24" IN FRONT OF THE WATER CLOSET.

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JD+A Project Number: 21033

Sheet Revisions		
#	DATE	COMMENT

PLAN 1523
Sheet Description:
FLOOR PLAN

Sheet Number:
A3.1

Floor Area	
LIVING AREA:	
FLOOR LIVING:	1522.6 SQ. FT.
TOTAL LIVING AREA:	1523 SQ. FT.
OTHER AREAS:	
GARAGE:	414 SQ. FT.
COVERED PORCH:	13 SQ. FT.

4/12/2021 PERMIT SET

Sheet Revisions		
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XX.XXX		INITIAL PLAN CHECK SUBMITAL

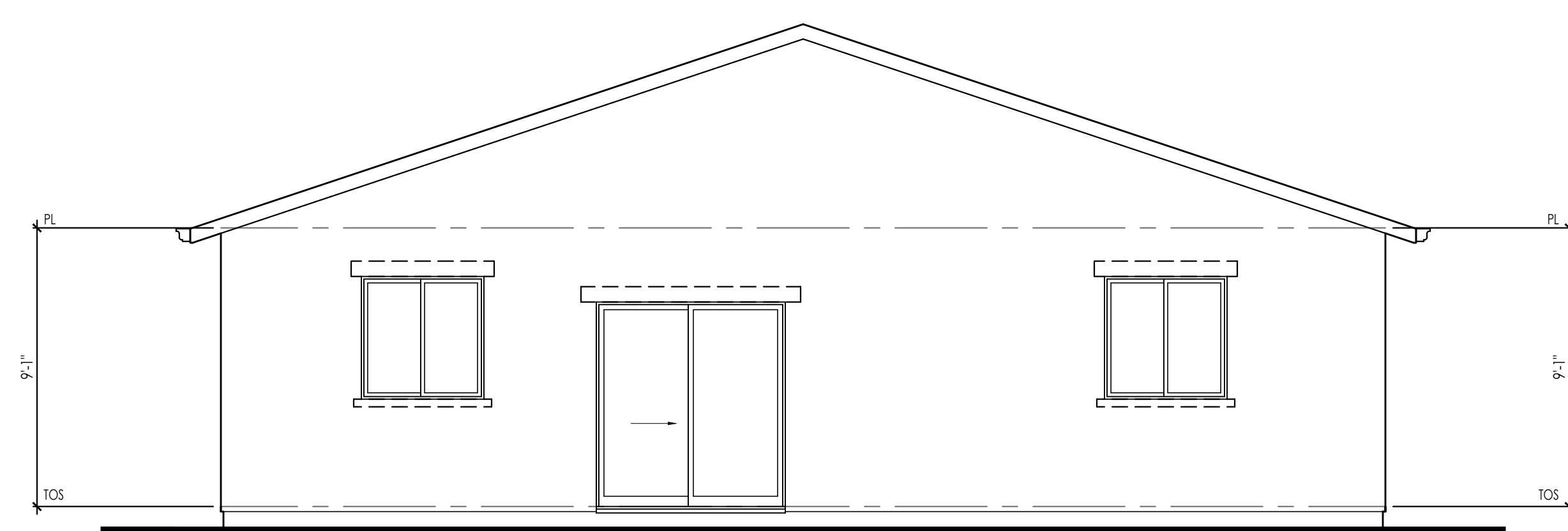
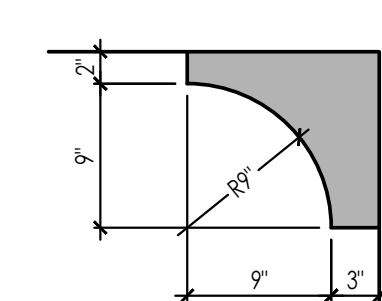
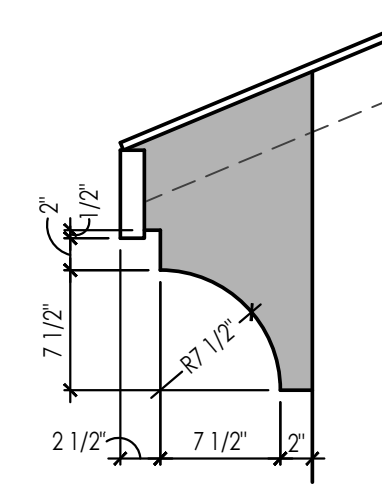
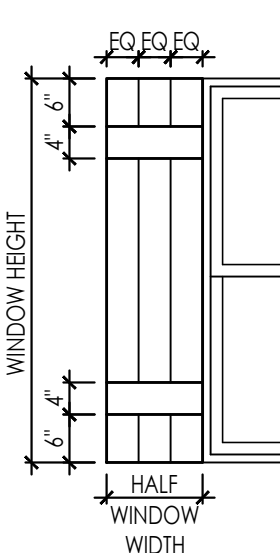
Elevation Design Details: Sheet Notes:

THE FOLLOWING DETAILS CONVEY DESIGN INTENT. REFER TO ARCHITECTURAL DETAILS FOR SPECIFIC CONSTRUCTION ASSEMBLIES.

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 - 2ND FLOOR = 7'-5" AFF (LINO)
 - DOOR HEIGHTS AS NOTED ON FLOOR PLANS
- EXTERIOR WALLS (PER MFG INSTALLATION INSTRUCTIONS):
 - OMEGA DIAMOND WALL 1-COAT STUCCO SYSTEM: OVER MIN 1" FOAM INSULATION, OVER ONE LAYER OF 40-MINUTE GRADE D PAPER OR EQUAL, OVER STUDS OR WOOD-BASED SHEATHING. STUCCO CONTROL JOINT LOCATIONS SHALL BE COORDINATED WITH THE ARCHITECT PRIOR TO INSTALLATION. IF NOT SPECIFIED ON PLANS, (ESR 1194)
 - FIBER CEMENT SIDING: OVER ONE LAYER OF APPROVED WATER-RESISTIVE BARRIER, OVER STUDS OR SHEATHING.
- ROOFING: REFER TO ROOF PLAN SHEET NOTES
- WINDOWS: VINYL, SPEC PER BUILDER
- GRIDS / DIVIDED LITES AS SHOWN
- ENTRY DOORS: RAISED PANEL, SPEC PER BUILDER
- OVER HEAD GARAGE DOORS:
 - STEEL SECTIONAL, SPEC PER BUILDER
 - RAISED PANEL AND GLASS INSERTS AS SHOWN.
- FASCIA BOARDS: 2X6, UNLESS NOTED OTHERWISE REFER TO ELEVATION KEYNOTES
- BARGE RAFTER: 2X6, UNLESS NOTED OTHERWISE REFER TO ELEVATION KEYNOTES
- ADDRESS NUMBERS: PLACE IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONTING PROPERTY (CRC R319.1)
 - NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND AND BE LEGIBLE
 - NUMBERS SHALL BE A MINIMUM 4" HIGH WITH A MINIMUM STROKE WIDTH OF 1/2"
- ROOF HEELS: LABELED AS
 - STANDARD HEEL: +0"
 - RAISED HEEL: INCREASED HEEL TO PLANE FASCIA. REFER TO TRUSS LAYOUTS
- ATTACHMENT PENETRATIONS MADE THROUGH EXTERIOR FINISHES SHALL BE PRE-DRILLED AND FILLED WITH MASTIC AND, WHENEVER POSSIBLE: MADE OVER SELF-ADHERED FLASHING MEMBRANE LAPPED INTO WEATHER RESISTIVE BARRIER AND INTO SOLID BACKING.

Elevation Keynotes:

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- GUTTER, STYLE SPEC PER BUILDER
- DOWNSPOUT, STYLE SPEC PER BUILDER
- CORROSION RESISTANT ROOF TO WALL FLASHING REFER TO ROOF DETAILS
- EXTERIOR STUCCO, TYPICAL +0" (LINO), STANDARD FINISH
- EXTERIOR SIDING MATERIAL, COMPOSITE WOOD:
 - LAP WITH 6" REVEAL
 - 1X2 BOARD & BATTEN (BATTEN AT 16" OC)
- TRIM, SIZE AS NOTED (HEIGHT X DEPTH) OR SEE DETAIL:
 - STUCCO OVER FOAM, LIGHT SAND FINISH.
 - COMPOSITE WOOD (NOMINAL SIZE)
- FAUX WOOD SHUTTER, ATTACHMENT PER MFG RECOMMENDATION (STYLE PER DESIGN DETAIL).
- DECORATIVE SHAPED STUCCO CORBEL, PER DESIGN DETAIL.
- WOOD KNEE BRACE ATTACHMENT PER DETAIL 17/AD1
- DECORATIVE WOOD BEAM, SIZE AS NOTED, SEE DETAIL 18/AD1 FOR ATTACHMENT AT GABLE.
- EXTERIOR COACH LIGHT: MOUNT AT +84" AFF (LINO)
- ADDRESS NUMBER: MOUNT AT +66" AFF (LINO)
- UTILITY CONNECTIONS (TYPICAL), PER MUNICIPAL CODES REQUIRED AT ENHANCED ELEVATION ONLY



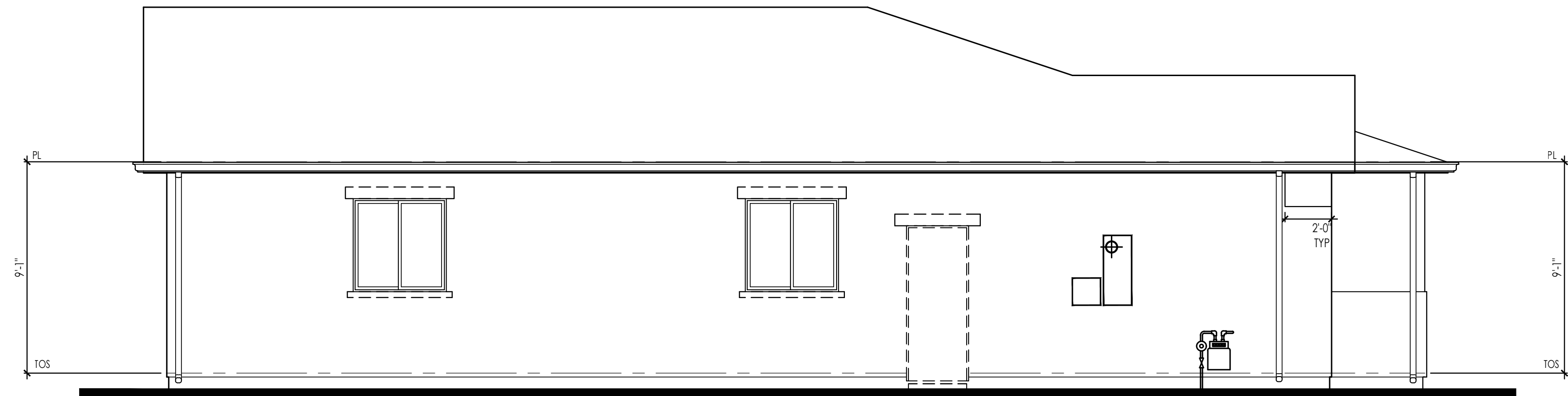
**'EARLY CALIFORNIA' (COMPOSITION SHINGLE)
 REAR ELEVATION "A"**

1/4" = 1'-0"

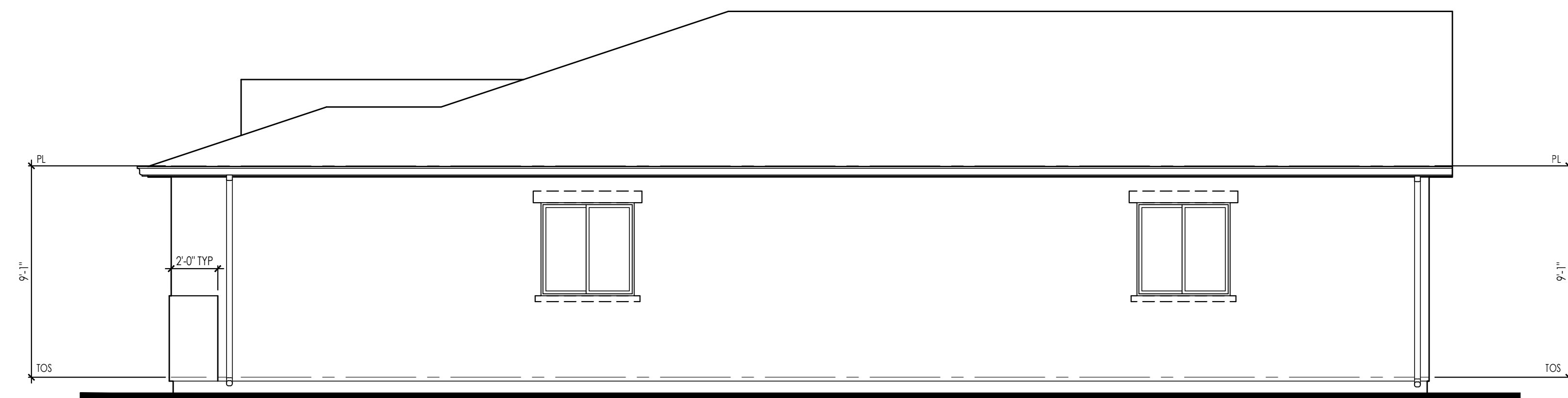


**'EARLY CALIFORNIA' (COMPOSITION SHINGLE)
 FRONT ELEVATION "A"**

1/4" = 1'-0"

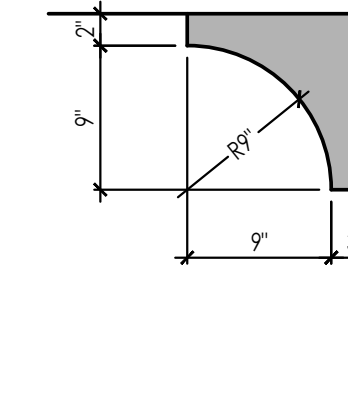
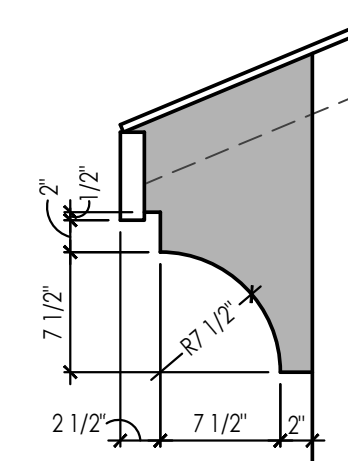
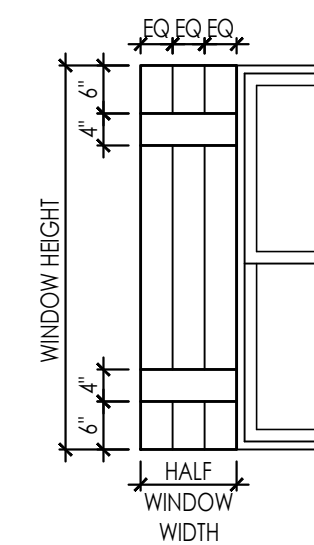
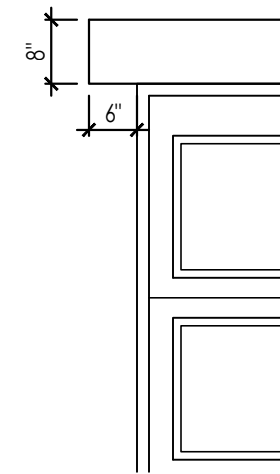
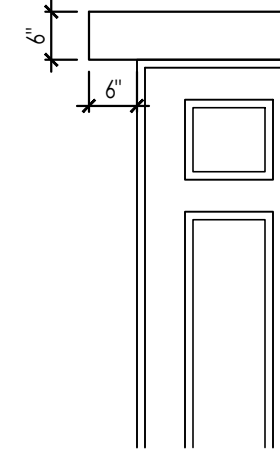
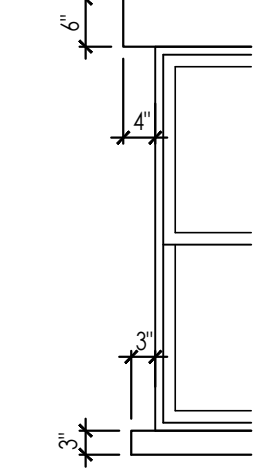


'EARLY CALIFORNIA' (COMPOSITION SHINGLE)
LEFT ELEVATION "A"
 1/4" = 1'-0"



'EARLY CALIFORNIA' (COMPOSITION SHINGLE)
RIGHT ELEVATION "A"
 1/4" = 1'-0"

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Sheet Notes:

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 - 2ND FLOOR = 7'-5" AFF (JUNO)
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- EXTERIOR SIDING MATERIAL, COMPOSITE WOOD:
 - A. LAP WITH 6" REVEAL
 - B. 1X2 BOARD & BATTEN (BATTEN AT 16" OC)
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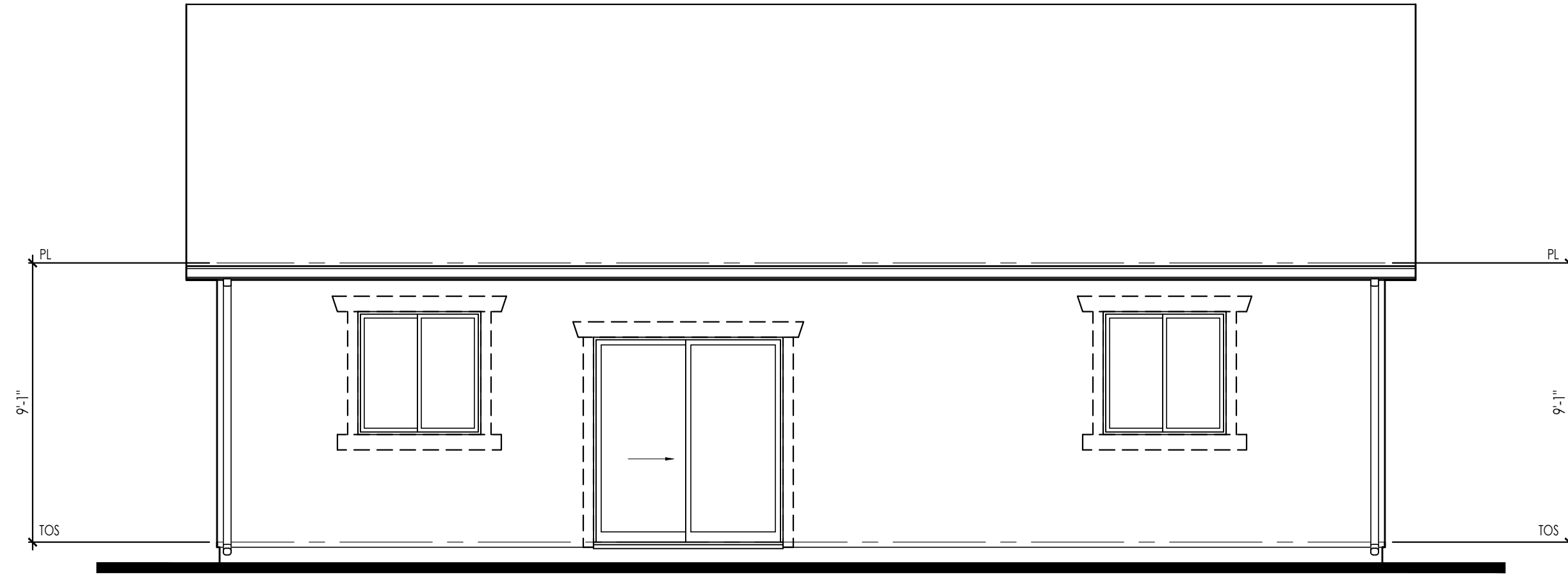
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JD+A Project Number: 21033

Sheet Revisions		
#	DATE	COMMENT
XX.XXX		INITIAL PLAN CHECK SUBMITTAL

PLAN 1523
 Sheet Description:
 EXTERIOR ELEVATIONS
 "A" (RIGHT/LEFT)

Sheet Number:
A5.2

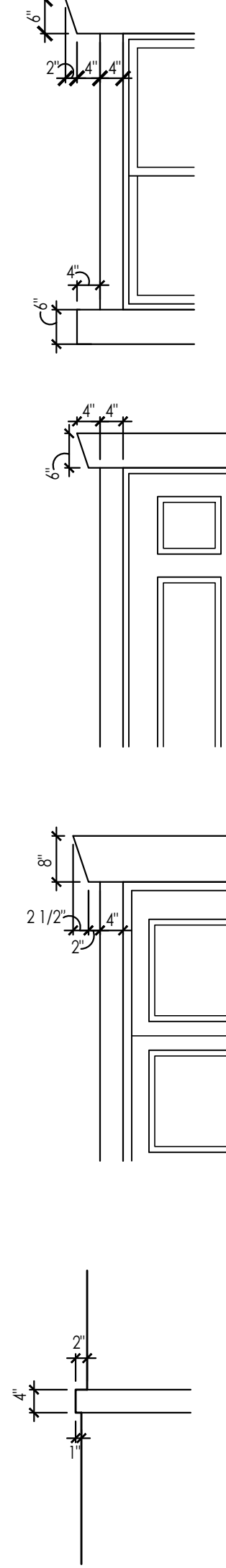


'BUNGALOW' (COMPOSITION SHINGLE)
REAR ELEVATION "B"
 1/4" = 1'-0"



'BUNGALOW' (COMPOSITION SHINGLE)
FRONT ELEVATION "B"
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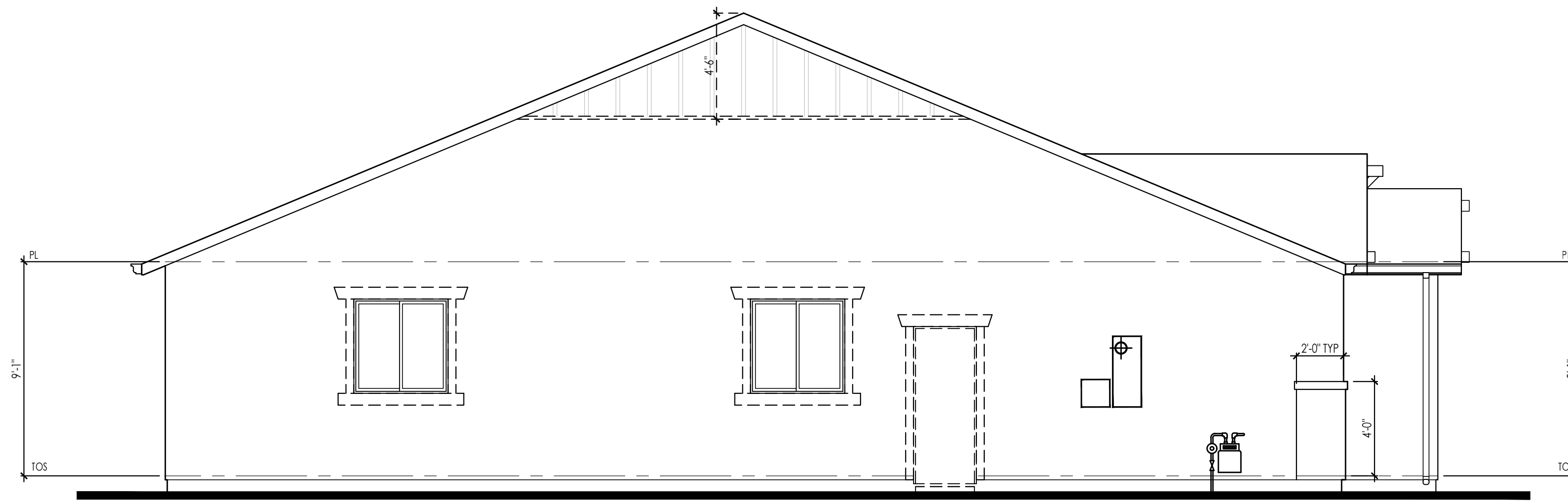
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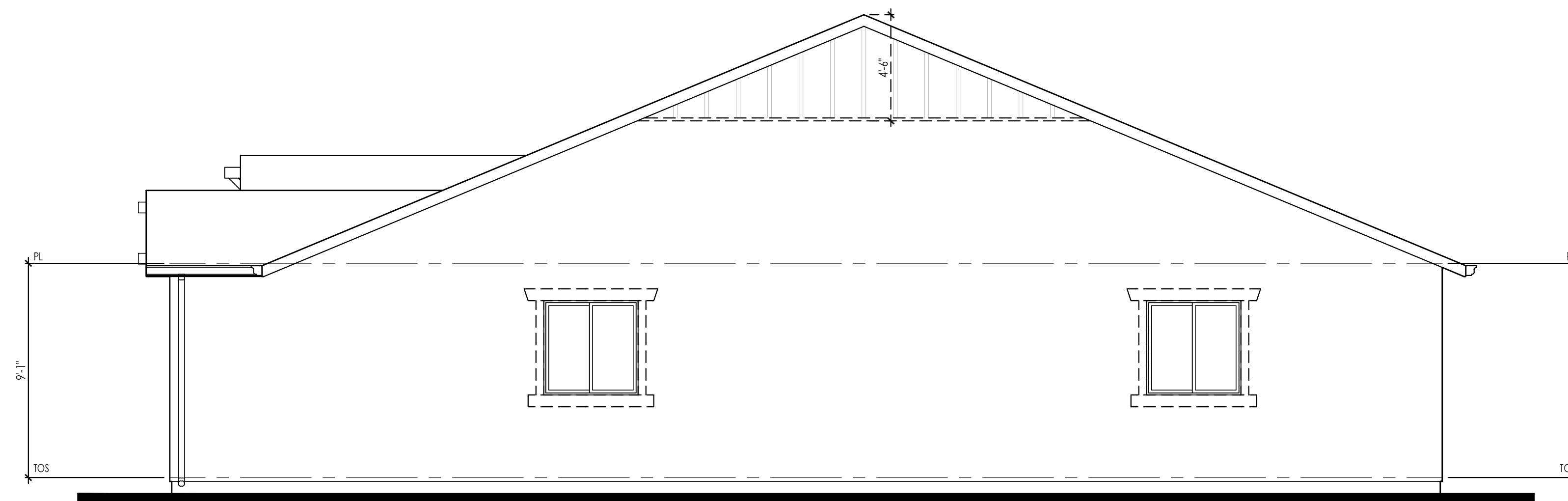
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1	XX.XXX	INITIAL PLAN CHECK SUBMITTAL

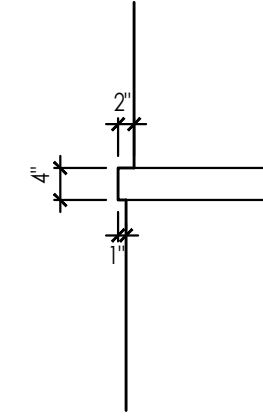
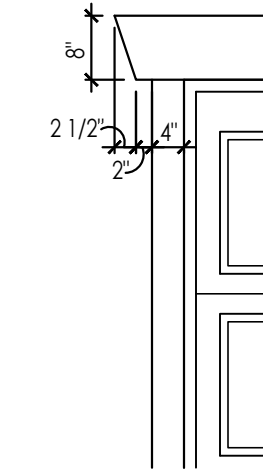
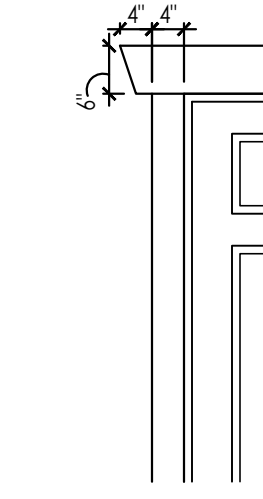
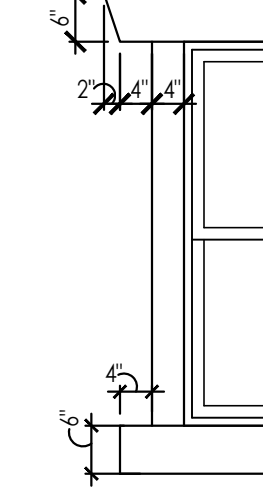


'BUNGALOW' (COMPOSITION SHINGLE)
LEFT ELEVATION "B"
 1/4" = 1'-0"



'BUNGALOW' (COMPOSITION SHINGLE)
RIGHT ELEVATION "B"
 1/4" = 1'-0"

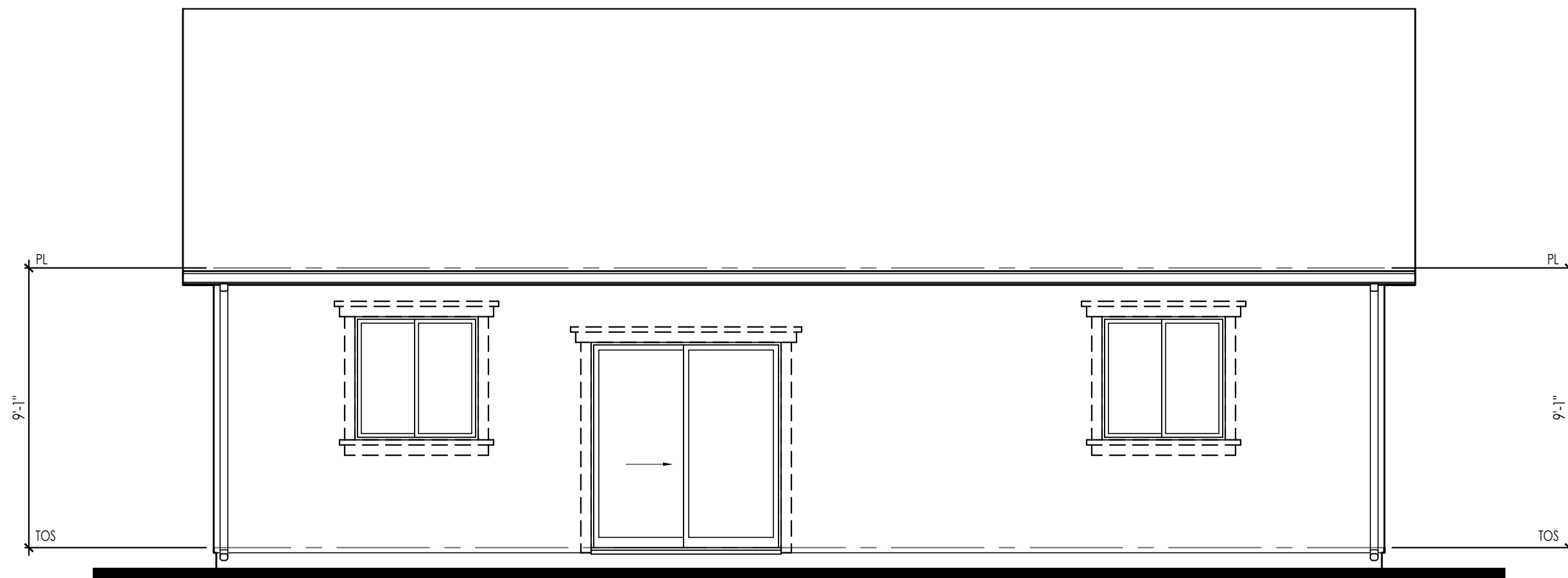
Elevation Design Details:
 THE FOLLOWING DETAILS CONVEY DESIGN INTENT. REFER TO ARCHITECTURAL DETAILS FOR SPECIFIC CONSTRUCTION ASSEMBLIES.



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 - 1ST FLOOR = 7'-6" AFF (JUNO)
 - 2ND FLOOR = 7'-6" AFF (JUNO)
 - DOOR HEIGHTS AS NOTED ON FLOOR PLANS
 - EXTERIOR WALLS (PER MFG INSTALLATION INSTRUCTIONS):
 - OMEGA DIAMOND WALL 1-COAT STUCCO SYSTEM: OVER MIN 1" FOAM INSULATION, OVER ONE LAYER OF 40-MINUTE GRADE D PAPER OR EQUAL, OVER STUDS OR WOOD-BASED SHEATHING. STUCCO CONTROL JOINT LOCATIONS SHALL BE COORDINATED WITH THE ARCHITECT PRIOR TO INSTALLATION. IF NOT SPECIFIED ON PLANS, (ESR 1194)
 - FIBER CEMENT SIDING: OVER ONE LAYER OF APPROVED WATER-RESISTIVE BARRIER, OVER STUDS OR SHEATHING.
 - ROOFING: REFER TO ROOF PLAN SHEET NOTES
 - WINDOWS: VINYL, SPEC PER BUILDER
 - GRID / DIVIDED LITES AS SHOWN
 - ENTRY DOORS: RAISED PANEL, SPEC PER BUILDER
 - OVER HEAD GARAGE DOORS:
 - STEEL SECTIONAL, SPEC PER BUILDER
 - RAISED PANEL AND GLASS INSERTS AS SHOWN.
 - FASCIA BOARD: 2X6, UNLESS NOTED OTHERWISE REFER TO ELEVATION KEYNOTES
 - BARGE RAFTER: 2X6, UNLESS NOTED OTHERWISE REFER TO ELEVATION KEYNOTES
 - ADDRESS NUMBERS: PLACE IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONTING PROPERTY (CRC R319.1)
 - NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND AND BE LEGIBLE.
 - NUMBERS SHALL BE A MINIMUM 4" HIGH WITH A MINIMUM STROKE WIDTH OF 1/2"
 - ROOF HEELS: LABELED AS
 - STANDARD HEEL: +0"
 - RAISED HEEL: INCREASED HEEL TO PLANE FASCIA. REFER TO TRUSS LAYOUTS
 - ATTACHMENT PENETRATIONS MADE THROUGH EXTERIOR FINISHES SHALL BE PRE-DRILLED AND FILLED WITH MASTIC AND, WHENEVER POSSIBLE: MADE OVER SELF-ADHERED FLASHING MEMBRANE LAPPED INTO WEATHER RESISTIVE BARRIER AND INTO SOLID BACKING.

- Elevation Keynotes:**
- MINIMUM CLASS 'A' ROOFING. REFER TO ROOF PLAN SHEET NOTES
 - 2X6 FASCIA / BARGE RAFTER:
 - GUTTER, STYLE SPEC PER BUILDER
 - DOWNSPOUT, STYLE SPEC PER BUILDER
 - CORROSION RESISTANT ROOF TO WALL FLASHING REFER TO ROOF DETAILS
 - EXTERIOR STUCCO, TYPICAL +0" (JUNO), STANDARD FINISH
 - EXTERIOR SIDING MATERIAL, COMPOSITE WOOD:
 - LAP WITH 6" REVEAL
 - 1X2 BOARD & BATTEN (BATTEN AT 16" OC)
 - TRIM, SIZE AS NOTED (HEIGHT X DEPTH) OR SEE DETAIL:
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 - FAUX WOOD SHUTTER, ATTACHMENT PER MFG RECOMMENDATION (STYLE PER DESIGN DETAIL).
 - DECORATIVE SHAPED STUCCO CORBEL, PER DESIGN DETAIL.
 - WOOD KNEE BRACE ATTACHMENT PER DETAIL 17/AD1
 - DECORATIVE WOOD BEAM, SIZE AS NOTED, SEE DETAIL 18/AD1 FOR ATTACHMENT AT GABLE.
 - EXTERIOR COACH LIGHT: MOUNT AT +84" AFF (JUNO)
 - ADDRESS NUMBER: MOUNT AT +66" AFF (JUNO)
 - UTILITY CONNECTIONS (TYPICAL), PER MUNICIPAL CODES REQUIRED AT ENHANCED ELEVATION ONLY

Sheet Revisions		
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'COTTAGE' (COMPOSITION SHINGLE)
REAR ELEVATION "C"

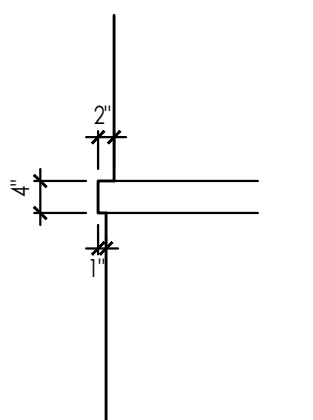
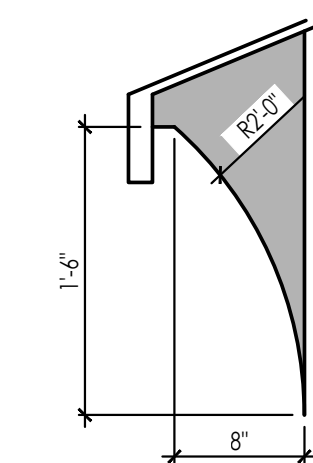
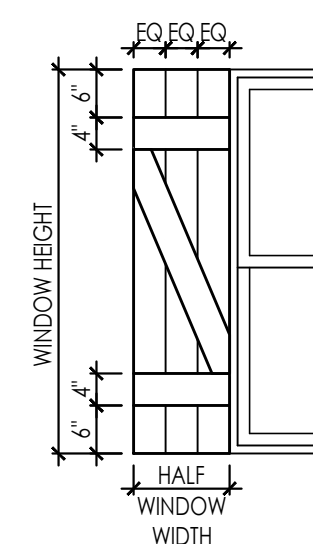
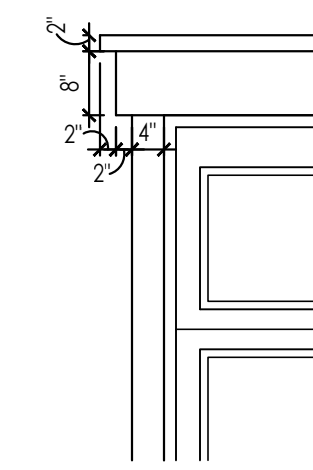
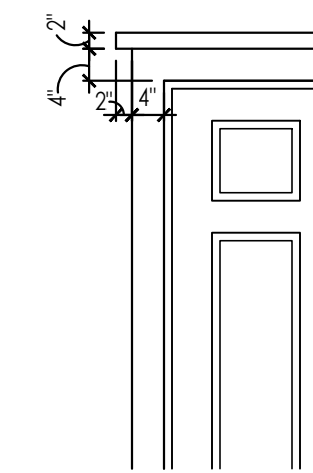
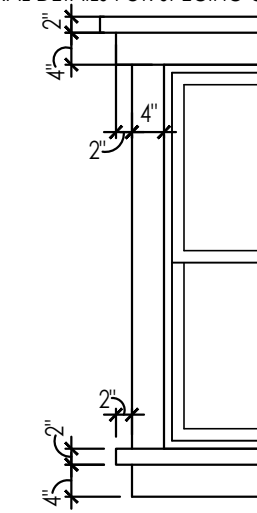
1/4" = 1'-0"



'COTTAGE' (COMPOSITION SHINGLE)
FRONT ELEVATION "C"

1/4" = 1'-0"

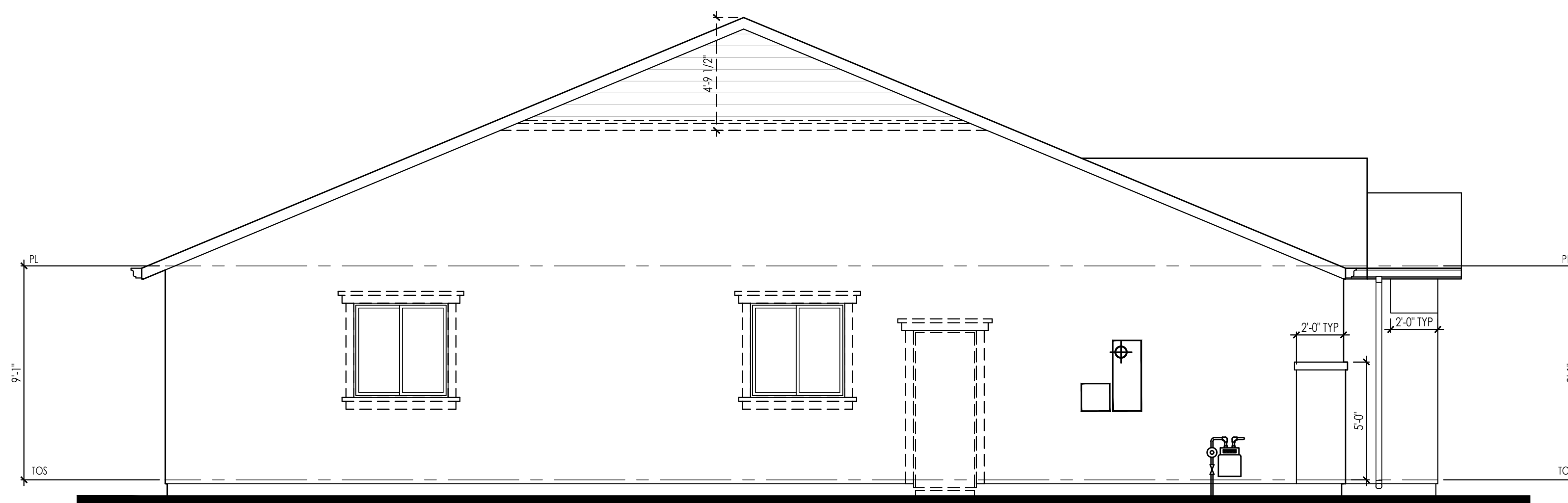
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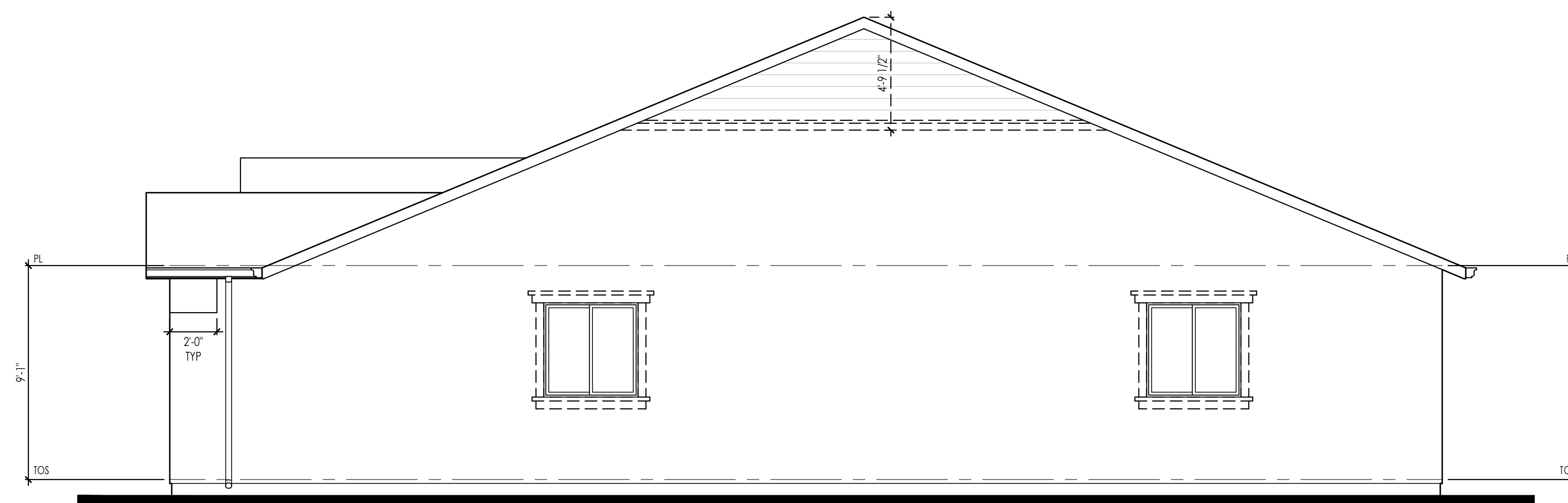
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'COTTAGE' (COMPOSITION SHINGLE)
LEFT ELEVATION "C"

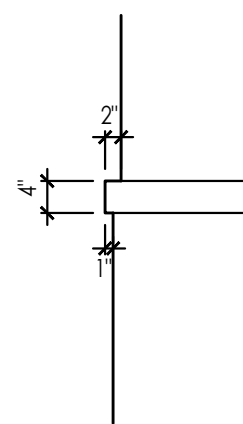
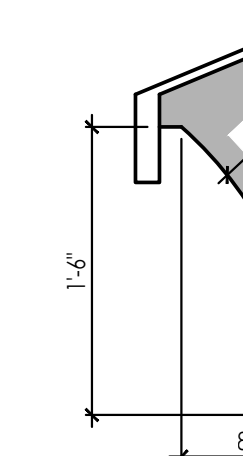
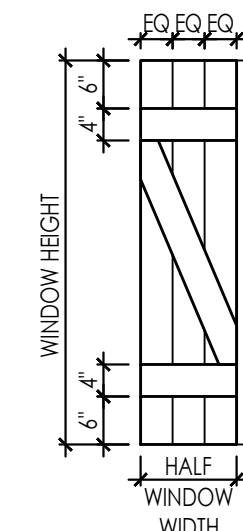
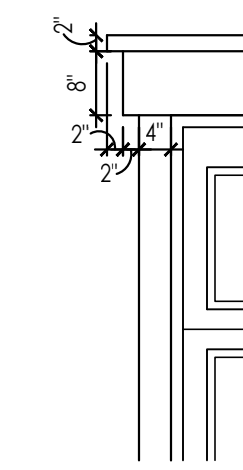
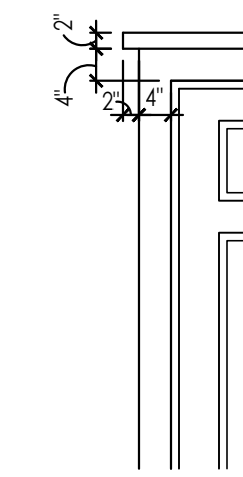
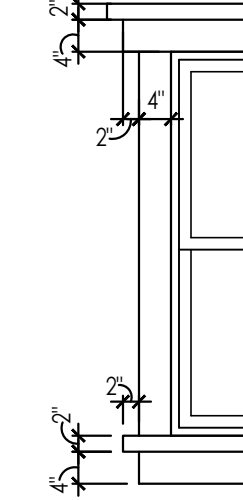
1/4" = 1'-0"



'COTTAGE' (COMPOSITION SHINGLE)
RIGHT ELEVATION "C"

1/4" = 1'-0"

Elevation Design Details:
THE FOLLOWING DETAILS CONVEY DESIGN INTENT. REFER TO ARCHITECTURAL DETAILS FOR SPECIFIC CONSTRUCTION ASSEMBLIES.



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Elevation Keynotes:

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2X6 FASCIA / BARGE RAFTER:

GUTTER, STYLE SPEC PER BUILDER

DOWNSPOUT, STYLE SPEC PER BUILDER

CORROSION RESISTANT ROOF TO WALL FLASHING REFER TO ROOF DETAILS

EXTERIOR STUCCO, TYPICAL +0" (JUNO), STANDARD FINISH

EXTERIOR SIDING MATERIAL, COMPOSITE WOOD:

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- 1X2 BOARD & BATTEN (BATTEN AT 16" OC)

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- COMPOSITE WOOD (NOMINAL SIZE)

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DECORATIVE SHAPED STUCCO CORBEL, PER DESIGN DETAIL.

WOOD KNEE BRACE ATTACHMENT PER DETAIL 17/AD1

DECORATIVE WOOD BEAM, SIZE AS NOTED, SEE DETAIL 18/AD1 FOR ATTACHMENT AT GABLE.

EXTERIOR COACH LIGHT; MOUNT AT +84" AFF (JUNO)

ADDRESS NUMBER: MOUNT AT +66" AFF (JUNO)

UTILITY CONNECTIONS (TYPICAL), PER MUNICIPAL CODES REQUIRED AT ENHANCED ELEVATION ONLY

Sheet Revisions		
#	DATE	COMMENT
XX.XXX		INITIAL PLAN CHECK SUBMITTAL

Attachment 7: Plan 1717, Floor Plan and Elevations

Sheet Revisions		
#	DATE	COMMENT

Sheet Notes:

- FIRE BLOCKING SHALL BE PROVIDED IN ALL CONCEALED SPACES. (CRC SECTION R302.1)
- ALL DIAGONAL WALLS TO BE 45 DEGREES (UNO)
- WINDOW "HEAD" HEIGHTS:
 - 1ST FLOOR = 7'-6" AFF (UNO)
 - 2ND FLOOR = 7'-6" AFF (UNO)
 - DOOR HEIGHTS AS NOTED ON FLOOR PLANS
- ALL DOORS TO BE CENTERED WITHIN ADJACENT WALLS, OR DOOR JAMB TO BE FRAMED AT 3" UNLESS OTHERWISE DIMENSIONED
- PROVIDE BACKING FOR ALL HARDWARE FIXTURES (TOWEL BARS, ETC.) TOWEL BARS SHALL BE INSTALLED NO HIGHER THAN 48" AFF.
- REFER TO BASE FLOOR PLAN FOR INFORMATION NOT SHOWN ON PARTIAL FLOOR PLANS. HATCHED WALLS ON PARTIAL FLOOR PLANS INDICATE FRAMING CHANGES FROM BASE FLOOR PLAN
- ALL JOINTS, PENETRATIONS AND OTHER OPENINGS IN THE BUILDING ENVELOPE THAT ARE POTENTIAL SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKET, WEATHER-STRIPPED OR OTHERWISE SEALED TO LIMIT INFILTRATION AND EXFILTRATION. (CNC SECTION 110.7)

Floor Plan Keynotes:

DWELLING/GARAGE FIRE SEPARATION: ALL SURFACES SHALL BE PROTECTED WITH MINIMUM ONE (1) LAYER 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. ALL HORIZONTAL SURFACES WITH HABITABLE SPACE ABOVE SHALL BE PROTECTED WITH MINIMUM ONE (1) LAYER 5/8" TYPE 'X' GYPSUM BOARD APPLIED TO THE GARAGE SIDE. (CRC SECTION R302.6 & TABLE R302.6)

OPENING PROTECTION: WHERE THE RESIDENCE AND PRIVATE GARAGE ARE PROTECTED BY AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM, DOOR OPENINGS BETWEEN THE HOUSE AND THE GARAGE NEED ONLY BE SELF-CLOSING AND SELF-LATCHING. (CRC SECTION R302.5.1 EXCEPTION)

EMERGENCY ESCAPE AND RESCUE OPENINGS: EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE (1) OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. EMERGENCY OPENING SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44" MEASURED FROM THE FLOOR AND A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24" AND THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20". (CRC SECTION R310.2) WINDOWS USED FOR EMERGENCY ESCAPE AND RESCUE OPENING SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44 INCHES MEASURED FROM THE FLOOR.

TANKLESS WATER HEATER: SPEC PER ENERGY CALCULATIONS.

ATTIC ACCESS: PROVIDE A MINIMUM 22"X30" OPENING OR LARGE ENOUGH TO REMOVE THE LARGEST PIECE OF EQUIPMENT. (CRC SECTION R807.1 & CMC SECTION 304.4) LOCATION APPROXIMATE. VERIFY/COORDINATE WITH TRUSS LAYOUT. ACCESS PANEL TO BE WEATHER-STRIPPED AND HAVE PERMANENTLY ATTACHED INSULATION USING ADHESIVE OR MECHANICAL FASTENERS EQUIVALENT TO THE SURROUNDING AREA REQUIREMENTS. (SECTION 150 OF CALIFORNIA ENERGY CODE)

A/C CONDENSER: PROVIDE MINIMUM 30"X30" CONCRETE PAD, MINIMUM 3" ABOVE GRADE. LOCATE PER PLOT PLAN.

TEMPERED SAFETY GLASS: PROVIDE TEMPERED GLASS AT HAZARDOUS LOCATIONS PER REQUIREMENTS. (CRC SECTION R308.4)

- GLAZING IN WALLS WITHIN 60 INCHES OF A WET SURFACE SHALL BE CONSIDERED A HAZARDOUS LOCATION. EXCEPTION: MORE THAN 60 INCHES AND IN A STRAIGHT LINE FROM THE WATER'S EDGE.
- GLAZING WHERE THE BOTTOM EDGE IS LESS THAN 36" ABOVE AN ADJACENT WALKING SURFACE OF STAIRS, LANDINGS, AND RAMP'S SHALL BE CONSIDERED A HAZARDOUS LOCATION. EXCEPTION: GLAZING ADJACENT TO A WALKING SURFACE AND A HORIZONTAL RAIL INSTALLED 34 TO 38 INCHES ABOVE THE WALKING SURFACE.
- GLAZING ADJACENT TO THE BOTTOM OF A STAIR LANDING IS LESS THAN 36 INCHES AND IS WITHIN 60 INCHES FROM THE BOTTOM TREAD NOSE SHALL BE CONSIDERED A HAZARDOUS LOCATION. EXCEPTION: WHERE GLAZING IS PROTECTED BY A GUARD COMPLYING WITH SECTION R312 AND THE GLASS IS MORE THAN 18 INCHES ABOVE THE GUARD.

DRYER: VENT DUCT SHALL BE OF A RIGID METALLIC MATERIAL AND SHALL HAVE SMOOTH INTERIOR SURFACES. EXTENDING TO EXTERIOR WITH BACKDRAFT DAMPER. TRANSITION DUCTS MUST BE IN ACCORDANCE WITH UL 2158A (CMC SECTION 504.4) SEE DETAIL 7/A/D3

WASHING MACHINE: PROVIDE PRE-FABRICATED CORROSION RESISTANT PAN UNDER WASHING MACHINE LOCATED ON UPPER FLOOR. DRAIN TO EXTERIOR.

UPPER CABINETS: WALL MOUNTED ABOVE. 12" DEEP TYPICAL. 24" DEEP ABOVE REFRIGERATOR.

SHOWERS & TUB/SHOWER COMBINATIONS: FLOORS AND WALLS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR. (CRC SECTION R307.2)

MATERIALS USED AS BACKERS FOR WALL TILE IN TUB AND SHOWER AREAS SHALL BE OF MATERIALS LISTED IN TABLE R702.4.2 AND SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECS. (CRC SECTION R702.4.2) LOCATE SHOWER HEAD AT +84" AFF. GLAZING IN ALL FIXED AND OPERABLE PANELS OF A SWINGING, SLIDING, OR BI-FOLD DOOR SHALL BE CONSIDERED A HAZARDOUS LOCATION AND SHALL COMPLY WITH CRC SECTIONS R308.3 & R308.4.

COOKING APPLIANCES: 36" RANGE. MICRO/HOOD. LIGHT. EXHAUST FAN ABOVE. FAN: MIN 100 CFM FOR LOCAL EXHAUST VENTILATION. (BUILDING ENERGY EFFICIENCY STANDARDS)

PANTRY / LINEN: (5) SHELVES. EQUAL SPACING.

INTERIOR FLAT SOFFIT: FIRST FLOOR FRAME AT 8'-1" AFF (UNO). SECOND FLOOR FRAME AT 7'-1" AFF (UNO).

EXTERIOR SOFFIT OR ARCH: SEE EXTERIOR ELEVATIONS FOR DIMENSIONS.

DASHED LINE INDICATES OUTLINE OF FLOOR ABOVE.
 SOLID LINE INDICATES OUTLINE OF FLOOR BELOW.

LOW WALL: PROVIDE WITH DOUBLE TOP PLATE. HEIGHT AT +42" AFF. (UNO)

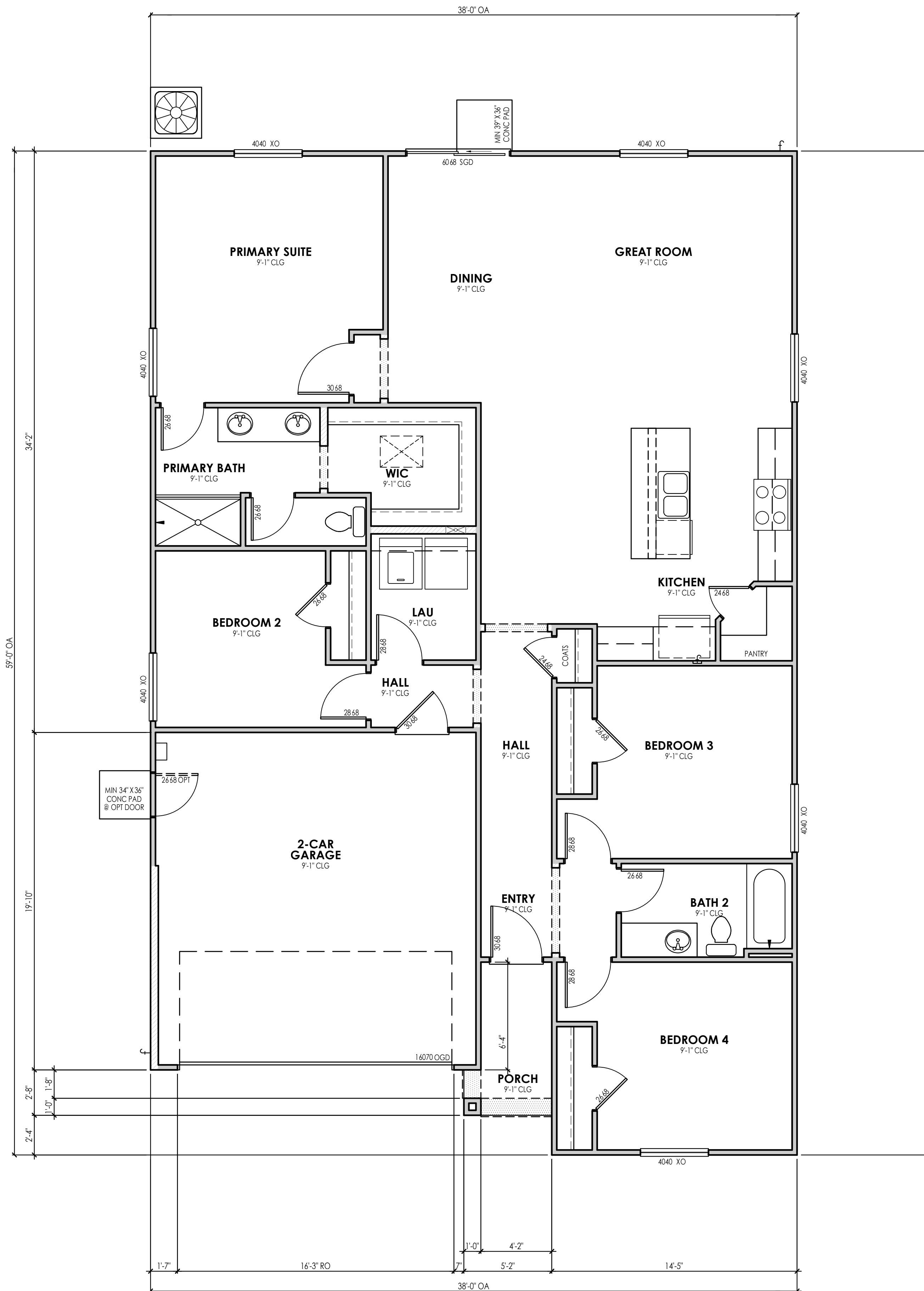
UNDER-STAIR PROTECTION: ENCLOSED SPACE UNDER STAIRS THAT IS ACCESSED BY A DOOR OR ACCESS PANEL SHALL HAVE WALLS. UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" INCH GYPSUM BOARD (CRC SECTION R302.7)

STAIRWAYS: SHALL NOT BE LESS THAN 36" IN CLEAR WIDTH (AND NOT HAVE A VERTICAL RISE OF MORE THAN 151"). MINIMUM HEADROOM SHALL NOT BE LESS THAN 6'-8". MAXIMUM RISER HEIGHT SHALL BE 7-3/4". AND MINIMUM TREAD DEPTH SHALL BE 10". (CRC SECTION R311.7)

HANDRAILS (AND GUARDS WHERE THE TOP OF THE GUARD ALSO SERVES AS A HANDRAIL) SHALL BE PROVIDED ON NOT LESS THAN ONE SIDE OF EACH FLIGHT OF STAIRS WITH FOUR OR MORE RISERS. HEIGHT SHALL BE NOT LESS THAN 34" AND NOT MORE THAN 38". AND CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT. (CRC SECTION R311.7.8) SEE DETAIL 6/A/D3

GUARDS: SHALL BE NOT LESS THAN 42" IN HEIGHT VERTICALLY ABOVE THE WALKING SURFACE OR THE LINE CONNECTING THE NOSING. RAIL DESIGN TO COMPLY WITH CODE. (CRC SECTION R312) SEE DETAIL 5/A/D3

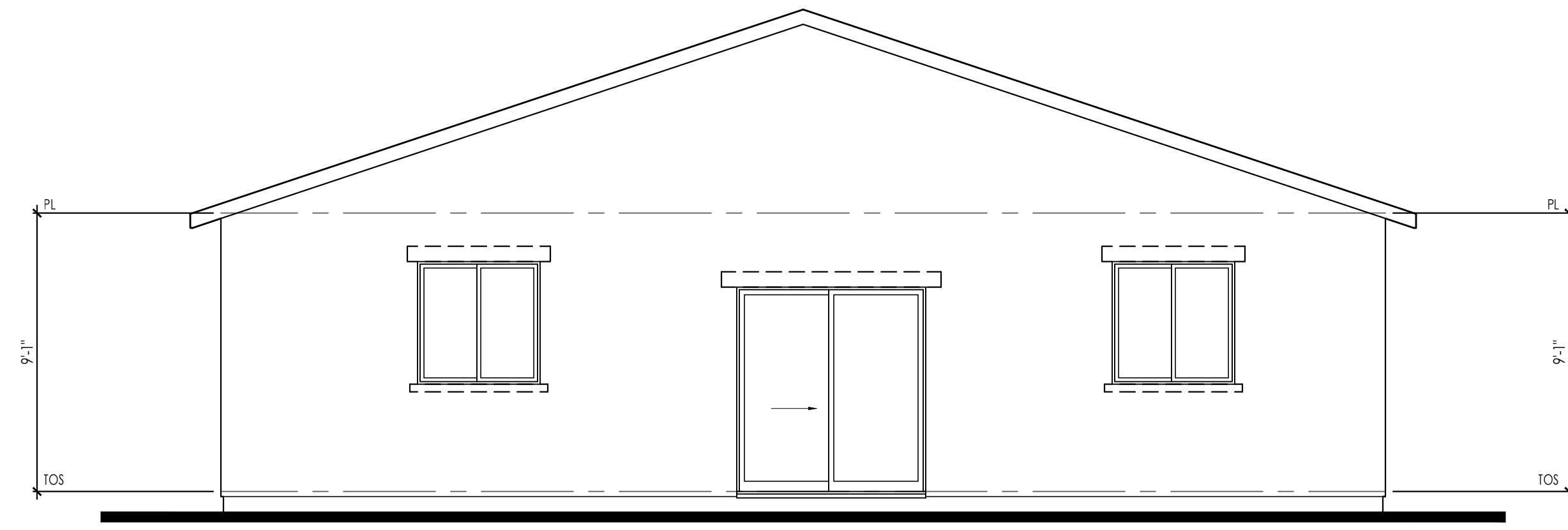
PROVIDE MINIMUM 30" WIDE CLEAR SPACE AT WATER CLOSET. THAT EXTENDS AT LEAST 24" IN FRONT OF THE WATER CLOSET.



**ALL ELEVATIONS
 FLOOR PLAN**

1/4" = 1'-0"

Floor Area	
LIVING AREA:	
FLOOR LIVING:	1716.5 SQ. FT.
TOTAL LIVING AREA:	1717 SQ. FT.
OTHER AREAS:	
GARAGE:	381 SQ. FT.
COVERED PORCH:	40 SQ. FT.

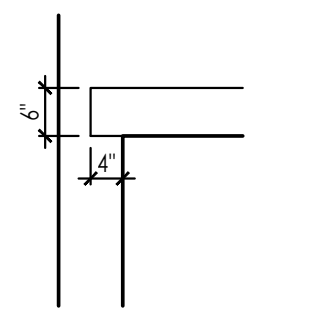
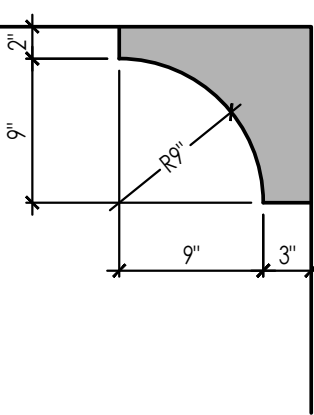
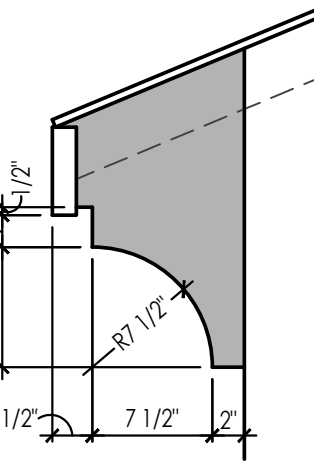
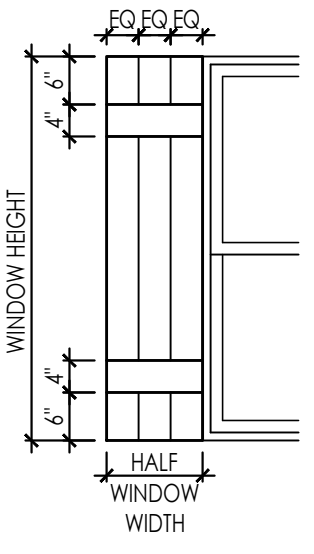
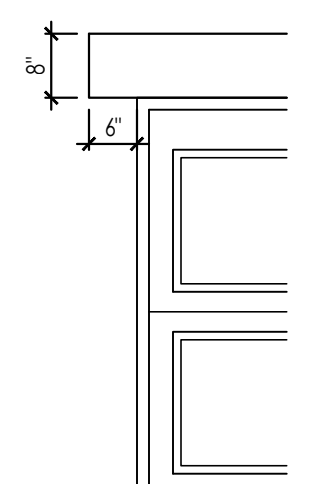
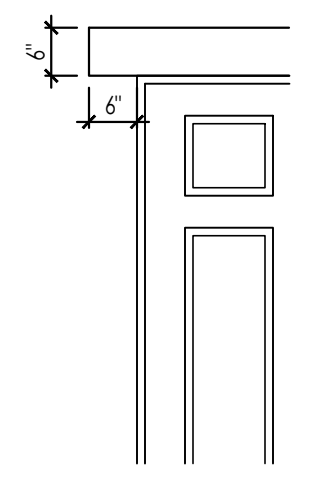
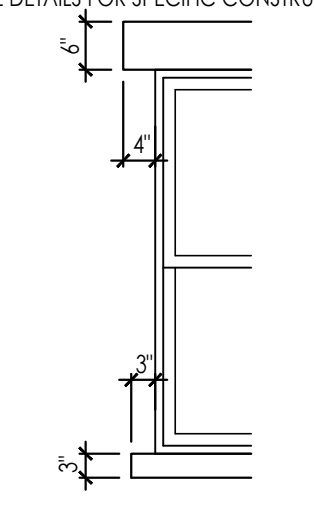


'EARLY CALIFORNIA' (COMPOSITION SHINGLE)
REAR ELEVATION "A"
 1/4" = 1'-0"



'EARLY CALIFORNIA' (COMPOSITION SHINGLE)
FRONT ELEVATION "A"
 1/4" = 1'-0"

Elevation Design Details:
 THE FOLLOWING DETAILS CONVEY DESIGN INTENT. REFER TO ARCHITECTURAL DETAILS FOR SPECIFIC CONSTRUCTION ASSEMBLIES.



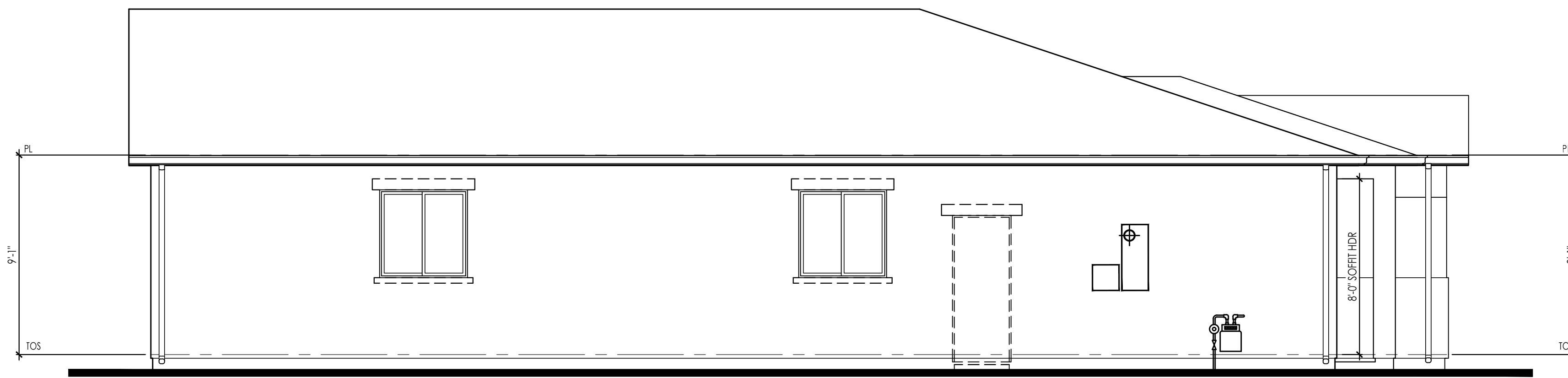
- Sheet Notes:**
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 - 2ND FLOOR = 7'-5" AFF (JUNO)
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 - FIBER CEMENT SIDING: OVER ONE LAYER OF APPROVED WATER-RESISTIVE BARRIER, OVER STUDS OR SHEATHING.
 - ROOFING: REFER TO ROOF PLAN SHEET NOTES
 - WINDOWS: VINYL, SPEC PER BUILDER
 - GRIDS / DIVIDED LITES AS SHOWN
 - ENTRY DOORS: RAISED PANEL, SPEC PER BUILDER
 - OVER HEAD GARAGE DOORS:
 - STEEL SECTIONAL, SPEC PER BUILDER
 - RAISED PANEL AND GLASS INSERTS AS SHOWN.
 - FASCIA BOARDS: 2X6, UNLESS NOTED OTHERWISE REFER TO ELEVATION KEYNOTES
 - BARGE RAFTER: 2X6, UNLESS NOTED OTHERWISE REFER TO ELEVATION KEYNOTES
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 - NUMBERS SHALL BE A MINIMUM 4" HIGH WITH A MINIMUM STROKE WIDTH OF 1/2"
 - ROOF HEELS: LABELED AS
 - STANDARD HEEL: +0"
 - RAISED HEEL: INCREASED HEEL TO PLANE FASCIA. REFER TO TRUSS LAYOUTS
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 - DOWNSPOUT, STYLE SPEC PER BUILDER
 - CORROSION RESISTANT ROOF TO WALL FLASHING REFER TO ROOF DETAILS
 - EXTERIOR STUCCO, TYPICAL +0" (JUNO), STANDARD FINISH
 - EXTERIOR SIDING MATERIAL, COMPOSITE WOOD:
 - LAP WITH 6" REVEAL
 - 1X2 BOARD & BATTEN (BATTEN AT 16" OC)
 - TRIM, SIZE AS NOTED (HEIGHT X DEPTH) OR SEE DETAIL:
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 - COMPOSITE WOOD (NOMINAL SIZE)
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 - DECORATIVE WOOD BEAM, SIZE AS NOTED, SEE DETAIL 18/AD1 FOR ATTACHMENT AT GABLE.
 - EXTERIOR COACH LIGHT: MOUNT AT +84" AFF (JUNO)
 - ADDRESS NUMBER: MOUNT AT +66" AFF (JUNO)
 - UTILITY CONNECTIONS (TYPICAL), PER MUNICIPAL CODES REQUIRED AT ENHANCED ELEVATION ONLY

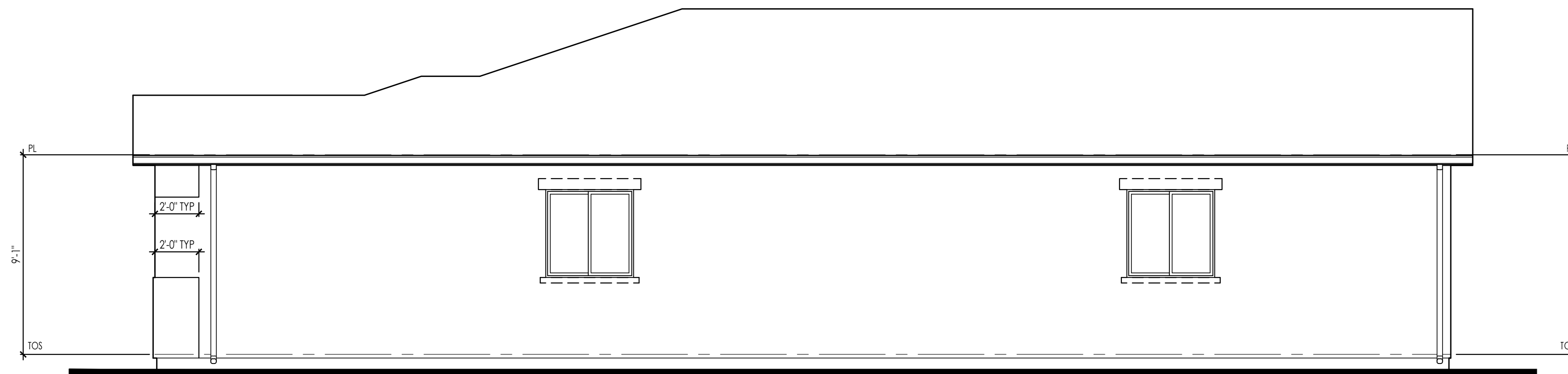
4/12/2021 PERMIT SET

Sheet Revisions		
#	DATE	COMMENT
1	XX.XX.XX	INITIAL PLAN CHECK SUBMITTAL

PLAN 1717
 Sheet Description:
EXTERIOR ELEVATIONS "A" (FRONT / REAR)
 Sheet Number:
A5.1

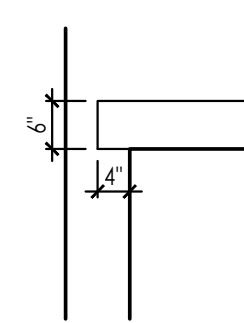
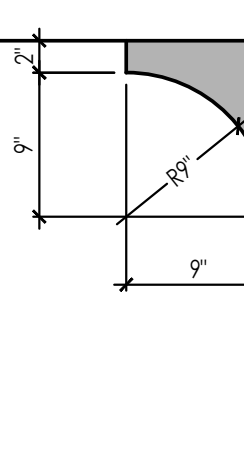
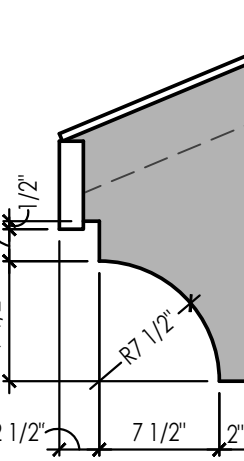
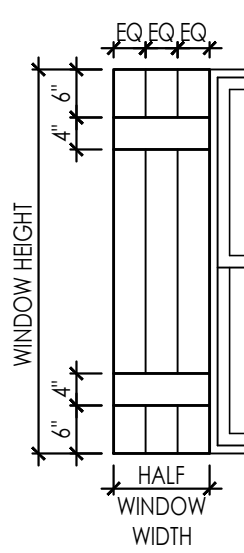
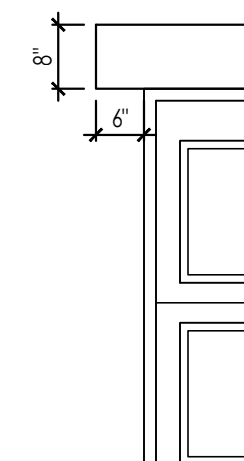
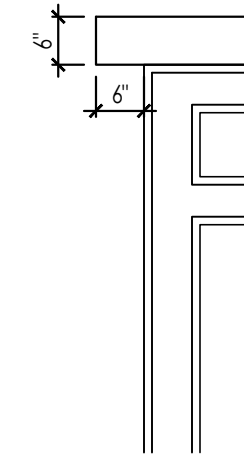
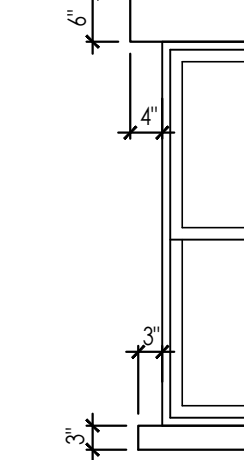


'EARLY CALIFORNIA' (COMPOSITION SHINGLE)
LEFT ELEVATION "A"
 1/4" = 1'-0"



'EARLY CALIFORNIA' (COMPOSITION SHINGLE)
RIGHT ELEVATION "A"
 1/4" = 1'-0"

Elevation Design Details:
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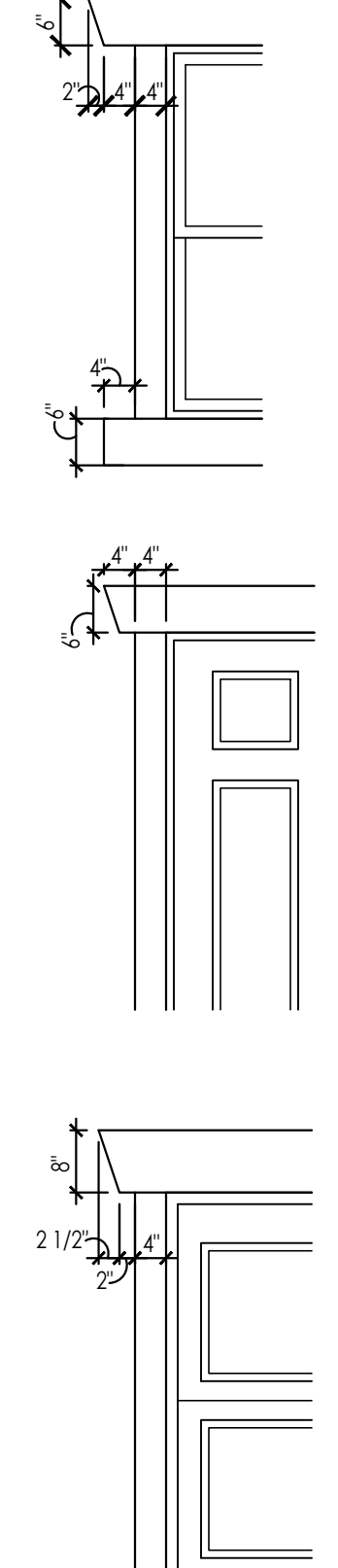


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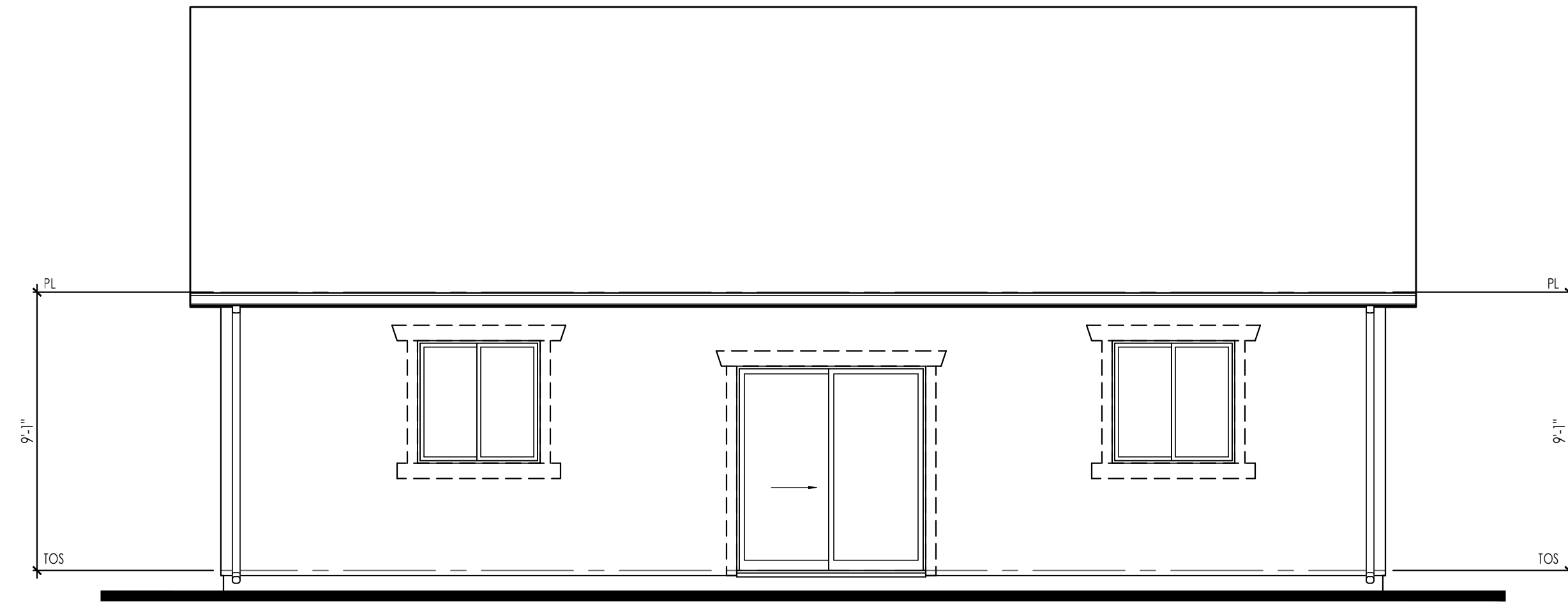
Sheet Revisions		
#	DATE	COMMENT
XX.XXX		INITIAL PLAN CHECK SUBMITTAL

Elevation Design Details: THE FOLLOWING DETAILS CONVEY DESIGN INTENT. REFER TO ARCHITECTURAL DETAILS FOR SPECIFIC CONSTRUCTION ASSEMBLIES.

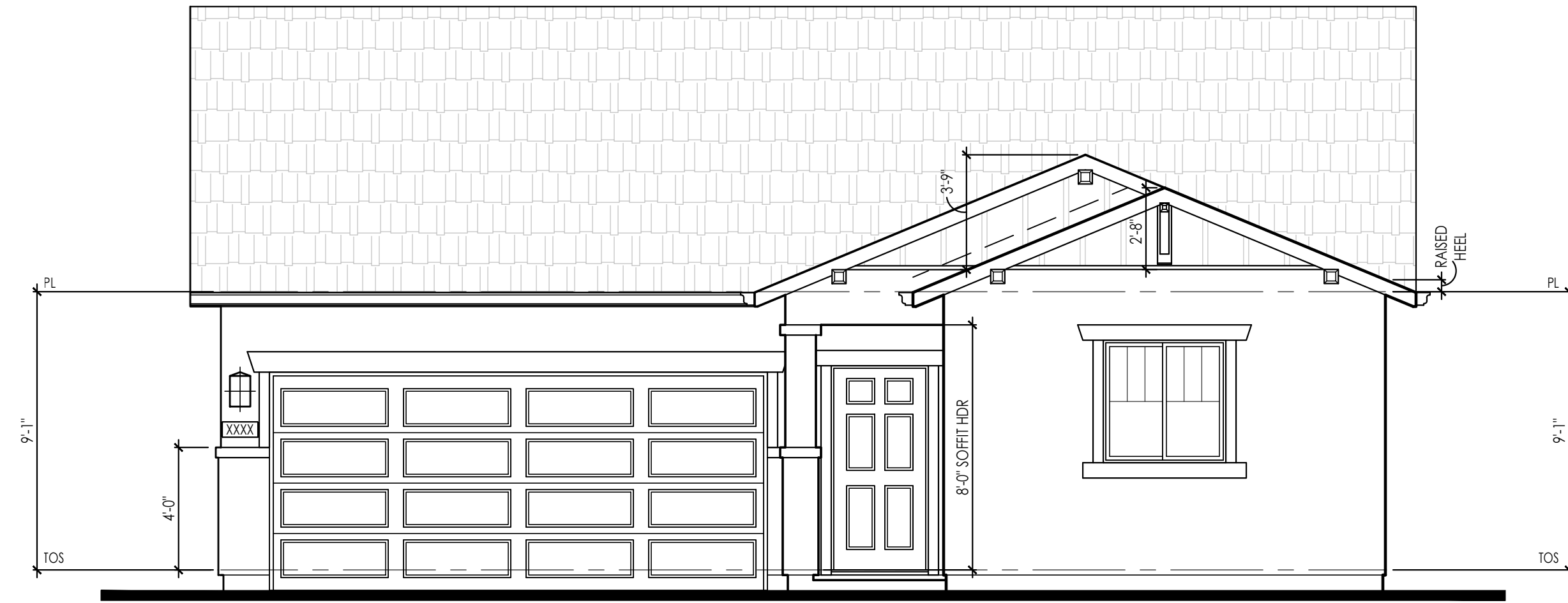


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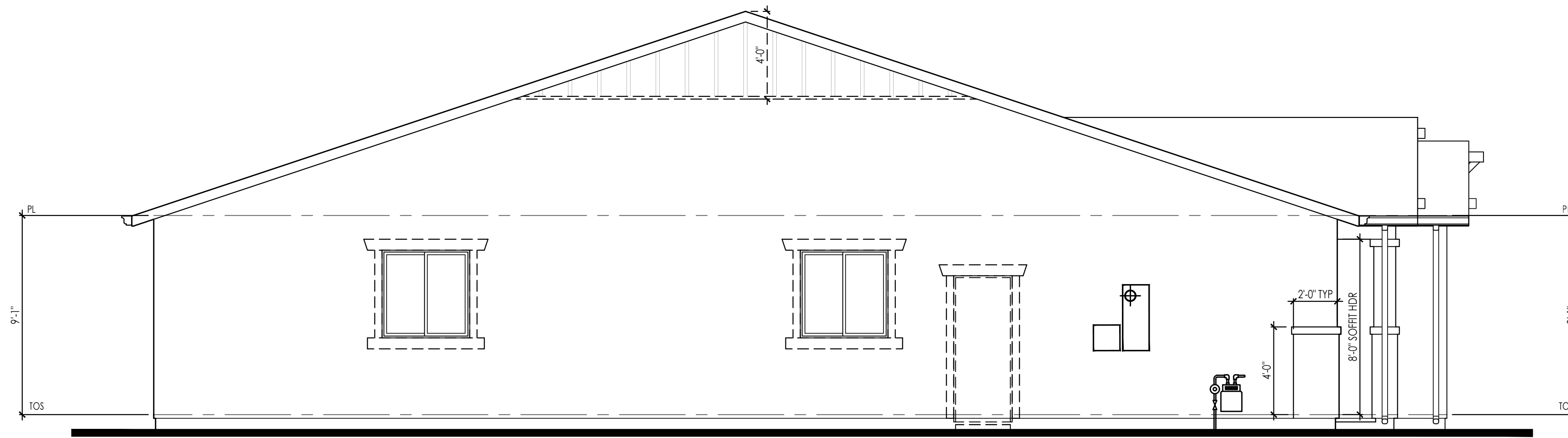


**'BUNGALOW' (COMPOSITION SHINGLE)
REAR ELEVATION "B"**
1/4" = 1'-0"

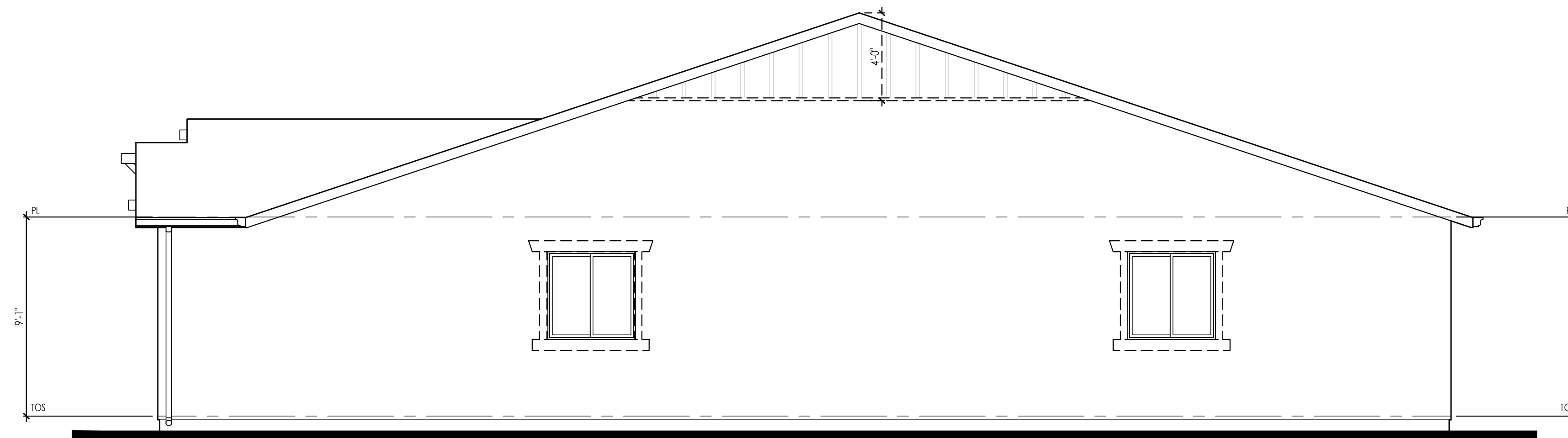


**'BUNGALOW' (COMPOSITION SHINGLE)
FRONT ELEVATION "B"**
1/4" = 1'-0"

Sheet Revisions		
#	DATE	COMMENT
XX	XXXX	INITIAL PLAN CHECK SUBMITTAL

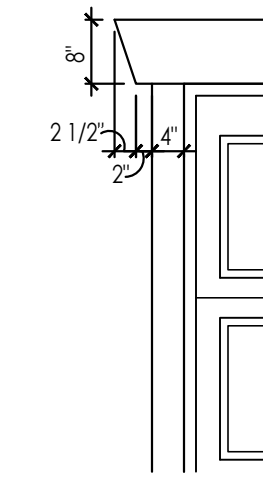
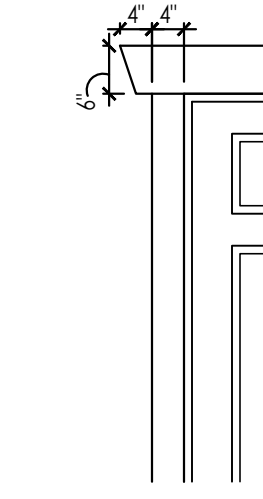
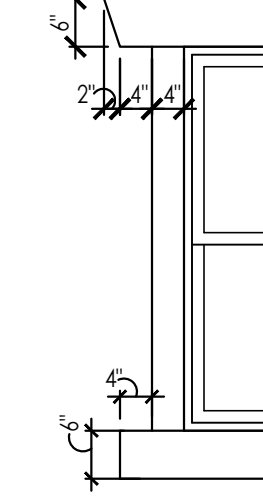


'BUNGALOW' (COMPOSITION SHINGLE)
LEFT ELEVATION "B"
1/4" = 1'-0"



'BUNGALOW' (COMPOSITION SHINGLE)
RIGHT ELEVATION "B"
1/4" = 1'-0"

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- GRIDS / DIVIDED LITES AS SHOWN
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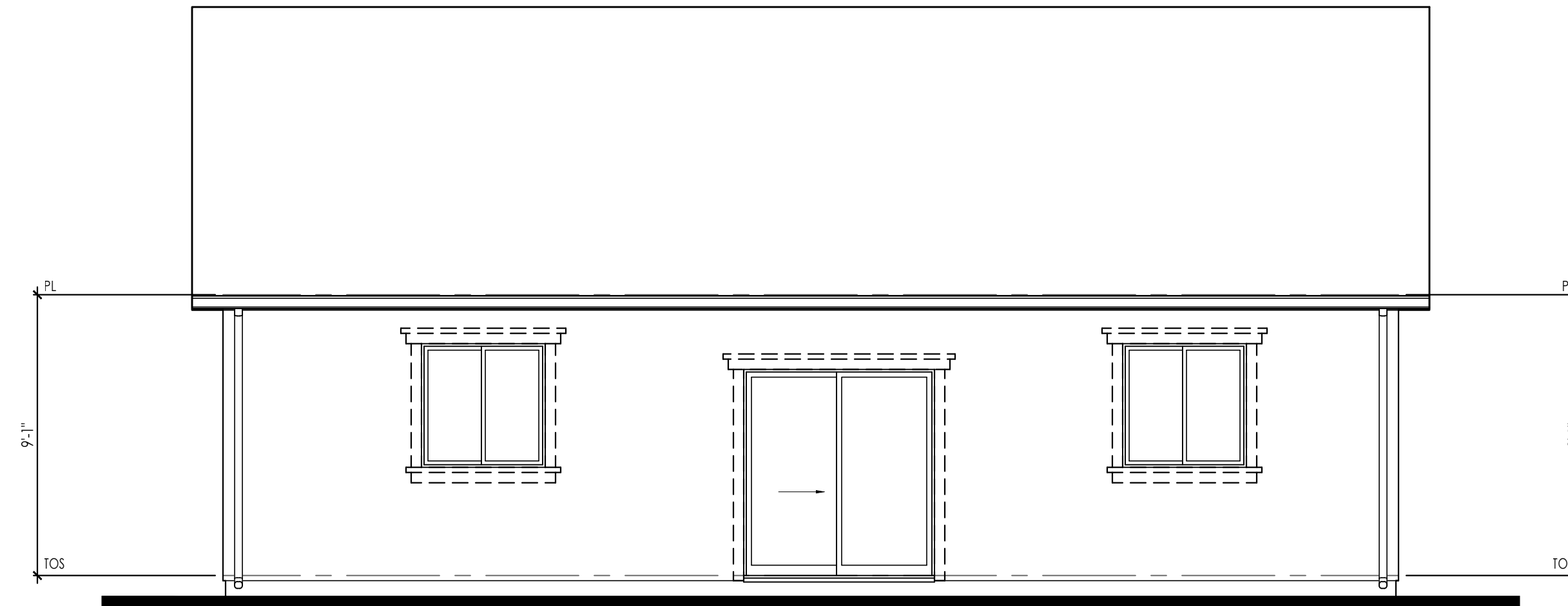
Elevation Keynotes:

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Sheet Revisions		
#	DATE	COMMENT
XX	XXXX	INITIAL PLAN CHECK SUBMITAL

PLAN 1717
Sheet Description:
EXTERIOR ELEVATIONS
"B" (RIGHT/LEFT)

Sheet Number:
A6.2



'COTTAGE' (COMPOSITION SHINGLE)
REAR ELEVATION "C"

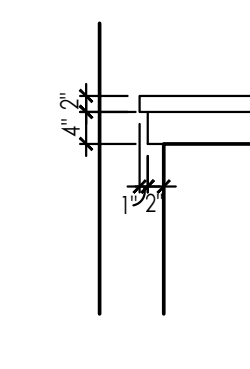
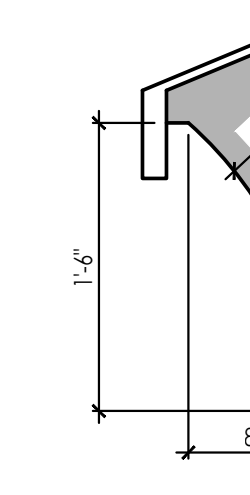
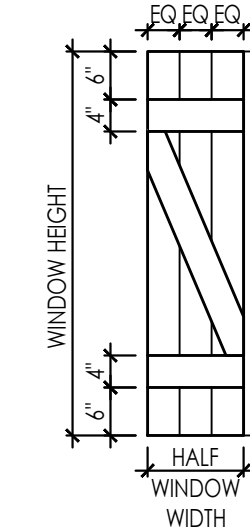
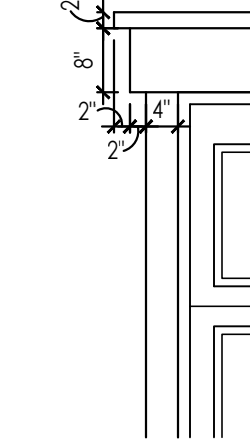
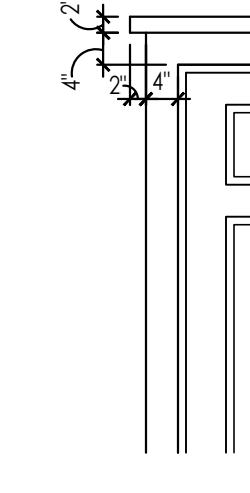
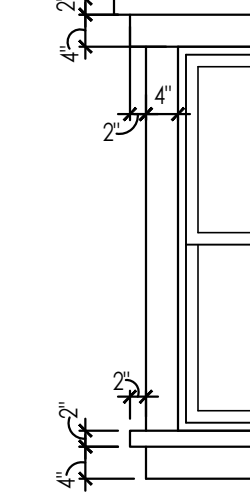
1/4" = 1'-0"



'COTTAGE' (COMPOSITION SHINGLE)
FRONT ELEVATION "C"

1/4" = 1'-0"

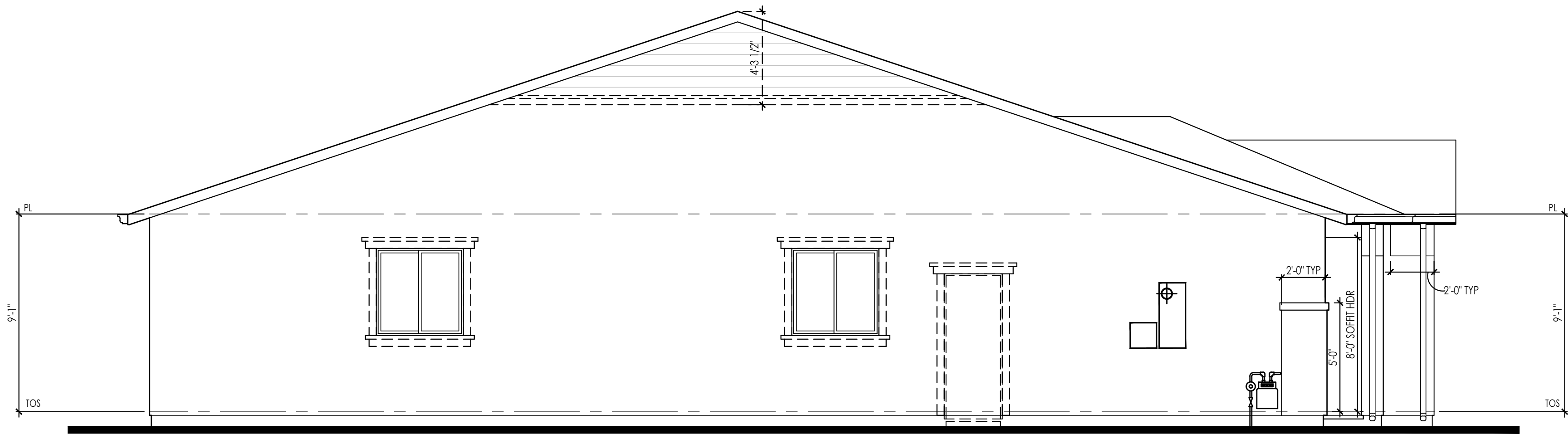
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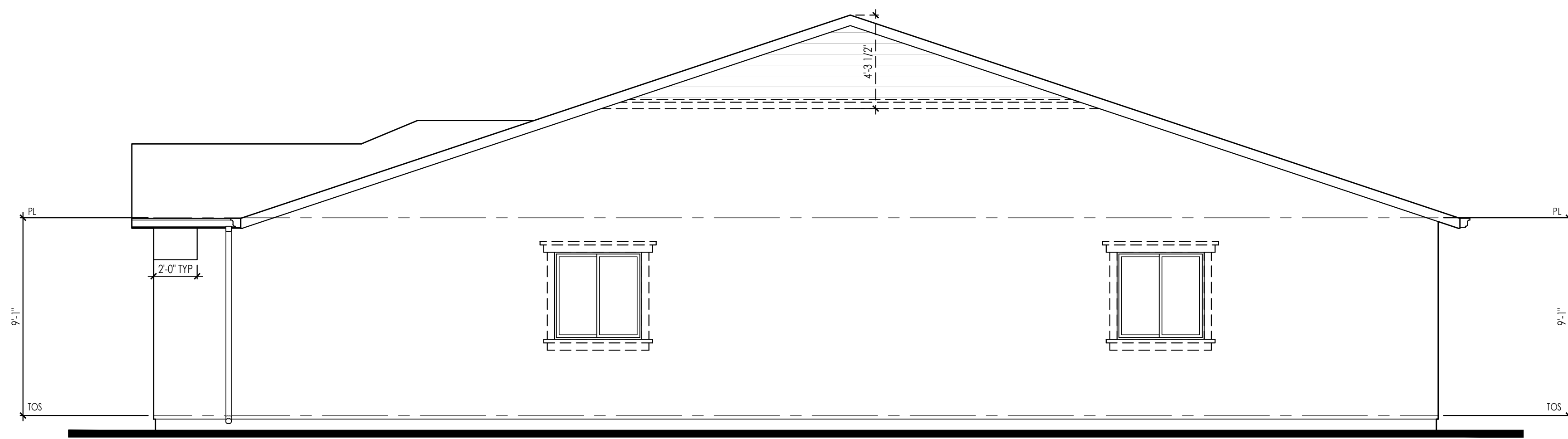
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- PARTIAL AND OPTION ELEVATIONS SHOW ONLY THE ATTRIBUTES AND DETAILS UNIQUE TO THE PARTIAL OR OPTION ELEVATION. REFER TO BASE ELEVATION FOR INFORMATION NOT SHOWN.
 - WINDOW HEAD HEIGHTS:
 - 1ST FLOOR = 7'-6" AFF (JUNO)
 - 2ND FLOOR = 7'-6" AFF (JUNO)
 - DOOR HEIGHTS AS NOTED ON FLOOR PLANS
 - EXTERIOR WALLS (PER MFG INSTALLATION INSTRUCTIONS):
 - OMEGA DIAMOND WALL 1-COAT STUCCO SYSTEM; OVER MIN 1" FOAM INSULATION; OVER ONE LAYER OF 40-MINUTE GRADE D PAPER OR EQUAL; OVER STUDS OR WOOD-BASED SHEATHING. STUCCO CONTROL JOINT LOCATIONS SHALL BE COORDINATED WITH THE ARCHITECT PRIOR TO INSTALLATION; IF NOT SPECIFIED ON PLANS, (ESR 1194)
 - FIBER CEMENT SIDING; OVER ONE LAYER OF APPROVED WATER-RESISTIVE BARRIER; OVER STUDS OR SHEATHING.
 - ROOFING: REFER TO ROOF PLAN SHEET NOTES
 - WINDOWS: VINYL, SPEC PER BUILDER
 - GRIDS / DIVIDED LITES AS SHOWN
 - ENTRY DOORS: RAISED PANEL, SPEC PER BUILDER
 - OVER HEAD GARAGE DOORS:
 - STEEL SECTIONAL, SPEC PER BUILDER
 - RAISED PANEL AND GLASS INSERTS AS SHOWN.
 - FASCIA BOARDS: 2X6, UNLESS NOTED OTHERWISE REFER TO ELEVATION KEYNOTES
 - BARGE RAFTER: 2X6, UNLESS NOTED OTHERWISE REFER TO ELEVATION KEYNOTES
 - ADDRESS NUMBERS: PLACE IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONTING PROPERTY (CRC R319.1)
 - NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND AND BE LEGIBLE
 - NUMBERS SHALL BE A MINIMUM 4" HIGH WITH A MINIMUM STROKE WIDTH OF 1/2"
 - ROOF HEELS: LABELED AS
 - STANDARD HEEL: +0"
 - RAISED HEEL: INCREASED HEEL TO PLANE FASCIA. REFER TO TRUSS LAYOUTS
 - ATTACHMENT PENETRATIONS MADE THROUGH EXTERIOR FINISHES SHALL BE PRE-DRILLED AND FILLED WITH MASTIC AND, WHENEVER POSSIBLE; MADE OVER SELF-ADHERED FLASHING MEMBRANE LAPPED INTO WEATHER RESISTIVE BARRIER AND INTO SOLID BACKING.

- Elevation Keynotes:
- MINIMUM CLASS 'A' ROOFING. REFER TO ROOF PLAN SHEET NOTES
 - 2X6 FASCIA / BARGE RAFTER:
 - GUTTER, STYLE SPEC PER BUILDER
 - DOWNSPOUT, STYLE SPEC PER BUILDER
 - CORROSION RESISTANT ROOF TO WALL FLASHING REFER TO ROOF DETAILS
 - EXTERIOR STUCCO, TYPICAL +0" (JUNO), STANDARD FINISH
 - EXTERIOR SIDING MATERIAL, COMPOSITE WOOD:
 - LAP WITH 6" REVEAL
 - 1X2 BOARD & BATTEN (BATTEN AT 16" OC)
 - TRIM, SIZE AS NOTED (HEIGHT X DEPTH) OR SEE DETAIL:
 - STUCCO OVER FOAM, LIGHT SAND FINISH.
 - COMPOSITE WOOD (NOMINAL SIZE)
 - FAUX WOOD SHUTTER, ATTACHMENT PER MFG RECOMMENDATION (STYLE PER DESIGN DETAIL).
 - DECORATIVE SHAPED STUCCO CORBEL, PER DESIGN DETAIL.
 - WOOD KNEE BRACE ATTACHMENT PER DETAIL 17/AD1
 - DECORATIVE WOOD BEAM, SIZE AS NOTED. SEE DETAIL 18/AD1 FOR ATTACHMENT AT GABLE.
 - EXTERIOR COACH LIGHT; MOUNT AT +84" AFF (JUNO)
 - ADDRESS NUMBER; MOUNT AT +66" AFF (JUNO)
 - UTILITY CONNECTIONS (TYPICAL), PER MUNICIPAL CODES REQUIRED AT ENHANCED ELEVATION ONLY

Sheet Revisions		
#	DATE	COMMENT
1	XX.XX.XX	INITIAL PLAN CHECK SUBMITTAL

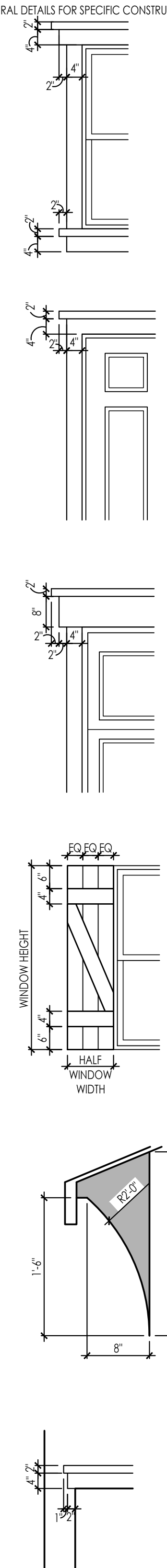


'COTTAGE' (COMPOSITION SHINGLE)
LEFT ELEVATION "C"
1/4" = 1'-0"



'COTTAGE' (COMPOSITION SHINGLE)
RIGHT ELEVATION "C"
1/4" = 1'-0"

Elevation Design Details:
THE FOLLOWING DETAILS CONVEY DESIGN INTENT. REFER TO ARCHITECTURAL DETAILS FOR SPECIFIC CONSTRUCTION ASSEMBLIES.



- Sheet Notes:**
- PARTIAL AND OPTION ELEVATIONS SHOW ONLY THE ATTRIBUTES AND DETAILS UNIQUE TO THE PARTIAL OR OPTION ELEVATION. REFER TO BASE ELEVATION FOR INFORMATION NOT SHOWN.
 - WINDOW HEAD HEIGHTS:
 - 1ST FLOOR = 7'-4" AFF (JUNO)
 - 2ND FLOOR = 7'-5" AFF (JUNO)
 - DOOR HEIGHTS AS NOTED ON FLOOR PLANS
 - EXTERIOR WALLS (PER MFG INSTALLATION INSTRUCTIONS):
 - OMEGA DIAMOND WALL 1-COAT STUCCO SYSTEM: OVER MIN 1" FOAM INSULATION, OVER ONE LAYER OF 40-MINUTE GRADE D PAPER OR EQUAL, OVER STUDS OR WOOD-BASED SHEATHING. STUCCO CONTROL JOINT LOCATIONS SHALL BE COORDINATED WITH THE ARCHITECT PRIOR TO INSTALLATION. IF NOT COORDINATED ON PLANS, (ESR 1194)
 - FIBER CEMENT SIDING: OVER ONE LAYER OF APPROVED WATER-RESISTIVE BARRIER, OVER STUDS OR SHEATHING.
 - ROOFING: REFER TO ROOF PLAN SHEET NOTES
 - WINDOWS: VINYL, SPEC PER BUILDER
 - GRIDS / DIVIDED LITES AS SHOWN
 - ENTRY DOORS: RAISED PANEL, SPEC PER BUILDER
 - OVER HEAD GARAGE DOORS:
 - STEEL SECTIONAL, SPEC PER BUILDER
 - RAISED PANEL AND GLASS INSERTS AS SHOWN.
 - FASCIA BOARDS: 2X6, UNLESS NOTED OTHERWISE REFER TO ELEVATION KEYNOTES
 - BARGE RAFTER: 2X6, UNLESS NOTED OTHERWISE REFER TO ELEVATION KEYNOTES
 - ADDRESS NUMBERS: PLACE IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONTING PROPERTY (CRC R319.1)
 - A. NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND AND BE LEGIBLE.
 - B. NUMBERS SHALL BE A MINIMUM 4" HIGH WITH A MINIMUM STROKE WIDTH OF 1/2"
 - ROOF HEELS: LABELED AS:
 - STANDARD HEEL: +0"
 - RAISED HEEL: INCREASED HEEL TO PLANE FASCIA. REFER TO TRUSS LAYOUTS
 - ATTACHMENT PENETRATIONS MADE THROUGH EXTERIOR FINISHES SHALL BE PRE-DRILLED AND FILLED WITH MASTIC AND, WHENEVER POSSIBLE: MADE OVER SELF-ADHERED FLASHING MEMBRANE LAPPED INTO WEATHER RESISTIVE BARRIER AND INTO SOLID BACKING.

- Elevation Keynotes:**
- MINIMUM CLASS 'A' ROOFING. REFER TO ROOF PLAN SHEET NOTES
 - 2X6 FASCIA / BARGE RAFTER
 - GUTTER, STYLE SPEC PER BUILDER
 - DOWNSPOUT, STYLE SPEC PER BUILDER
 - CORROSION RESISTANT ROOF TO WALL FLASHING REFER TO ROOF DETAILS
 - EXTERIOR STUCCO, TYPICAL +0" (JUNO), STANDARD FINISH
 - EXTERIOR SIDING MATERIAL, COMPOSITE WOOD:
 - A. LAP WITH 6" REVEAL
 - B. 1X2 BOARD & BATTEN (BATTEN AT 16" OC)
 - TRIM, SIZE AS NOTED (HEIGHT X DEPTH) OR SEE DETAIL:
 - A. STUCCO OVER FOAM, LIGHT SAND FINISH.
 - B. COMPOSITE WOOD (NOMINAL SIZE)
 - FAUX WOOD SHUTTER, ATTACHMENT PER MFG RECOMMENDATION (STYLE PER DESIGN DETAIL).
 - DECORATIVE SHAPED STUCCO CORBEL, PER DESIGN DETAIL.
 - WOOD KNEE BRACE ATTACHMENT PER DETAIL 17/AD1
 - DECORATIVE WOOD BEAM, SIZE AS NOTED. SEE DETAIL 18/AD1 FOR ATTACHMENT AT GABLE.
 - EXTERIOR COACH LIGHT: MOUNT AT +84" AFF (JUNO)
 - ADDRESS NUMBER: MOUNT AT +66" AFF (JUNO)
 - UTILITY CONNECTIONS (TYPICAL), PER MUNICIPAL CODES REQUIRED AT ENHANCED ELEVATION ONLY

4/12/2021 PERMIT SET

Sheet Revisions		
#	DATE	COMMENT

PLAN 1717
Sheet Description:
EXTERIOR ELEVATIONS
"C" (RIGHT/LEFT)

Sheet Number:
A7.2

Attachment 8: Plan 1839, Floor Plan and Elevations

Sheet Revisions		
#	DATE	COMMENT
XX	XXXX	INITIAL PLAN CHECK SUBMITTAL

PLAN 1839
 Sheet Description:
FIRST FLOOR PLAN

Sheet Number:

A3.1

4/12/2021 PERMIT SET

Sheet Notes:

- FIRE BLOCKING SHALL BE PROVIDED IN ALL CONCEALED SPACES. (CRC SECTION R302.1)
- ALL DIAGONAL WALLS TO BE 45 DEGREES (UNO)
- WINDOW "HEAD" HEIGHTS:
 - 1ST FLOOR = 7'-6" AFF (UNO)
 - 2ND FLOOR = 7'-6" AFF (UNO)
 - DOOR HEIGHTS AS NOTED ON FLOOR PLANS
- ALL DOORS TO BE CENTERED WITHIN ADJACENT WALLS, OR DOOR JAMB TO BE FRAMED AT 3" UNLESS OTHERWISE DIMENSIONED
- PROVIDE BACKING FOR ALL HARDWARE FIXTURES (TOWEL BARS, ETC.) TOWEL BARS SHALL BE INSTALLED NO HIGHER THAN 48" AFF.
- REFER TO BASE FLOOR PLAN FOR INFORMATION NOT SHOWN ON PARTIAL FLOOR PLANS. HATCHED WALLS ON PARTIAL FLOOR PLANS INDICATE FRAMING CHANGES FROM BASE FLOOR PLAN
- ALL JOINTS, PENETRATIONS AND OTHER OPENINGS IN THE BUILDING ENVELOPE THAT ARE POTENTIAL SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKET, WEATHER-STRIPPED OR OTHERWISE SEALED TO LIMIT INFILTRATION AND EXFILTRATION. (CENC SECTION 110.7)

Floor Plan Keynotes:

DWELLING/GARAGE FIRE SEPARATION: ALL SURFACES SHALL BE PROTECTED WITH MINIMUM ONE (1) LAYER 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. ALL HORIZONTAL SURFACES WITH HABITABLE SPACE ABOVE SHALL BE PROTECTED WITH MINIMUM ONE (1) LAYER 5/8" TYPE 'X' GYPSUM BOARD APPLIED TO THE GARAGE SIDE. (CRC SECTION R302.6 & TABLE R302.6)

OPENING PROTECTION: WHERE THE RESIDENCE AND PRIVATE GARAGE ARE PROTECTED BY AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM, DOOR OPENINGS BETWEEN THE HOUSE AND THE GARAGE NEED ONLY BE SELF-CLOSING AND SELF-LATCHING. (CRC SECTION R302.5.1 EXCEPTION)

EMERGENCY ESCAPE AND RESCUE OPENINGS: EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE (1) OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. EMERGENCY OPENING SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44" MEASURED FROM THE FLOOR AND A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24" AND THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20". (CRC SECTION R310.2) WINDOWS USED FOR EMERGENCY ESCAPE AND RESCUE OPENING SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44 INCHES MEASURED FROM THE FLOOR.

TANKLESS WATER HEATER: SPEC PER ENERGY CALCULATIONS.

ATTIC ACCESS: PROVIDE A MINIMUM 22"X30" OPENING OR LARGE ENOUGH TO REMOVE THE LARGEST PIECE OF EQUIPMENT. (CRC SECTION R807.1 & CMC SECTION 304.4) LOCATION APPROXIMATE. VERIFY/COORDINATE WITH TRUSS LAYOUT. ACCESS PANEL TO BE WEATHER-STRIPPED AND HAVE PERMANENTLY ATTACHED INSULATION USING ADHESIVE OR MECHANICAL FASTENERS EQUIVALENT TO THE SURROUNDING AREA REQUIREMENTS. (SECTION 150 OF CALIFORNIA ENERGY CODE)

A/C CONDENSER: PROVIDE MINIMUM 30"X30" CONCRETE PAD. MINIMUM 3" ABOVE GRADE. LOCATE PER PLOT PLAN.

TEMPERED SAFETY GLASS: PROVIDE TEMPERED GLASS AT HAZARDOUS LOCATIONS PER REQUIREMENTS. (CRC SECTION R308.4)

- GLAZING IN WALLS WITHIN 60 INCHES OF A WET SURFACE SHALL BE CONSIDERED A HAZARDOUS LOCATION. EXCEPTION: MORE THAN 60 INCHES AND IN A STRAIGHT LINE FROM THE WATER'S EDGE.
- GLAZING WHERE THE BOTTOM EDGE IS LESS THAN 36" ABOVE AN ADJACENT WALKING SURFACE OF STAIRS, LANDINGS, AND RAMPS SHALL BE CONSIDERED A HAZARDOUS LOCATION. EXCEPTION: GLAZING ADJACENT TO A WALKING SURFACE AND A HORIZONTAL RAIL INSTALLED 34 TO 38 INCHES ABOVE THE WALKING SURFACE.
- GLAZING ADJACENT TO THE BOTTOM OF A STAIR LANDING IS LESS THAN 36 INCHES AND IS WITHIN 60 INCHES FROM THE BOTTOM TREAD NOSE SHALL BE CONSIDERED A HAZARDOUS LOCATION. EXCEPTION: WHERE GLAZING IS PROTECTED BY A GUARD COMPLYING WITH SECTION R312 AND THE GLASS IS MORE THAN 18 INCHES ABOVE THE GUARD.

DRYER: VENT DUCT SHALL BE OF A RIGID METALLIC MATERIAL AND SHALL HAVE SMOOTH INTERIOR SURFACES. EXTENDING TO EXTERIOR WITH BACKDRAFT DAMPER. TRANSITION DUCTS MUST BE IN ACCORDANCE WITH UL 2158A (CMC SECTION 504.4) SEE DETAIL 7/A/D3

WASHING MACHINE: PROVIDE PRE-FABRICATED CORROSION RESISTANT PAN UNDER WASHING MACHINE LOCATED ON UPPER FLOOR. DRAIN TO EXTERIOR.

UPPER CABINETS: WALL MOUNTED ABOVE 12" DEEP TYPICAL. 24" DEEP ABOVE REFRIGERATOR.

SHOWERS & TUB/SHOWER COMBINATIONS: FLOORS AND WALLS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR. (CRC SECTION R307.2)

MATERIALS USED AS BACKERS FOR WALL TILE IN TUB AND SHOWER AREAS SHALL BE OF MATERIALS LISTED IN TABLE R702.4.2 AND SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECS. (CRC SECTION R702.4.2) LOCATE SHOWER HEAD AT +84" AFF. GLAZING IN ALL FIXED AND OPERABLE PANELS OF A SWINGING, SLIDING, OR BI-FOLD DOOR SHALL BE CONSIDERED A HAZARDOUS LOCATION AND SHALL COMPLY WITH CRC SECTIONS R308.3 & R308.4.

COOKING APPLIANCES: 36" RANGE, MICRO/HOOD, LIGHT, EXHAUST FAN ABOVE. FAN: MIN 100 CFM FOR LOCAL EXHAUST VENTILATION. (BUILDING ENERGY EFFICIENCY STANDARDS)

PANTRY / LINEN: (5) SHELVES, EQUAL SPACING.

INTERIOR FLAT SOFFIT: FIRST FLOOR FRAME AT 8'-1" AFF (UNO). SECOND FLOOR FRAME AT 7'-1" AFF (UNO).

EXTERIOR SOFFIT OR ARCH: SEE EXTERIOR ELEVATIONS FOR DIMENSIONS.

DASHED LINE INDICATES OUTLINE OF FLOOR ABOVE.

SOLID LINE INDICATES OUTLINE OF FLOOR BELOW.

LOW WALL: PROVIDE WITH DOUBLE TOP PLATE. HEIGHT AT +42" AFF. (UNO)

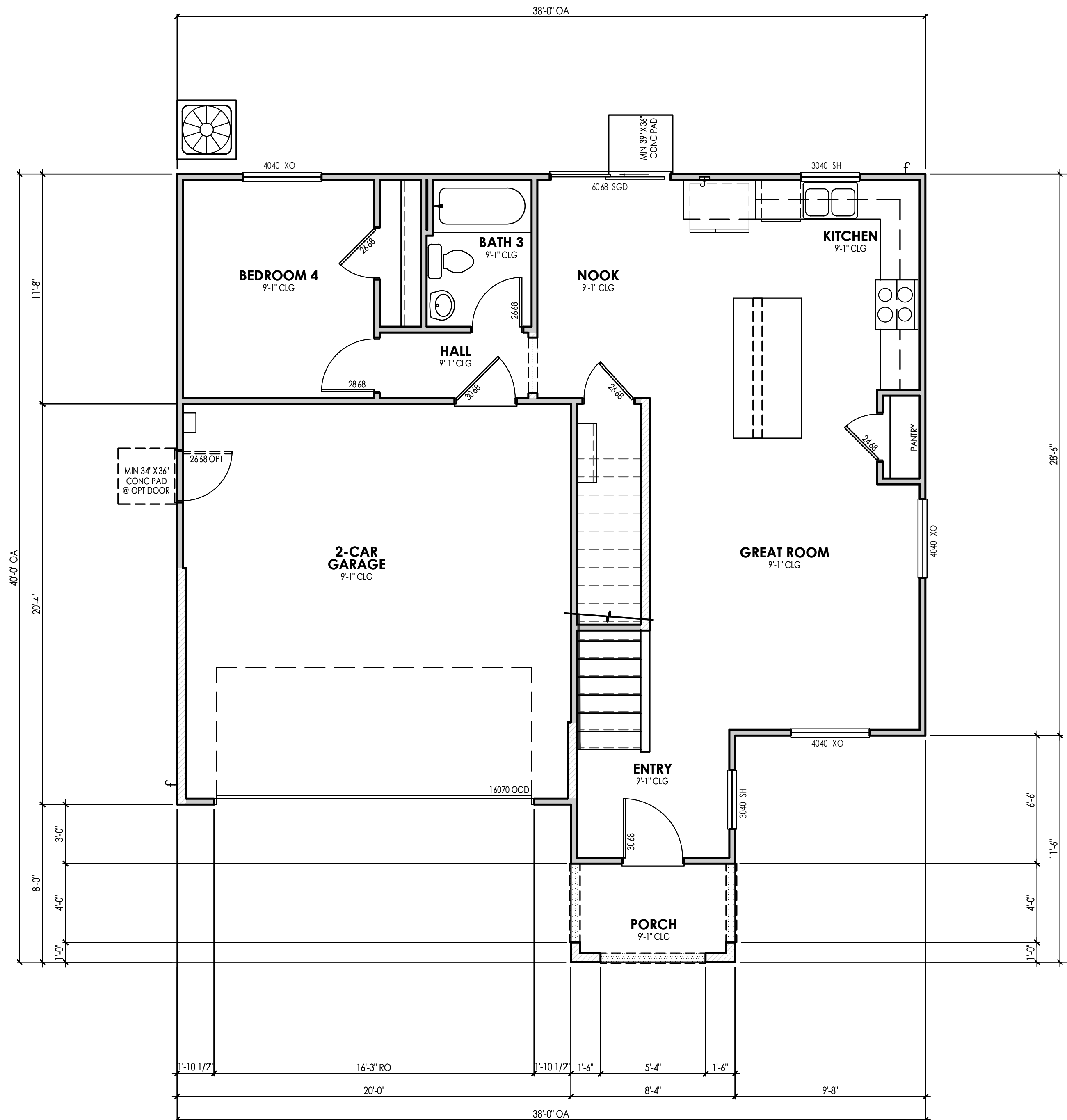
UNDER-STAIR PROTECTION: ENCLOSED SPACE UNDER STAIRS THAT IS ACCESSED BY A DOOR OR ACCESS PANEL SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" INCH GYPSUM BOARD (CRC SECTION R302.7)

STAIRWAYS: SHALL NOT BE LESS THAN 36" IN CLEAR WIDTH (AND NOT HAVE A VERTICAL RISE OF MORE THAN 151"). MINIMUM HEADROOM SHALL NOT BE LESS THAN 6'-8". MAXIMUM RISER HEIGHT SHALL BE 7-3/4". AND MINIMUM TREAD DEPTH SHALL BE 10". (CRC SECTION R311.7)

HANDRAILS (AND GUARDS WHERE THE TOP OF THE GUARD ALSO SERVES AS A HANDRAIL) SHALL BE PROVIDED ON NOT LESS THAN ONE SIDE OF EACH FLIGHT OF STAIRS WITH FOUR OR MORE RISERS. HEIGHT SHALL BE NOT LESS THAN 34" AND NOT MORE THAN 38". AND CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT. (CRC SECTION R311.7.8) SEE DETAIL 6/A/D3

GUARDS: SHALL BE NOT LESS THAN 42" IN HEIGHT VERTICALLY ABOVE THE WALKING SURFACE OR THE LINE CONNECTING THE NOSING. RAIL DESIGN TO COMPLY WITH CODE. (CRC SECTION R312) SEE DETAIL 5/A/D3

PROVIDE MINIMUM 30" WIDE CLEAR SPACE AT WATER CLOSET. THAT EXTENDS AT LEAST 24" IN FRONT OF THE WATER CLOSET.



ALL ELEVATIONS FIRST FLOOR PLAN

1/4" = 1'-0"

Floor Area	
LIVING AREA:	
FIRST FLOOR LIVING:	800.5 SQ. FT.
SECOND FLOOR LIVING:	1038.3 SQ. FT.
TOTAL LIVING AREA:	1839 SQ. FT.
OTHER AREAS:	
GARAGE:	407 SQ. FT.
COVERED PORCH:	42 SQ. FT.

Sheet Notes:

1. FIRE BLOCKING SHALL BE PROVIDED IN ALL CONCEALED SPACES. (CRC SECTION R302.1)
2. ALL DIAGONAL WALLS TO BE 45 DEGREES (UNO)
3. WINDOW "HEAD" HEIGHTS:
 - 1ST FLOOR = 7'-6" AFF (UNO)
 - 2ND FLOOR = 7'-6" AFF (UNO)
 - DOOR HEIGHTS AS NOTED ON FLOOR PLANS
4. ALL DOORS TO BE CENTERED WITHIN ADJACENT WALLS, OR DOOR JAMB TO BE FRAMED AT 3" UNLESS OTHERWISE DIMENSIONED
5. PROVIDE BACKING FOR ALL HARDWARE FIXTURES (TOWEL BARS, ETC.) TOWEL BARS SHALL BE INSTALLED NO HIGHER THAN 48" AFF.
6. REFER TO BASE FLOOR PLAN FOR INFORMATION NOT SHOWN ON PARTIAL FLOOR PLANS. HATCHED WALLS ON PARTIAL FLOOR PLANS INDICATE FRAMING CHANGES FROM BASE FLOOR PLAN
7. ALL JOINTS, PENETRATIONS AND OTHER OPENINGS IN THE BUILDING ENVELOPE THAT ARE POTENTIAL SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKET, WEATHER-STRIPPED OR OTHERWISE SEALED TO LIMIT INFILTRATION AND EXFILTRATION. (CENC SECTION 110.7)

Floor Plan Keynotes:

DWELLING/GARAGE FIRE SEPARATION: ALL SURFACES SHALL BE PROTECTED WITH MINIMUM ONE (1) LAYER 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. ALL HORIZONTAL SURFACES WITH HABITABLE SPACE ABOVE SHALL BE PROTECTED WITH MINIMUM ONE (1) LAYER 5/8" TYPE 'X' GYPSUM BOARD APPLIED TO THE GARAGE SIDE. (CRC SECTION R302.6 & TABLE R302.6)

OPENING PROTECTION: WHERE THE RESIDENCE AND PRIVATE GARAGE ARE PROTECTED BY AN AUTOMATIC RESIDENTIAL FIRE-SPRINKLER SYSTEM, DOOR OPENINGS BETWEEN THE HOUSE AND THE GARAGE NEED ONLY BE SELF-CLOSING AND SELF-LATCHING. (CRC SECTION R302.5.1 EXCEPTION)

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A/C CONDENSER: PROVIDE MINIMUM 30"X30" CONCRETE PAD, MINIMUM 3" ABOVE GRADE. LOCATE PER PLOT PLAN.

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2. GLAZING WHERE THE BOTTOM EDGE IS LESS THAN 36" ABOVE AN ADJACENT WALKING SURFACE OF STAIRS, LANDINGS, AND RAMPS SHALL BE CONSIDERED A HAZARDOUS LOCATION. EXCEPTION: GLAZING ADJACENT TO A WALKING SURFACE AND A HORIZONTAL RAIL INSTALLED 34 TO 38 INCHES ABOVE THE WALKING SURFACE.
3. GLAZING ADJACENT TO THE BOTTOM OF A STAIR LANDING IS LESS THAN 36 INCHES AND IS WITHIN 60 INCHES FROM THE BOTTOM TREAD NOSE SHALL BE CONSIDERED A HAZARDOUS LOCATION. EXCEPTION: WHERE GLAZING IS PROTECTED BY A GUARD COMPLYING WITH SECTION R312 AND THE GLASS IS MORE THAN 18 INCHES ABOVE THE GUARD.

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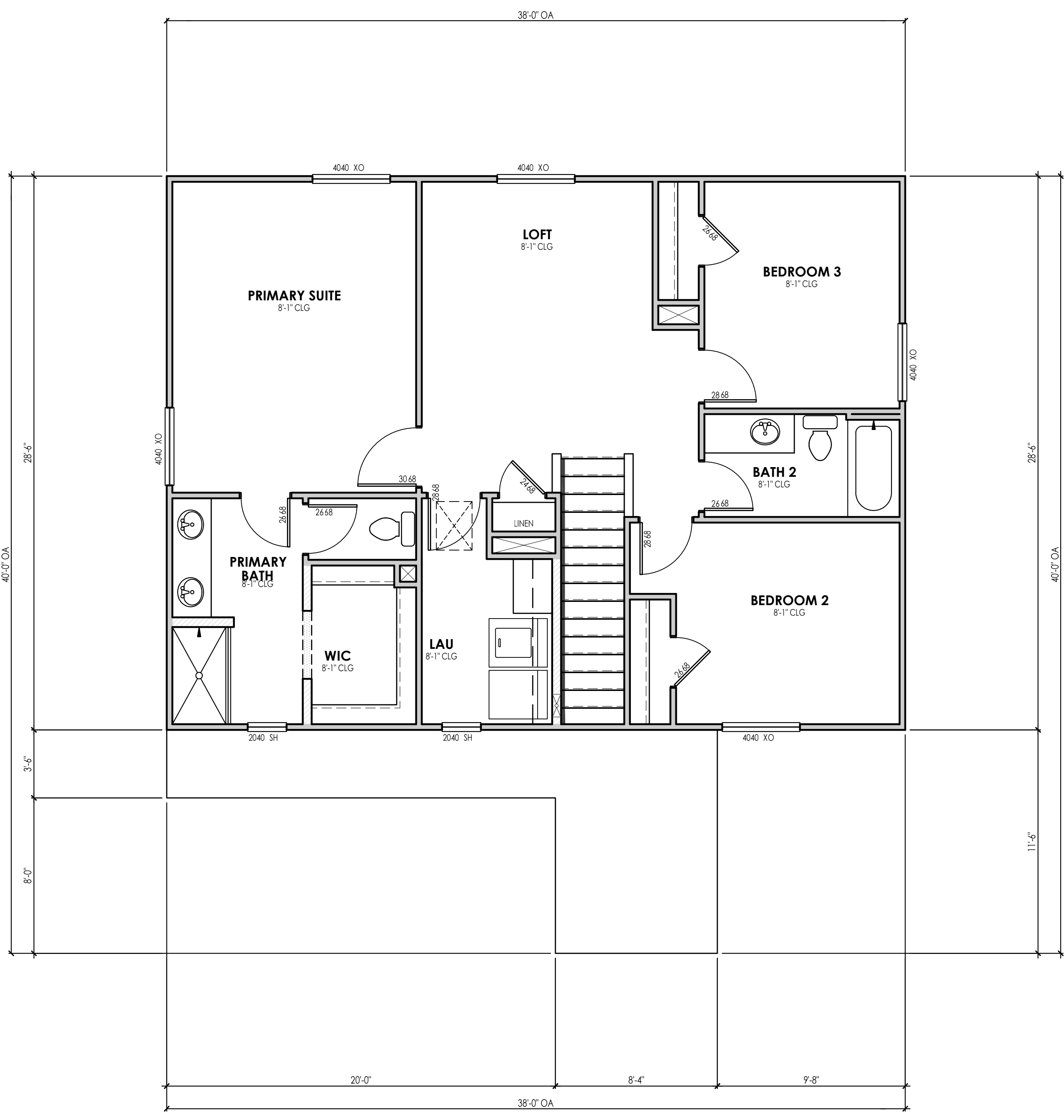
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OTHER AREAS:	
GARAGE:	407 SQ. FT.
COVERED PORCH:	42 SQ. FT.



**ALL ELEVATIONS
SECOND FLOOR PLAN**

1/4" = 1'-0"

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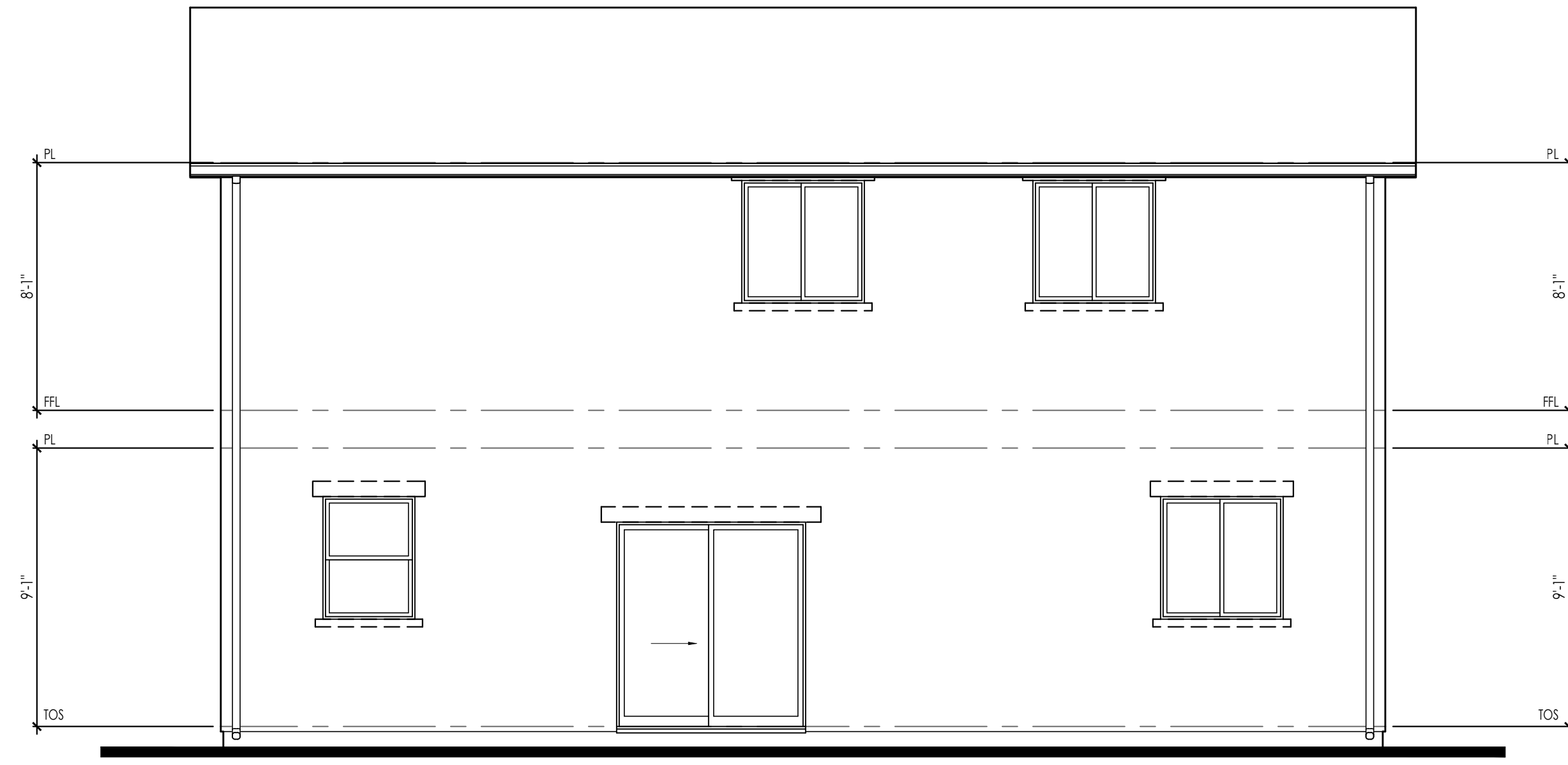
JD+A Project Number: 21033

Sheet Revisions		
#	DATE	COMMENT
XX XXXX		INITIAL PLAN CHECK SUBMITTAL

4/12/2021 PERMIT SET

PLAN 1839
Sheet Description:
SECOND FLOOR PLAN

Sheet Number:
A3.2

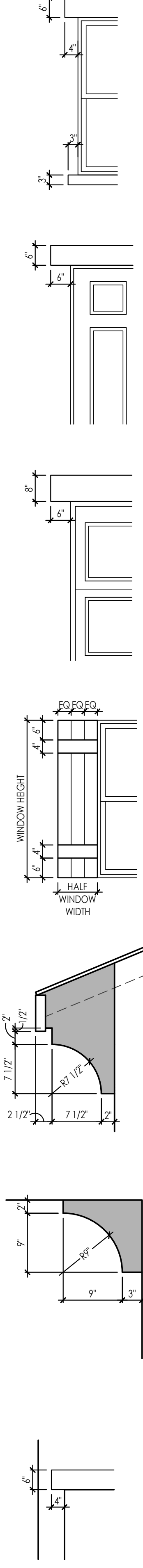


'EARLY CALIFORNIA' (COMPOSITION SHINGLE)
REAR ELEVATION "A"
 1/4" = 1'-0"



'EARLY CALIFORNIA' (COMPOSITION SHINGLE)
FRONT ELEVATION "A"
 1/4" = 1'-0"

Elevation Design Details:
 THE FOLLOWING DETAILS CONVEY DESIGN INTENT. REFER TO ARCHITECTURAL DETAILS FOR SPECIFIC CONSTRUCTION ASSEMBLIES.



- Sheet Notes:**
- PARTIAL AND OPTION ELEVATIONS SHOW ONLY THE ATTRIBUTES AND DETAILS UNIQUE TO THE PARTIAL OR OPTION ELEVATION. REFER TO BASE ELEVATION FOR INFORMATION NOT SHOWN.
 - WINDOW HEAD HEIGHTS:
 - 1ST FLOOR = 7'-6" AFF (JUNO)
 - 2ND FLOOR = 7'-5" AFF (JUNO)
 - DOOR HEIGHTS AS NOTED ON FLOOR PLANS
 - EXTERIOR WALLS (PER MFG INSTALLATION INSTRUCTIONS):
 - OMEGA DIAMOND WALL 1-COAT STUCCO SYSTEM: OVER MIN 1" FOAM INSULATION, OVER ONE LAYER OF 40-MINUTE GRADE D PAPER OR EQUAL, OVER STUDS OR WOOD-BASED SHEATHING. STUCCO CONTROL JOINT LOCATIONS SHALL BE COORDINATED WITH THE ARCHITECT PRIOR TO INSTALLATION, IF NOT SPECIFIED ON PLANS. (ESR 1194)
 - FIBER CEMENT SIDING: OVER ONE LAYER OF APPROVED WATER-RESISTIVE BARRIER, OVER STUDS OR SHEATHING.
 - ROOFING: REFER TO ROOF PLAN SHEET NOTES
 - WINDOWS: VINYL, SPEC PER BUILDER
 - GRIDS / DIVIDED LITES AS SHOWN
 - OVER HEAD GARAGE DOORS:
 - STEEL SECTIONAL, SPEC PER BUILDER
 - RAISED PANEL AND GLASS INSERTS AS SHOWN.
 - FASCIA BOARDS: 2X6, UNLESS NOTED OTHERWISE REFER TO ELEVATION KEYNOTES
 - BARGE RAFTER: 2X6, UNLESS NOTED OTHERWISE REFER TO ELEVATION KEYNOTES
 - ADDRESS NUMBERS: PLACE IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONTING PROPERTY (CRC R319.1)
 - NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND AND BE LEGIBLE.
 - NUMBERS SHALL BE A MINIMUM 4" HIGH WITH A MINIMUM STROKE WIDTH OF 1/2"
 - ROOF HEELS: LABELED AS
 - STANDARD HEEL: +0"
 - RAISED HEEL: INCREASED HEEL TO PLANE FASCIA. REFER TO TRUSS LAYOUTS
 - ATTACHMENT PENETRATIONS MADE THROUGH EXTERIOR FINISHES SHALL BE PRE-DRILLED AND FILLED WITH MASTIC AND, WHENEVER POSSIBLE, MADE OVER SELF-ADHERED FLASHING MEMBRANE LAPPED INTO WEATHER RESISTIVE BARRIER AND INTO SOLID BACKING.

- Elevation Keynotes:**
- MINIMUM CLASS 'A' ROOFING. REFER TO ROOF PLAN SHEET NOTES
 - 2X6 FASCIA / BARGE RAFTER:
 - GUTTER, STYLE SPEC PER BUILDER
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 - CORROSION RESISTANT ROOF TO WALL FLASHING REFER TO ROOF DETAILS
 - EXTERIOR STUCCO, TYPICAL +0" (JUNO), STANDARD FINISH
 - EXTERIOR SIDING MATERIAL, COMPOSITE WOOD:
 - LAP WITH 6" REVEAL
 - 1X2 BOARD & BATTEN (BATTEN AT 16" OC)
 - TRIM, SIZE AS NOTED (HEIGHT X DEPTH) OR SEE DETAIL:
 - STUCCO OVER FOAM, LIGHT SAND FINISH.
 - COMPOSITE WOOD (NOMINAL SIZE)
 - FAUX WOOD SHUTTER, ATTACHMENT PER MFG RECOMMENDATION (STYLE PER DESIGN DETAIL).
 - DECORATIVE SHAPED STUCCO CORBEL, PER DESIGN DETAIL.
 - WOOD KNEE BRACE ATTACHMENT PER DETAIL 17/AD1
 - DECORATIVE WOOD BEAM, SIZE AS NOTED, SEE DETAIL 18/AD1 FOR ATTACHMENT AT GABLE.
 - EXTERIOR COACH LIGHT: MOUNT AT +84" AFF (JUNO)
 - ADDRESS NUMBER: MOUNT AT +66" AFF (JUNO)
 - UTILITY CONNECTIONS (TYPICAL), PER MUNICIPAL CODES REQUIRED AT ENHANCED ELEVATION ONLY

4/12/2021 PERMIT SET

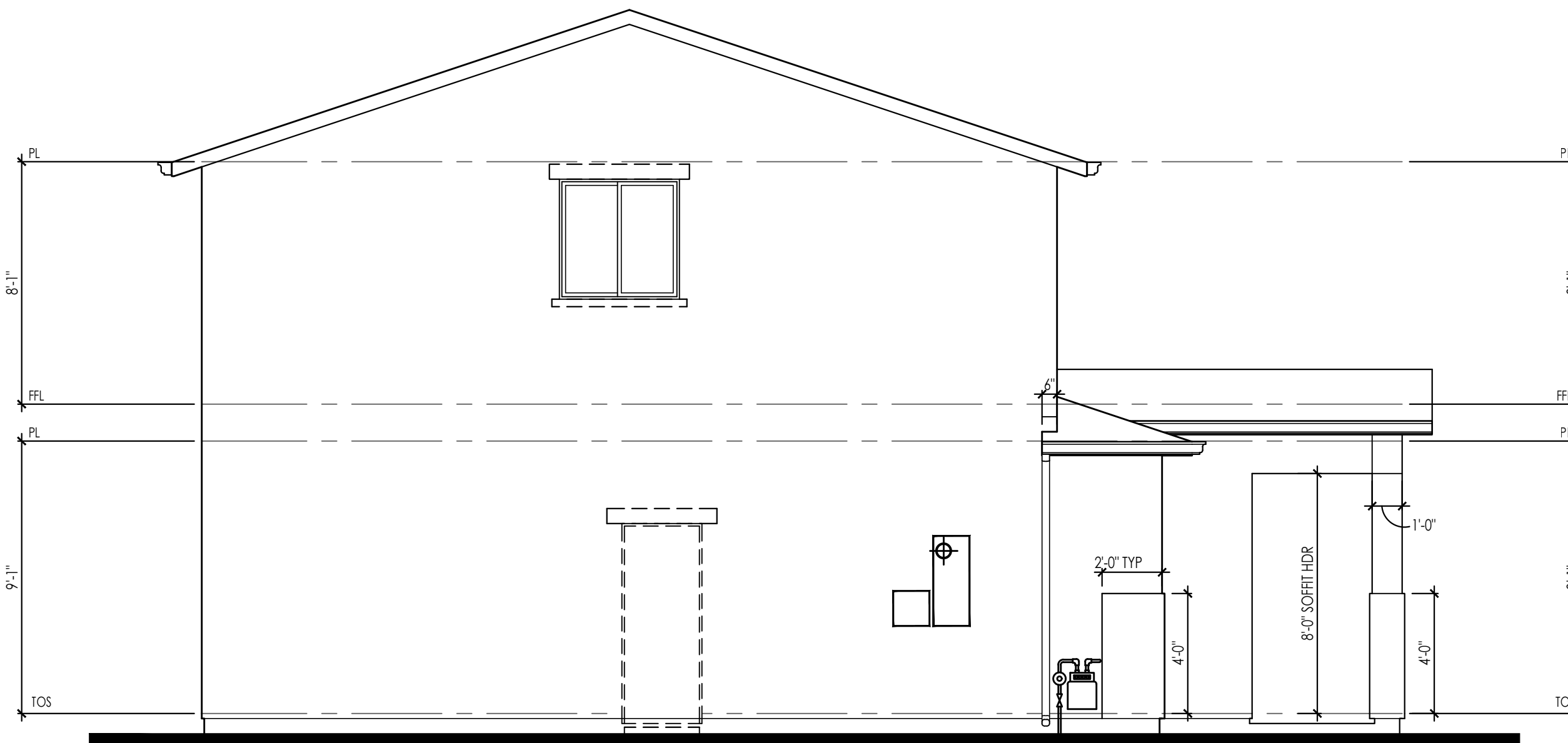
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JD+A Project Number: 21033

Sheet Revisions		
#	DATE	COMMENT
XX	XXXX	INITIAL PLAN CHECK SUBMITTAL

PLAN 1839
 Sheet Description:
EXTERIOR ELEVATIONS "A" (FRONT / REAR)

Sheet Number:
A5.1

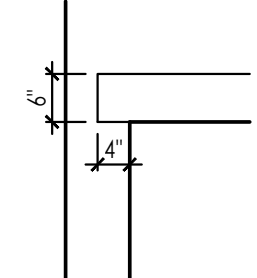
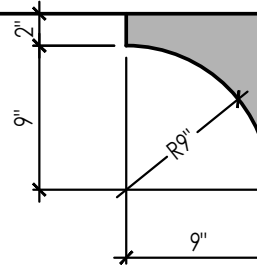
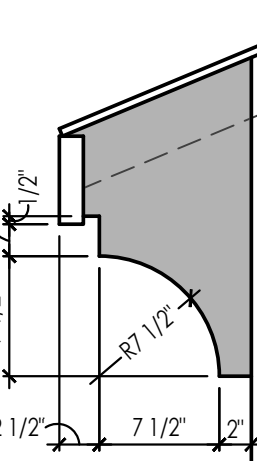
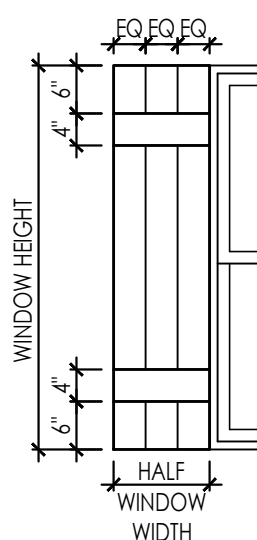
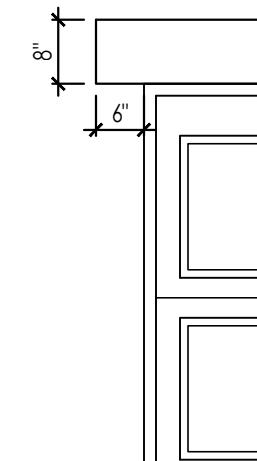
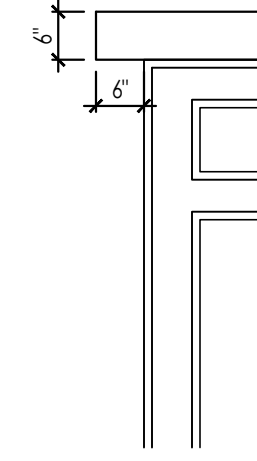
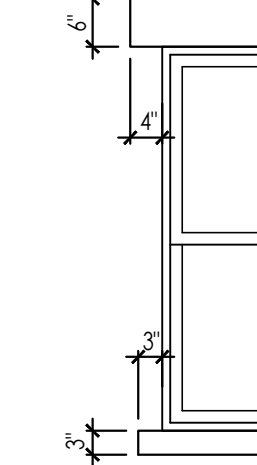


'EARLY CALIFORNIA' (COMPOSITION SHINGLE)
LEFT ELEVATION "A"
 1/4" = 1'-0"



'EARLY CALIFORNIA' (COMPOSITION SHINGLE)
RIGHT ELEVATION "A"
 1/4" = 1'-0"

Elevation Design Details:
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 - ROOFING: REFER TO ROOF PLAN SHEET NOTES
 - WINDOWS: VINYL, SPEC PER BUILDER
 - GRIDS / DIVIDED LITES AS SHOWN
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Omni
 Madera, California



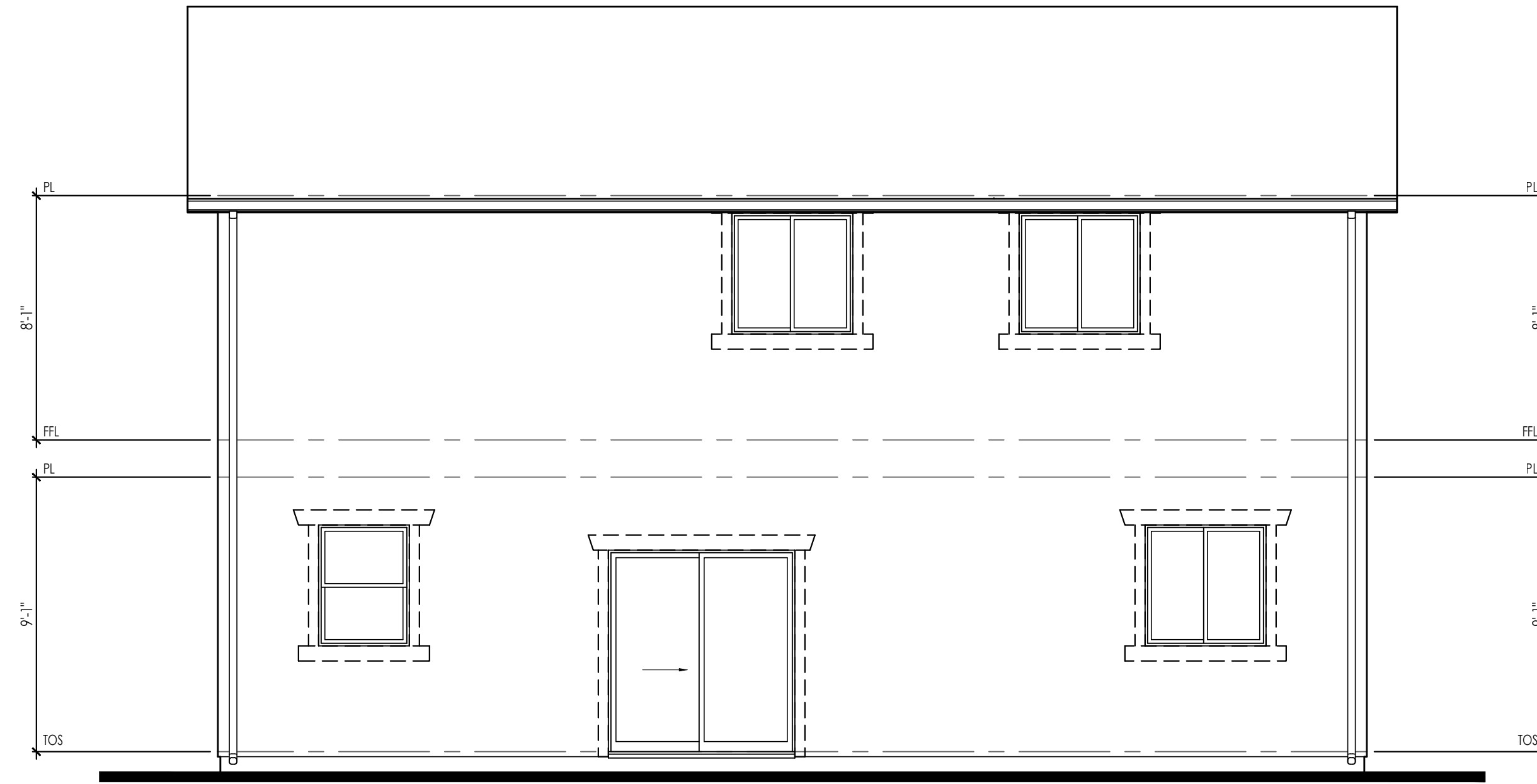
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Sheet Revisions		
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XX.XXX		INITIAL PLAN CHECK SUBMITAL

4/12/2021 PERMIT SET

PLAN 1839
 Sheet Description:
EXTERIOR ELEVATIONS "A" (RIGHT/LEFT)
 Sheet Number:
A5.2



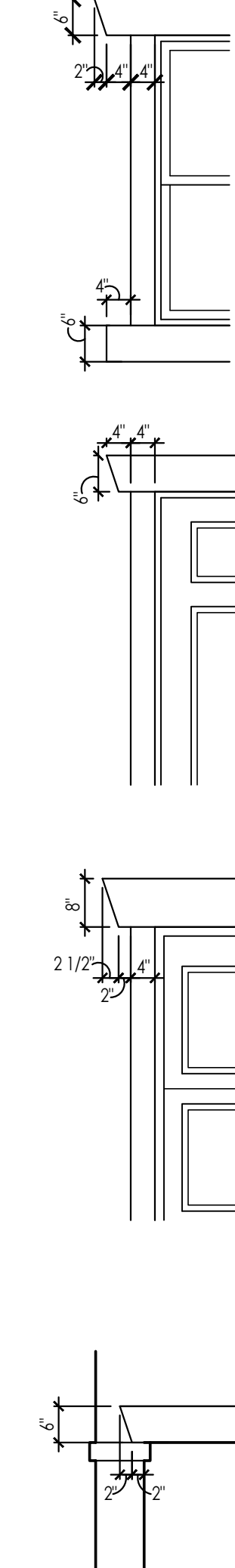
'BUNGALOW' (COMPOSITION SHINGLE)
REAR ELEVATION "B"
1/4" = 1'-0"



'BUNGALOW' (COMPOSITION SHINGLE)
FRONT ELEVATION "B"
1/4" = 1'-0"

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4/12/2021 PERMIT SET

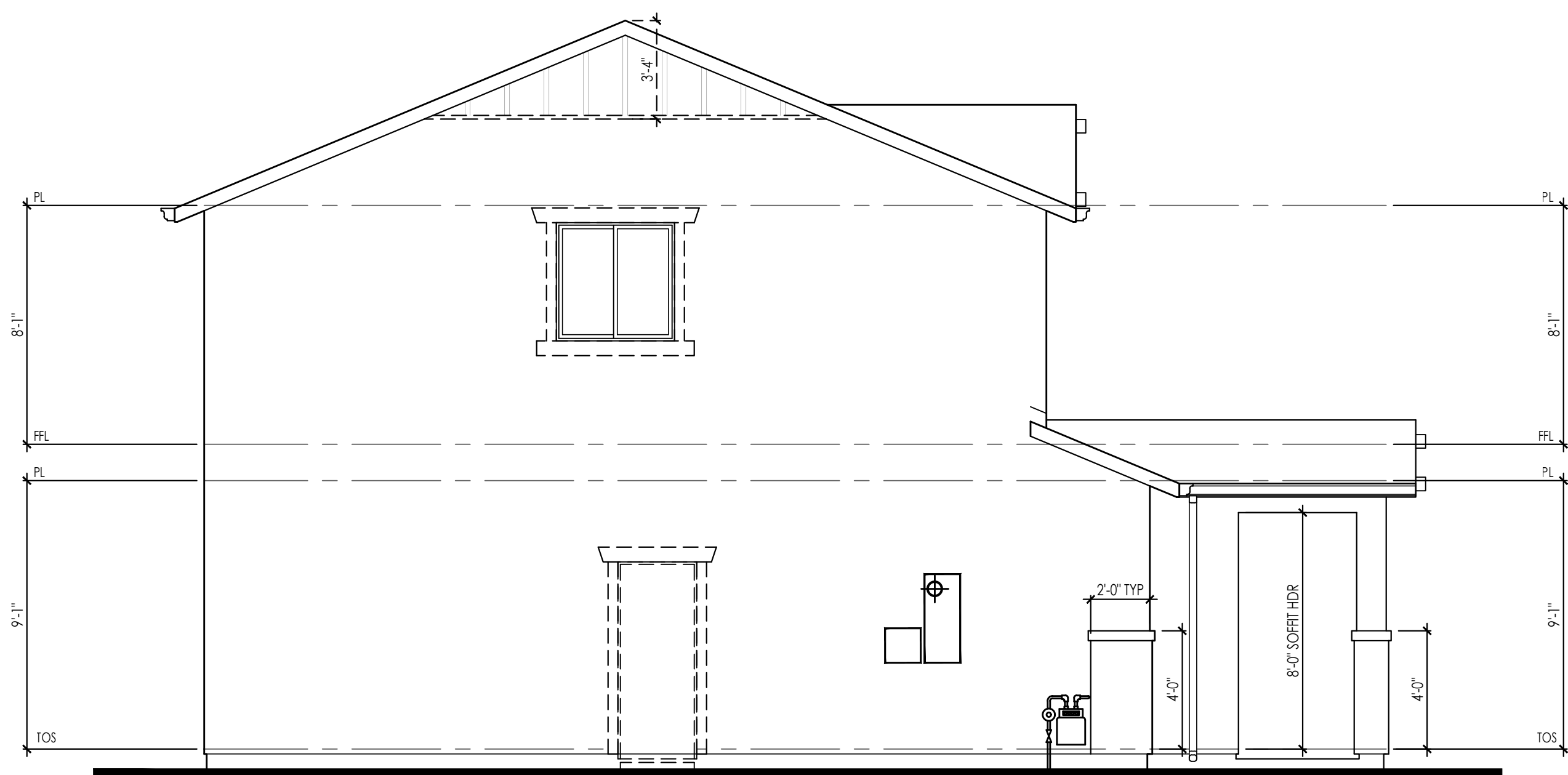
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JD+A Project Number: 21033

Sheet Revisions		
#	DATE	COMMENT
XX	XXXX	INITIAL PLAN CHECK SUBMITTAL

PLAN 1839
Sheet Description:
EXTERIOR ELEVATIONS
"B" (FRONT / REAR)

Sheet Number:
A6.1

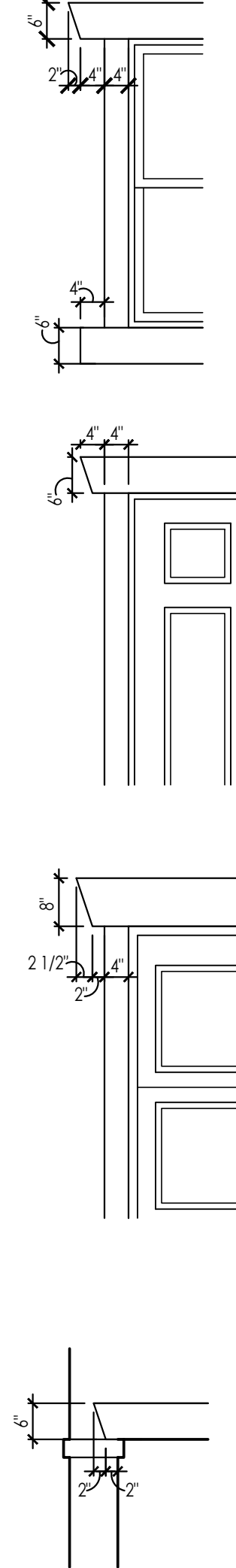


'BUNGALOW' (COMPOSITION SHINGLE)
LEFT ELEVATION "B"
1/4" = 1'-0"



'BUNGALOW' (COMPOSITION SHINGLE)
RIGHT ELEVATION "B"
1/4" = 1'-0"

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Madera, California

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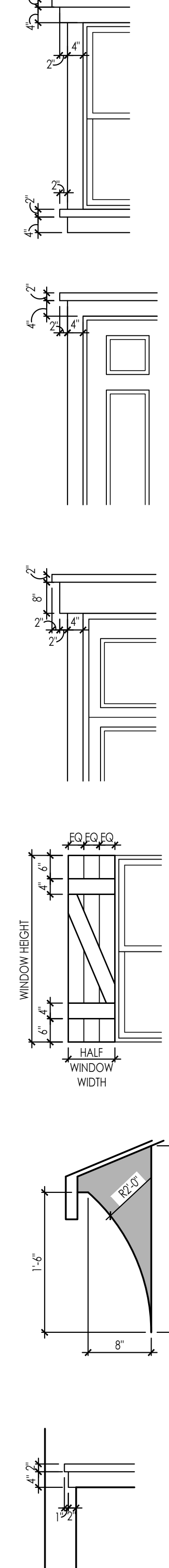
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CENTURY
COMMUNITIES
7815 N. PALM AVE., SUITE 101
FRESNO, CA 93711
(559) 439-4464

PLAN 1839
Sheet Description:
EXTERIOR ELEVATIONS
"B" (RIGHT/LEFT)
Sheet Number:
A6.2

Elevation Design Details: Sheet Notes:

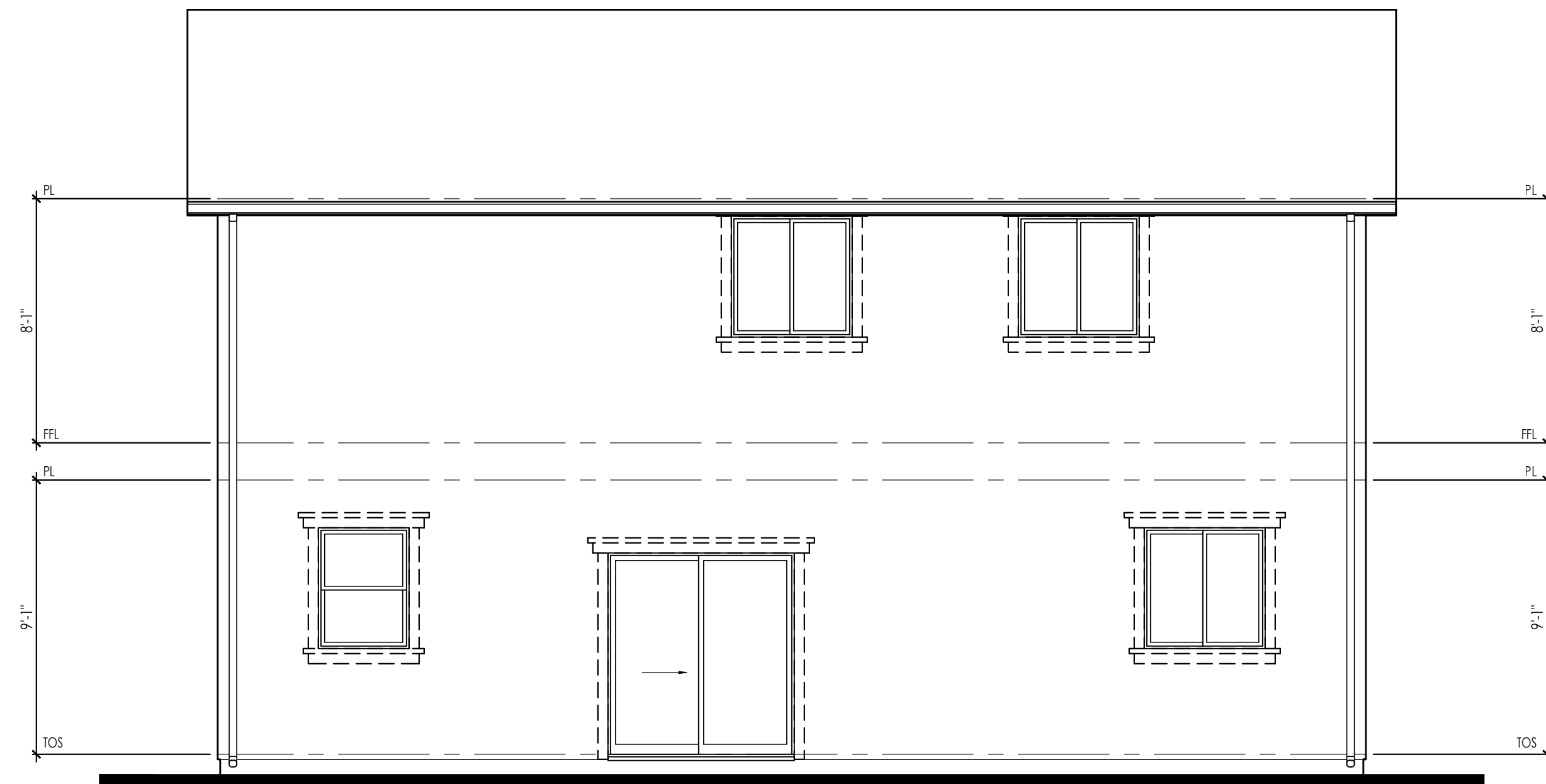
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'COTTAGE' (COMPOSITION SHINGLE)
REAR ELEVATION "C"
1/4" = 1'-0"



'COTTAGE' (COMPOSITION SHINGLE)
FRONT ELEVATION "C"
1/4" = 1'-0"

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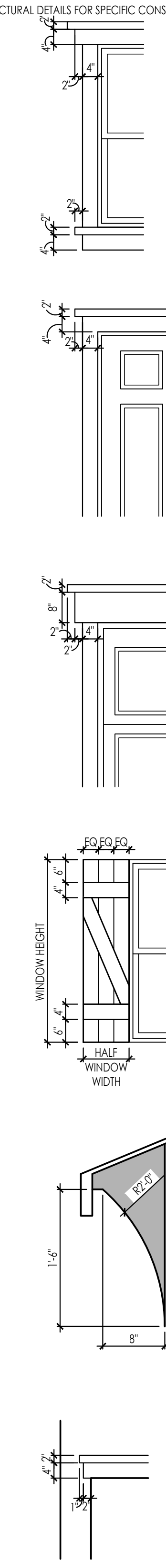
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Sheet Description:
EXTERIOR ELEVATIONS
"C" (RIGHT/LEFT)

Sheet Number:
A7.2

4/12/2021 PERMIT SET

Elevation Design Details:

THE FOLLOWING DETAILS CONVEY DESIGN INTENT. REFER TO ARCHITECTURAL DETAILS FOR SPECIFIC CONSTRUCTION ASSEMBLIES.

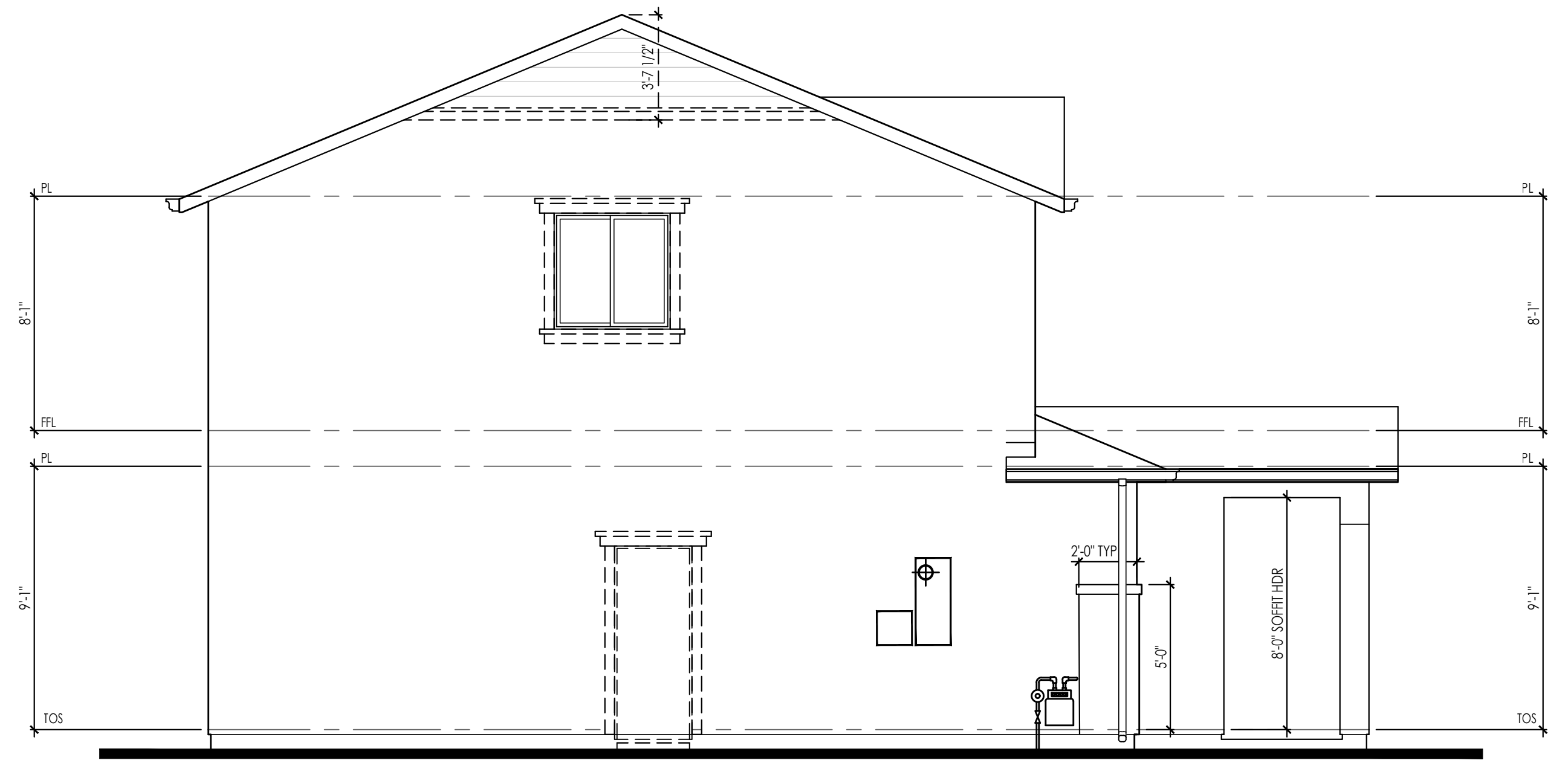


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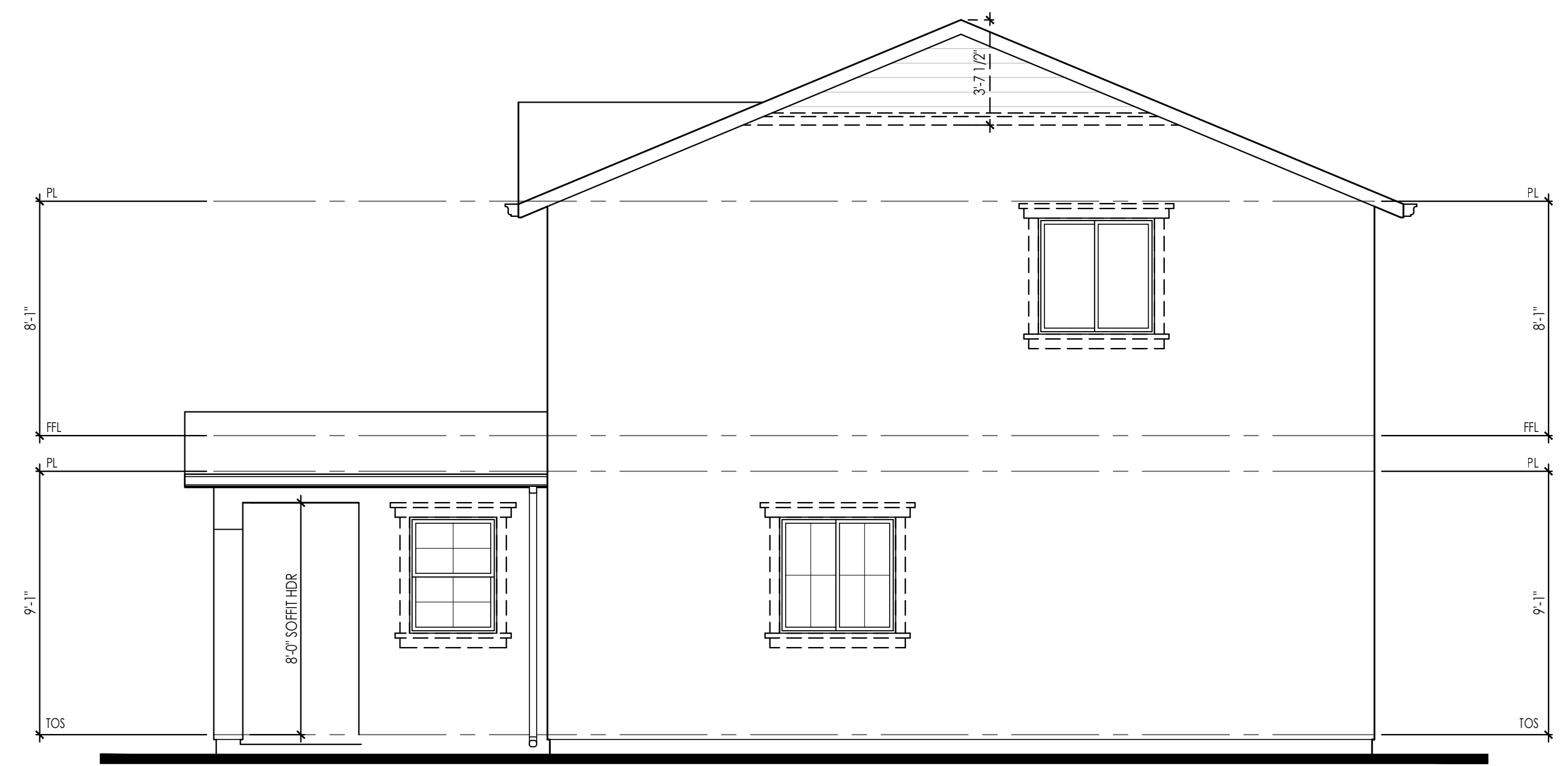
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 - DOOR HEIGHTS AS NOTED ON FLOOR PLANS
- EXTERIOR WALLS (PER MFG INSTALLATION INSTRUCTIONS):
 - OMEGA DIAMOND WALL 1-COAT STUCCO SYSTEM: OVER MIN 1" FOAM INSULATION, OVER ONE LAYER OF 40-MINUTE GRADE D PAPER OR EQUAL, OVER STUDS OR WOOD-BASED SHEATHING. STUCCO CONTROL JOINT LOCATIONS SHALL BE COORDINATED WITH THE ARCHITECT PRIOR TO INSTALLATION, IF NOT SPECIFIED ON PLANS. [ESR 1194]
 - FIBER CEMENT SIDING: OVER ONE LAYER OF APPROVED WATER-RESISTIVE BARRIER, OVER STUDS OR SHEATHING.
- ROOFING: REFER TO ROOF PLAN SHEET NOTES
- WINDOWS: VINYL, SPEC PER BUILDER
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RAISED PANEL AND GLASS INSERTS AS SHOWN.
- FASCIA BOARD: 2X6, UNLESS NOTED OTHERWISE
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Elevation Keynotes:

- MINIMUM CLASS 'A' ROOFING. REFER TO ROOF PLAN SHEET NOTES
- 2X6 FASCIA / BARGE RAFTER
- GUTTER, STYLE SPEC PER BUILDER
- DOWNSPOUT, STYLE SPEC PER BUILDER
- CORROSION RESISTANT ROOF TO WALL FLASHING REFER TO ROOF DETAILS
- EXTERIOR STUCCO, TYPICAL +0" (UNO), STANDARD FINISH
- EXTERIOR SIDING MATERIAL, COMPOSITE WOOD:
 - LAP WITH 6" REVEAL
 - 1X2 BOARD & BATTEN (BATTEN AT 16" OC)
- TRIM, SIZE AS NOTED (HEIGHT X DEPTH) OR SEE DETAIL:
 - STUCCO OVER FOAM, LIGHT SAND FINISH.
 - COMPOSITE WOOD (NOMINAL SIZE)
- FAUX WOOD SHUTTER, ATTACHMENT PER MFG RECOMMENDATION (STYLE PER DESIGN DETAIL).
- DECORATIVE SHAPED STUCCO CORBEL, PER DESIGN DETAIL.
- WOOD KNEE BRACE ATTACHMENT PER DETAIL 17/AD1
- DECORATIVE WOOD BEAM, SIZE AS NOTED. SEE DETAIL 18/AD1 FOR ATTACHMENT AT GABLE.
- EXTERIOR COACH LIGHT: MOUNT AT +6" AFF (UNO)
- ADDRESS NUMBER: MOUNT AT +66" AFF (UNO)
- UTILITY CONNECTIONS (TYPICAL), PER MUNICIPAL CODES REQUIRED AT ENHANCED ELEVATION ONLY

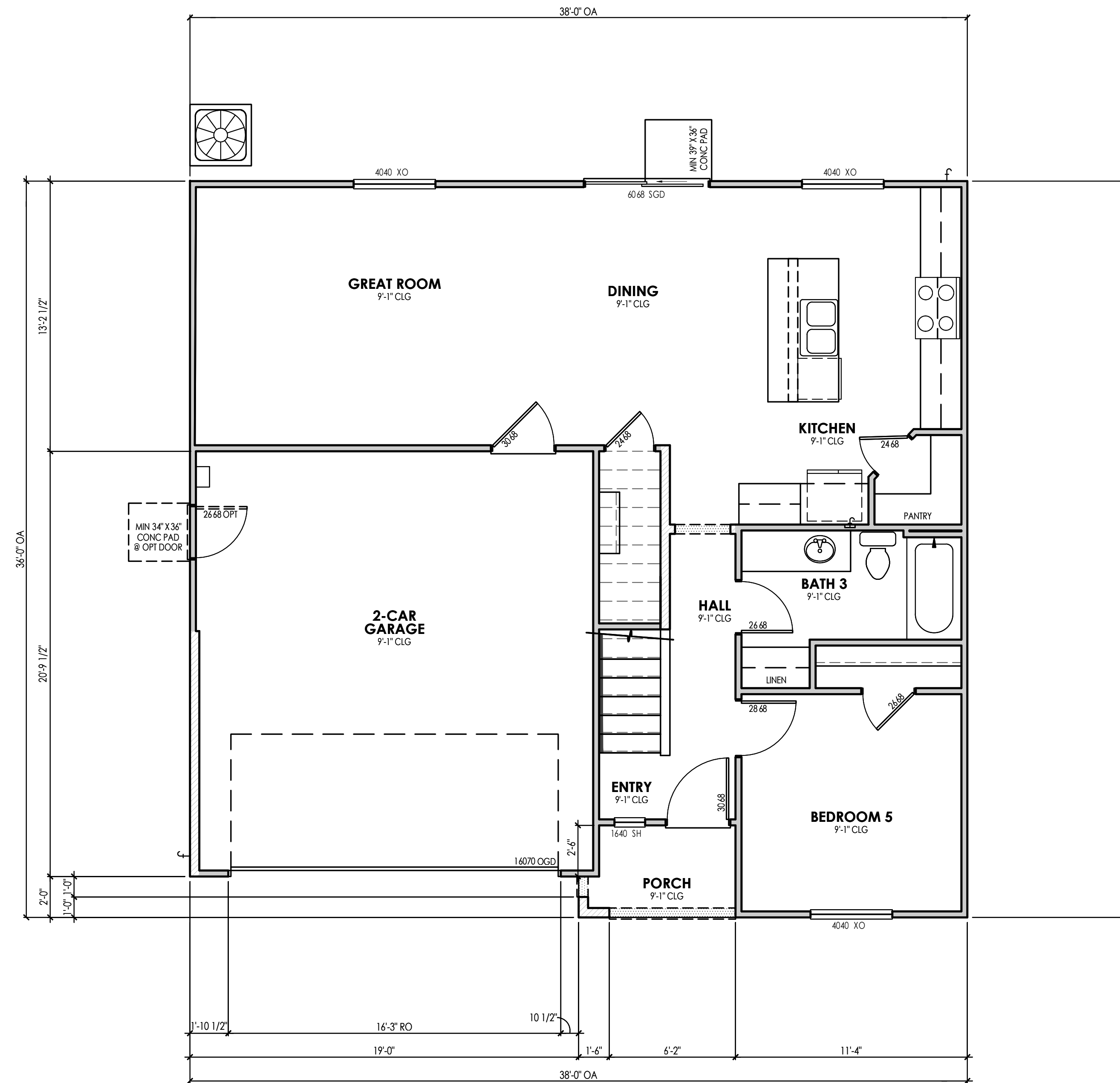


'COTTAGE' (COMPOSITION SHINGLE)
LEFT ELEVATION "C"
1/4" = 1'-0"



'COTTAGE' (COMPOSITION SHINGLE)
RIGHT ELEVATION "C"
1/4" = 1'-0"

Attachment 9: Plan 2096, Floor Plan and Elevations



ALL ELEVATIONS
FIRST FLOOR PLAN
1/4" = 1'-0"

Sheet Notes:

1. FIRE BLOCKING SHALL BE PROVIDED IN ALL CONCEALED SPACES. (CRC SECTION R302.1)
2. ALL DIAGONAL WALLS TO BE 45 DEGREES (UNO)
3. WINDOW "HEAD" HEIGHTS:
- 1ST FLOOR = 7'-6" AFF (UNO)
- 2ND FLOOR = 7'-6" AFF (UNO)
- DOOR HEIGHTS AS NOTED ON FLOOR PLANS
4. ALL DOORS TO BE CENTERED WITHIN ADJACENT WALLS, OR DOOR JAMB TO BE FRAMED AT 3" UNLESS OTHERWISE DIMENSIONED
5. PROVIDE BACKING FOR ALL HARDWARE FIXTURES (TOWEL BARS, ETC.) TOWEL BARS SHALL BE INSTALLED NO HIGHER THAN 48" AFF.
6. REFER TO BASE FLOOR PLAN FOR INFORMATION NOT SHOWN ON PARTIAL FLOOR PLANS. HATCHED WALLS ON PARTIAL FLOOR PLANS INDICATE FRAMING CHANGES FROM BASE FLOOR PLAN
7. ALL JOINTS, PENETRATIONS AND OTHER OPENINGS IN THE BUILDING ENVELOPE THAT ARE POTENTIAL SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKET, WEATHER-STRIPPED OR OTHERWISE SEALED TO LIMIT INFILTRATION AND EXFILTRATION. (CNC SECTION 110.7)

Floor Plan Keynotes:

DWELLING/GARAGE FIRE SEPARATION: ALL SURFACES SHALL BE PROTECTED WITH MINIMUM ONE (1) LAYER 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. ALL HORIZONTAL SURFACES WITH HABITABLE SPACE ABOVE SHALL BE PROTECTED WITH MINIMUM ONE (1) LAYER 5/8" TYPE 'X' GYPSUM BOARD APPLIED TO THE GARAGE SIDE. (CRC SECTION R302.6 & TABLE R302.6)

OPENING PROTECTION: WHERE THE RESIDENCE AND PRIVATE GARAGE ARE PROTECTED BY AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM. DOOR OPENINGS BETWEEN THE HOUSE AND THE GARAGE NEED ONLY BE SELF-CLOSING AND SELF-LATCHING. (CRC SECTION R302.5.1 EXCEPTION)

EMERGENCY ESCAPE AND RESCUE OPENINGS: EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE (1) OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. EMERGENCY OPENING SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44" MEASURED FROM THE FLOOR AND A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24" AND THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20". (CRC SECTION R310.2) WINDOWS USED FOR EMERGENCY ESCAPE AND RESCUE OPENING SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44 INCHES MEASURED FROM THE FLOOR.

TANKLESS WATER HEATER: SPEC PER ENERGY CALCULATIONS.

ATTIC ACCESS: PROVIDE A MINIMUM 22"X30" OPENING OR LARGE ENOUGH TO REMOVE THE LARGEST PIECE OF EQUIPMENT. (CRC SECTION R807.1 & CMC SECTION 304.4) LOCATION APPROXIMATE. VERIFY/COORDINATE WITH TRUSS LAYOUT. ACCESS PANEL TO BE WEATHER-STRIPPED AND HAVE PERMANENTLY ATTACHED INSULATION USING ADHESIVE OR MECHANICAL FASTENERS EQUIVALENT TO THE SURROUNDING AREA REQUIREMENTS. (SECTION 150 OF CALIFORNIA ENERGY CODE)

A/C CONDENSER: PROVIDE MINIMUM 30"X30" CONCRETE PAD. MINIMUM 3" ABOVE GRADE. LOCATE PER PLOT PLAN.

TEMPERED SAFETY GLASS: PROVIDE TEMPERED GLASS AT HAZARDOUS LOCATIONS PER REQUIREMENTS. (CRC SECTION R308.4)

1. GLAZING IN WALLS WITHIN 60 INCHES OF A WET SURFACE SHALL BE CONSIDERED A HAZARDOUS LOCATION. EXCEPTION: MORE THAN 60 INCHES AND IN A STRAIGHT LINE FROM THE WATER'S EDGE.
2. GLAZING WHERE THE BOTTOM EDGE IS LESS THAN 36" ABOVE AN ADJACENT WALKING SURFACE OF STAIRS, LANDINGS, AND RAMPS SHALL BE CONSIDERED A HAZARDOUS LOCATION. EXCEPTION: GLAZING ADJACENT TO A WALKING SURFACE AND A HORIZONTAL RAIL INSTALLED 34 TO 38 INCHES ABOVE THE WALKING SURFACE.
3. GLAZING ADJACENT TO THE BOTTOM OF A STAIR LANDING IS LESS THAN 36 INCHES AND IS WITHIN 60 INCHES FROM THE BOTTOM TREAD NOSE SHALL BE CONSIDERED A HAZARDOUS LOCATION. EXCEPTION: WHERE GLAZING IS PROTECTED BY A GUARD COMPLYING WITH SECTION R312 AND THE GLASS IS MORE THAN 18 INCHES ABOVE THE GUARD.

DRYER: VENT DUCT SHALL BE OF A RIGID METALLIC MATERIAL AND SHALL HAVE SMOOTH INTERIOR SURFACES. EXTENDING TO EXTERIOR WITH BACKDRAFT DAMPER. TRANSITION DUCTS MUST BE IN ACCORDANCE WITH UL 2158A (CMC SECTION 504.4) SEE DETAIL 7/A/D3

WASHING MACHINE: PROVIDE PRE-FABRICATED CORROSION RESISTANT PAN UNDER WASHING MACHINE LOCATED ON UPPER FLOOR. DRAIN TO EXTERIOR.

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COOKING APPLIANCES: 36" RANGE. MICRO/HOOD. LIGHT. EXHAUST FAN ABOVE. FAN: MIN 100 CFM FOR LOCAL EXHAUST VENTILATION. (BUILDING ENERGY EFFICIENCY STANDARDS)

PANTRY / LINEN: (5) SHELVES. EQUAL SPACING.

INTERIOR FLAT SOFFIT: FIRST FLOOR FRAME AT 8'-1" AFF (UNO). SECOND FLOOR FRAME AT 7'-1" AFF (UNO).

EXTERIOR SOFFIT OR ARCH: SEE EXTERIOR ELEVATIONS FOR DIMENSIONS.

DASHED LINE INDICATES OUTLINE OF FLOOR ABOVE. SOLID LINE INDICATES OUTLINE OF FLOOR BELOW.

LOW WALL: PROVIDE WITH DOUBLE TOP PLATE. HEIGHT AT +42" AFF. (UNO)

UNDER-STAIR PROTECTION: ENCLOSED SPACE UNDER STAIRS THAT IS ACCESSED BY A DOOR OR ACCESS PANEL SHALL HAVE WALLS. UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" INCH GYPSUM BOARD. (CRC SECTION R302.7)

STAIRWAYS: SHALL NOT BE LESS THAN 36" IN CLEAR WIDTH (AND NOT HAVE A VERTICAL RISE OF MORE THAN 151"). MINIMUM HEADROOM SHALL NOT BE LESS THAN 6'-8". MAXIMUM RISER HEIGHT SHALL BE 7-3/4". AND MINIMUM TREAD DEPTH SHALL BE 10". (CRC SECTION R311.7)

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GUARDS: SHALL BE NOT LESS THAN 42" IN HEIGHT VERTICALLY ABOVE THE WALKING SURFACE OR THE LINE CONNECTING THE NOSING. RAIL DESIGN TO COMPLY WITH CODE. (CRC SECTION R312) SEE DETAIL 5/A/D3

PROVIDE MINIMUM 30" WIDE CLEAR SPACE AT WATER CLOSET. THAT EXTENDS AT LEAST 24" IN FRONT OF THE WATER CLOSET.

Floor Area	
LIVING AREA:	
FIRST FLOOR LIVING:	887.5 SQ. FT.
SECOND FLOOR LIVING:	1208.5 SQ. FT.
TOTAL LIVING AREA:	2096 SQ. FT.
OTHER AREAS:	
GARAGE:	410 SQ. FT.
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ALL ELEVATIONS
SECOND FLOOR PLAN

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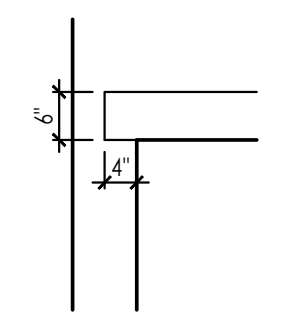
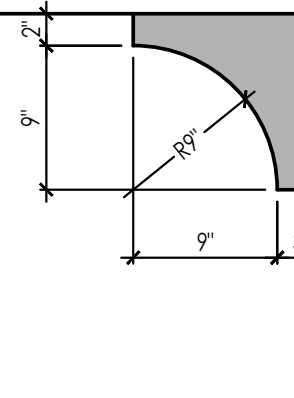
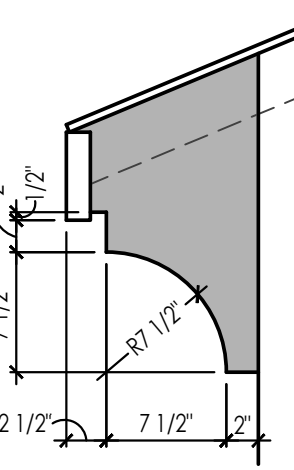
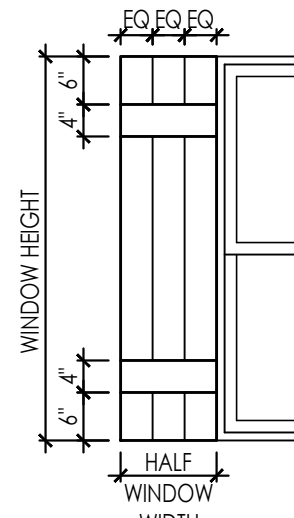
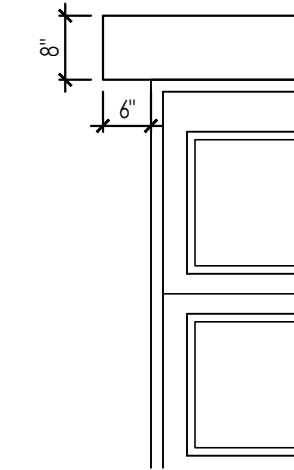
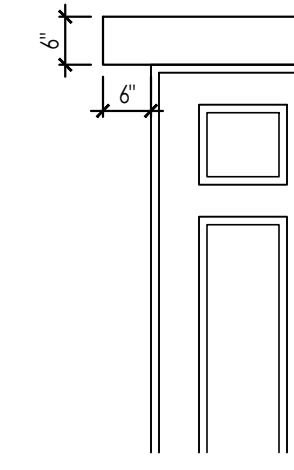
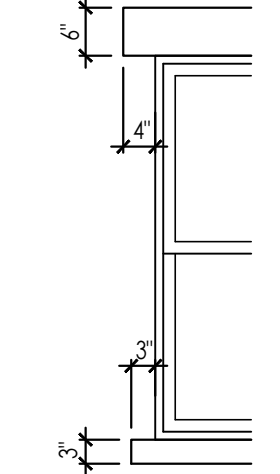
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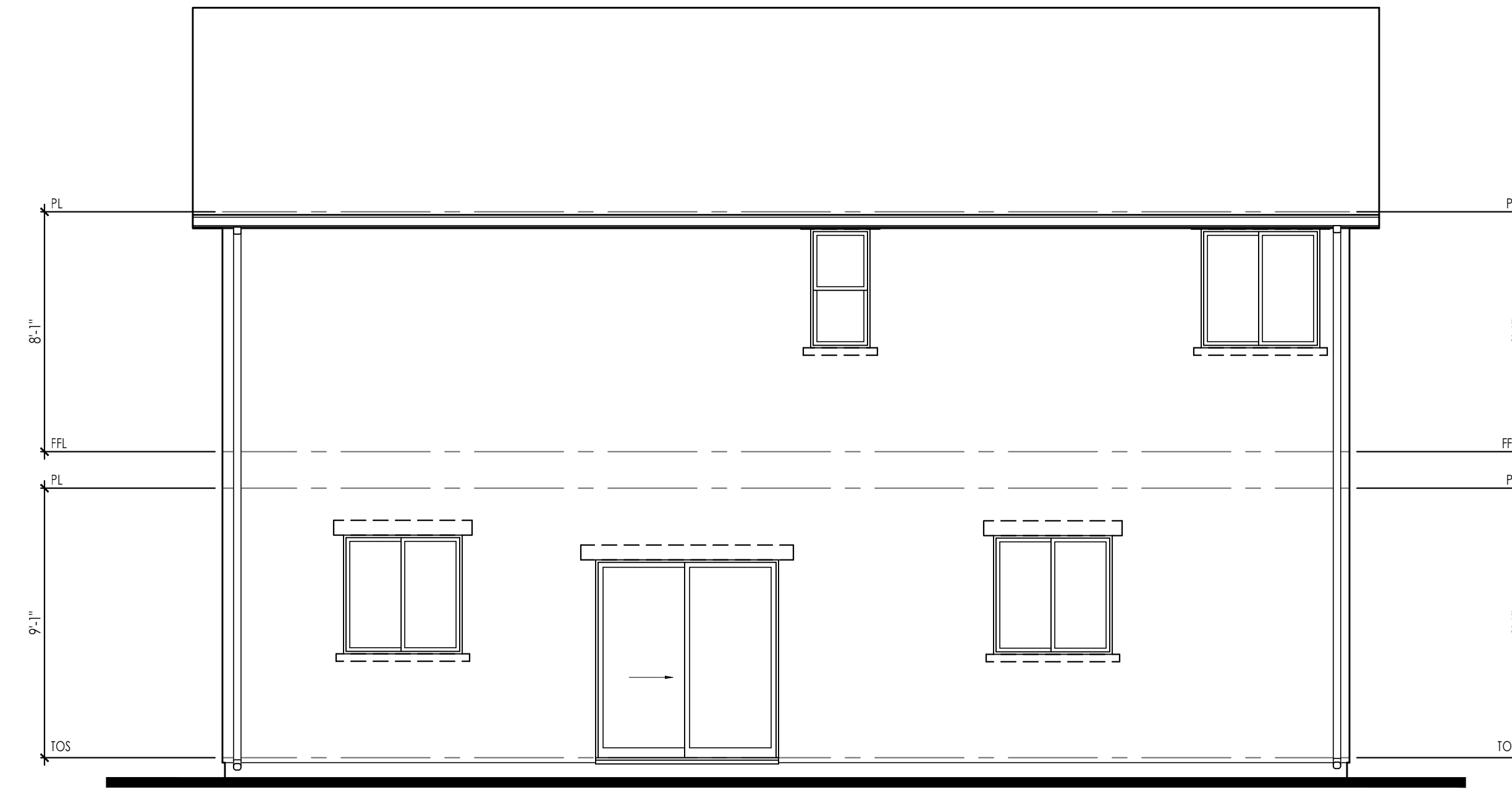
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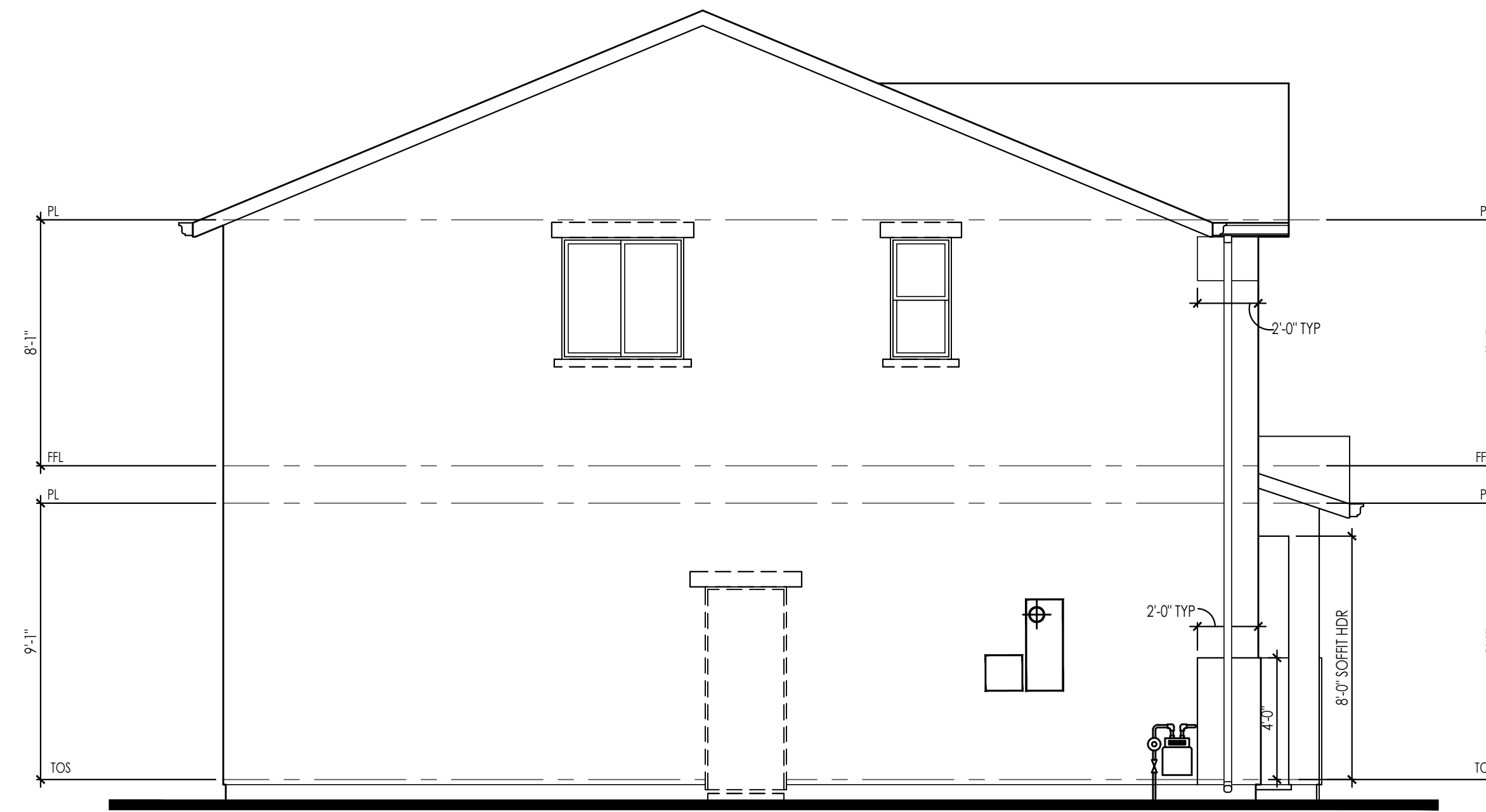
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 EXTERIOR STUCCO, TYPICAL +0" (LINO), STANDARD FINISH
 EXTERIOR SIDING MATERIAL, COMPOSITE WOOD:
 A. LAP WITH 6" REVEAL
 B. 1X2 BOARD & BATTEN (BATTEN AT 16" OC)
 TRIM, SIZE AS NOTED (HEIGHT X DEPTH) OR SEE DETAIL:
 A. STUCCO OVER FOAM, LIGHT SAND FINISH.
 B. COMPOSITE WOOD (NOMINAL SIZE)
 FAUX WOOD SHUTTER, ATTACHMENT PER MFG RECOMMENDATION (STYLE PER DESIGN DETAIL).
 DECORATIVE SHAPED STUCCO CORBEL, PER DESIGN DETAIL.
 WOOD KNEE BRACE ATTACHMENT PER DETAIL 17/AD1
 DECORATIVE WOOD BEAM, SIZE AS NOTED, SEE DETAIL 18/AD1 FOR ATTACHMENT AT GABLE.
 EXTERIOR COACH LIGHT: MOUNT AT +84" AFF (LINO)
 ADDRESS NUMBER: MOUNT AT +66" AFF (LINO)
 UTILITY CONNECTIONS (TYPICAL), PER MUNICIPAL CODES
 REQUIRED AT ENHANCED ELEVATION ONLY



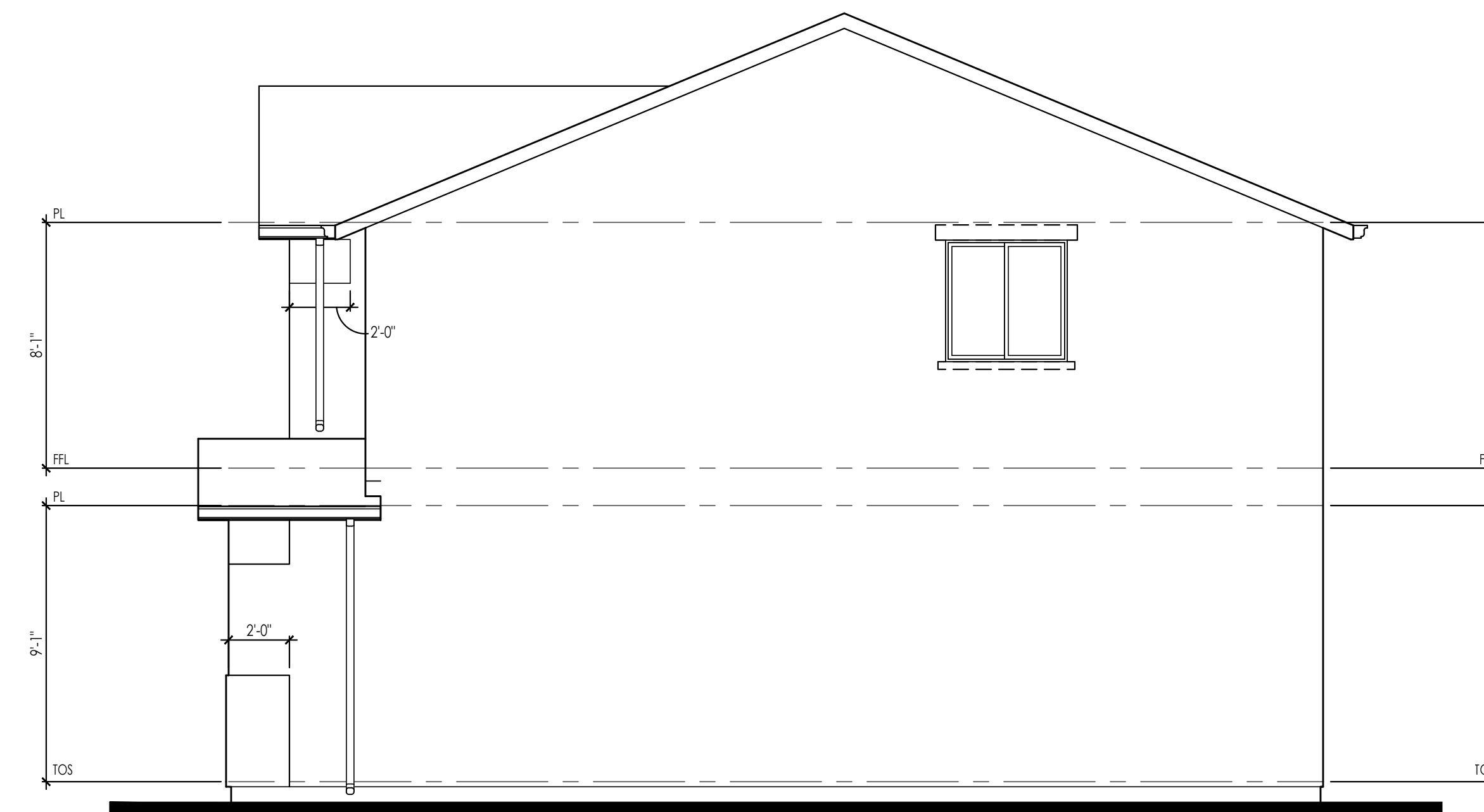
'EARLY CALIFORNIA' (COMPOSITION SHINGLE)
 REAR ELEVATION "A"
 1/4" = 1'-0"



'EARLY CALIFORNIA' (COMPOSITION SHINGLE)
 FRONT ELEVATION "A"
 1/4" = 1'-0"

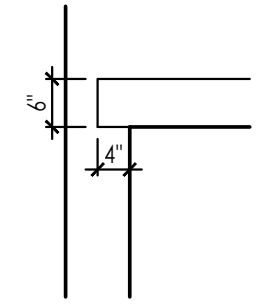
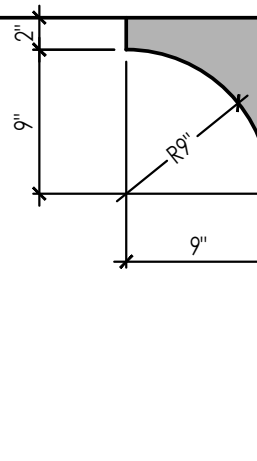
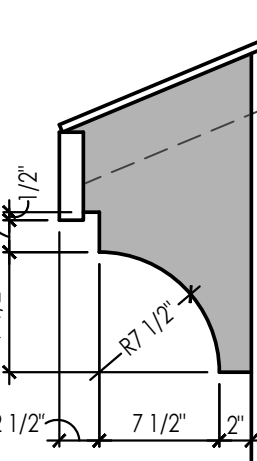
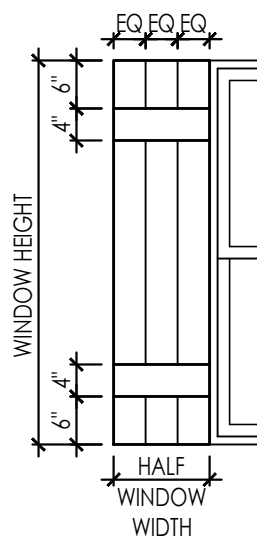
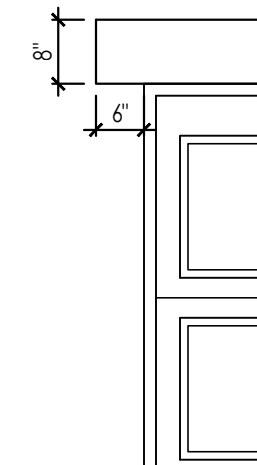
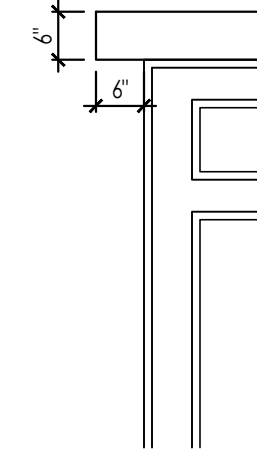
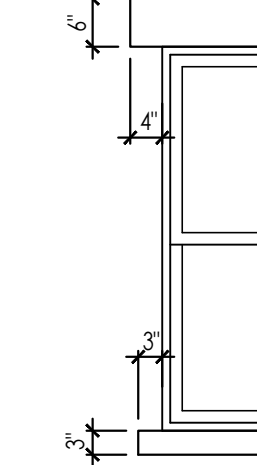


'EARLY CALIFORNIA' (COMPOSITION SHINGLE)
LEFT ELEVATION "A"
 1/4" = 1'-0"



'EARLY CALIFORNIA' (COMPOSITION SHINGLE)
RIGHT ELEVATION "A"
 1/4" = 1'-0"

Elevation Design Details:
 THE FOLLOWING DETAILS CONVEY DESIGN INTENT. REFER TO ARCHITECTURAL DETAILS FOR SPECIFIC CONSTRUCTION ASSEMBLIES.



- Sheet Notes:**
- PARTIAL AND OPTION ELEVATIONS SHOW ONLY THE ATTRIBUTES AND DETAILS UNIQUE TO THE PARTIAL OR OPTION ELEVATION. REFER TO BASE ELEVATION FOR INFORMATION NOT SHOWN.
 - WINDOW HEAD HEIGHTS:
 - 1ST FLOOR = 7'-6" AFF (LINO)
 - 2ND FLOOR = 7'-6" AFF (LINO)
 - DOOR HEIGHTS AS NOTED ON FLOOR PLANS
 - EXTERIOR WALLS (PER MFG INSTALLATION INSTRUCTIONS):
 - OMEGA DIAMOND WALL 1-COAT STUCCO SYSTEM: OVER MIN 1" FOAM INSULATION, OVER ONE LAYER OF 40-MINUTE GRADE D PAPER OR EQUAL, OVER STUDS OR WOOD-BASED SHEATHING. STUCCO CONTROL JOINT LOCATIONS SHALL BE COORDINATED WITH THE ARCHITECT PRIOR TO INSTALLATION, IF NOT SPECIFIED ON PLANS. (ESR 1194)
 - FIBER CEMENT SIDING: OVER ONE LAYER OF APPROVED WATER-RESISTIVE BARRIER, OVER STUDS OR SHEATHING.
 - ROOFING: REFER TO ROOF PLAN SHEET NOTES
 - WINDOWS: VINYL, SPEC PER BUILDER
 - GRID / DIVIDED LITES AS SHOWN
 - ENTRY DOORS: RAISED PANEL, SPEC PER BUILDER
 - OVER HEAD GARAGE DOORS:
 - STEEL SECTIONAL, SPEC PER BUILDER
 - RAISED PANEL AND GLASS INSERTS AS SHOWN.
 - FASCIA BOARD: 2X6, UNLESS NOTED OTHERWISE REFER TO ELEVATION KEYNOTES
 - BARGE RAFTER: 2X6, UNLESS NOTED OTHERWISE REFER TO ELEVATION KEYNOTES
 - ADDRESS NUMBERS: PLACE IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONTING PROPERTY (CRC R319.1)
 - NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND AND BE LEGIBLE.
 - NUMBERS SHALL BE A MINIMUM 4" HIGH WITH A MINIMUM STROKE WIDTH OF 1/2"
 - ROOF HEELS: LABELED AS
 - STANDARD HEEL: +0"
 - RAISED HEEL: INCREASED HEEL TO PLANE FASCIA. REFER TO TRUSS LAYOUTS
 - ATTACHMENT PENETRATIONS MADE THROUGH EXTERIOR FINISHES SHALL BE PRE-DRILLED AND FILLED WITH MASTIC AND, WHENEVER POSSIBLE, MADE OVER SELF-ADHERED FLASHING MEMBRANE LAPPED INTO WEATHER RESISTIVE BARRIER AND INTO SOLID BACKING.

- Elevation Keynotes:**
- MINIMUM CLASS 'A' ROOFING. REFER TO ROOF PLAN SHEET NOTES
 - 2X6 FASCIA / BARGE RAFTER:
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 - CORROSION RESISTANT ROOF TO WALL FLASHING REFER TO ROOF DETAILS
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 - UTILITY CONNECTIONS (TYPICAL), PER MUNICIPAL CODES REQUIRED AT ENHANCED ELEVATION ONLY

4/12/2021 PERMIT SET

Sheet Revisions		
#	DATE	COMMENT
XX	XXXX	INITIAL PLAN CHECK SUBMITTAL

PLAN 2096
 Sheet Description:
EXTERIOR ELEVATIONS "A" (RIGHT/LEFT)
 Sheet Number:
A5.2

Sheet Revisions		
#	DATE	COMMENT
1	XX.XXX	INITIAL PLAN CHECK SUBMITTAL

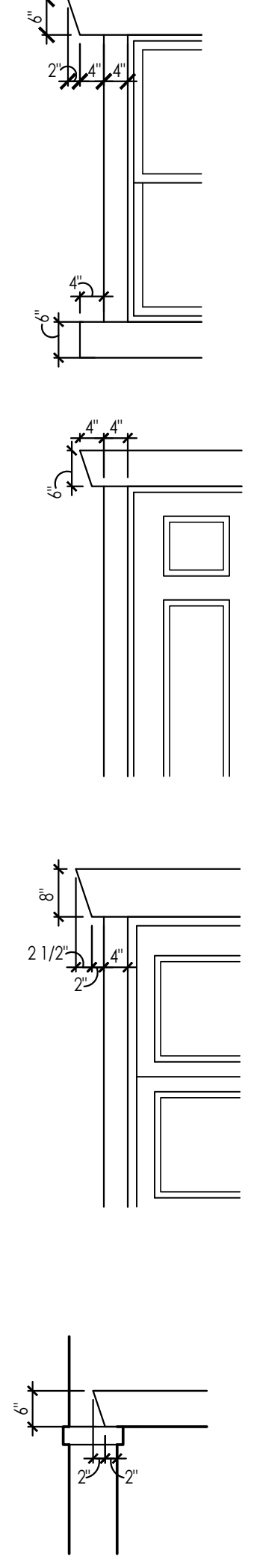
PLAN 2096
 Sheet Description:
 EXTERIOR ELEVATIONS
 "B" (FRONT / REAR)

Sheet Number:
A6.1

4/12/2021 PERMIT SET

Elevation Design Details: Sheet Notes:

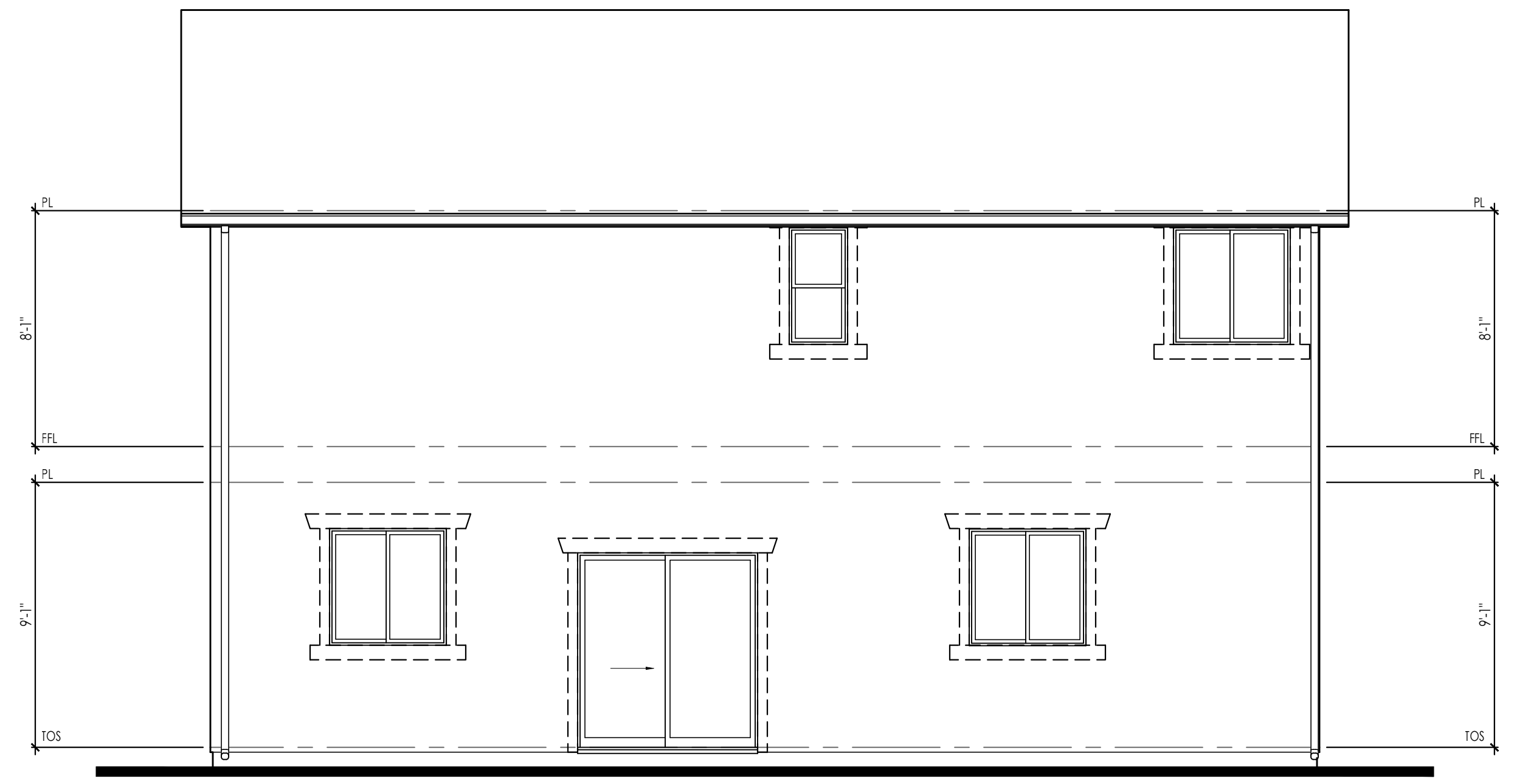
THE FOLLOWING DETAILS CONVEY DESIGN INTENT. REFER TO ARCHITECTURAL DETAILS FOR SPECIFIC CONSTRUCTION ASSEMBLIES.



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 - 1ST FLOOR = 7'-6" AFF (JUNO)
 - 2ND FLOOR = 7'-6" AFF (JUNO)
 - DOOR HEIGHTS AS NOTED ON FLOOR PLANS
- EXTERIOR WALLS (PER MFG INSTALLATION INSTRUCTIONS):
 - OMEGA DIAMOND WALL 1-COAT STUCCO SYSTEM: OVER MIN 1" FOAM INSULATION, OVER ONE LAYER OF 40-MINUTE GRADE D PAPER OR EQUAL, OVER STUDS OR WOOD-BASED SHEATHING. STUCCO CONTROL JOINT LOCATIONS SHALL BE COORDINATED WITH THE ARCHITECT PRIOR TO INSTALLATION. IF NOT SPECIFIED ON PLANS, (ESR 1194)
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- GRIDS / DIVIDED LITES AS SHOWN
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Elevation Keynotes:

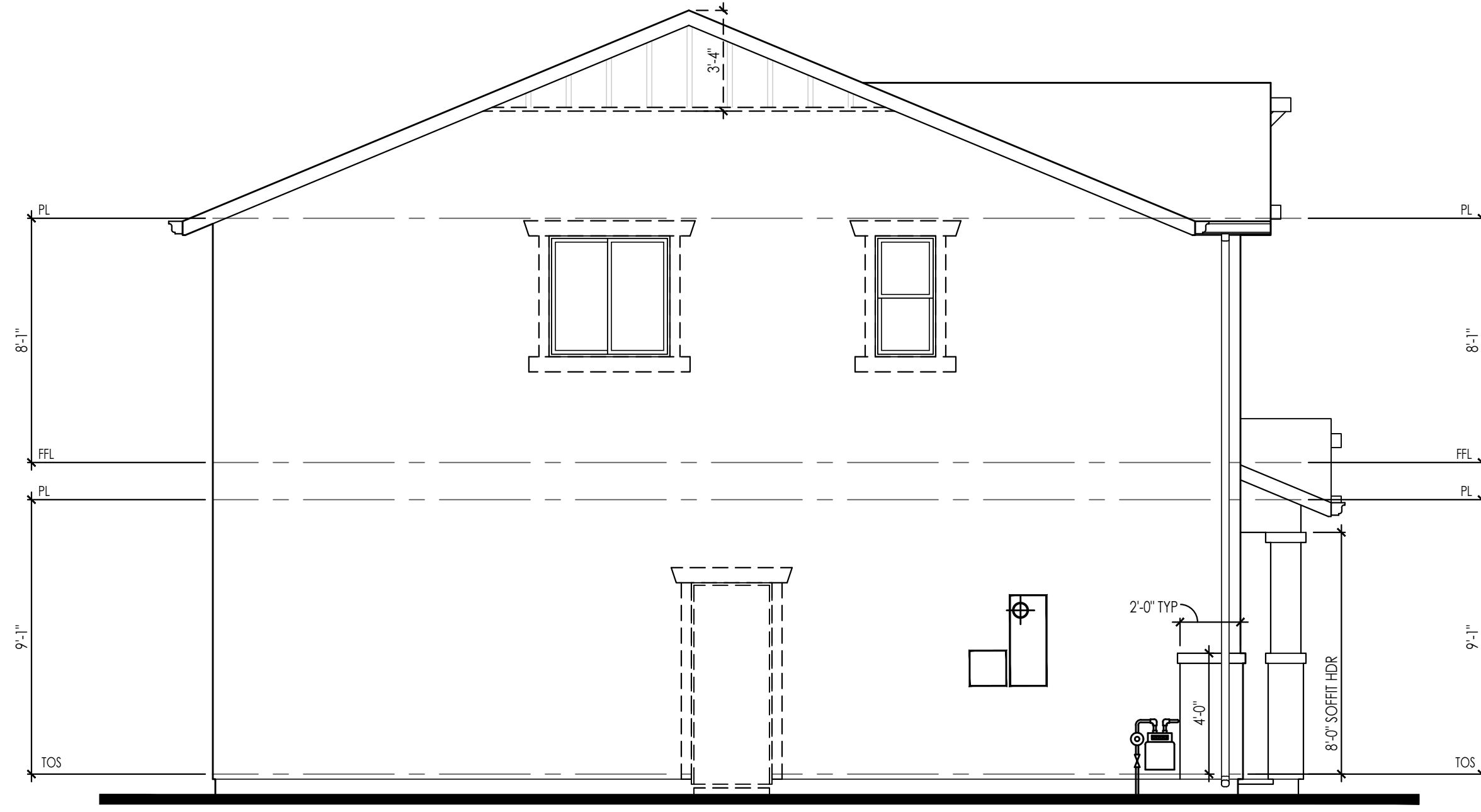
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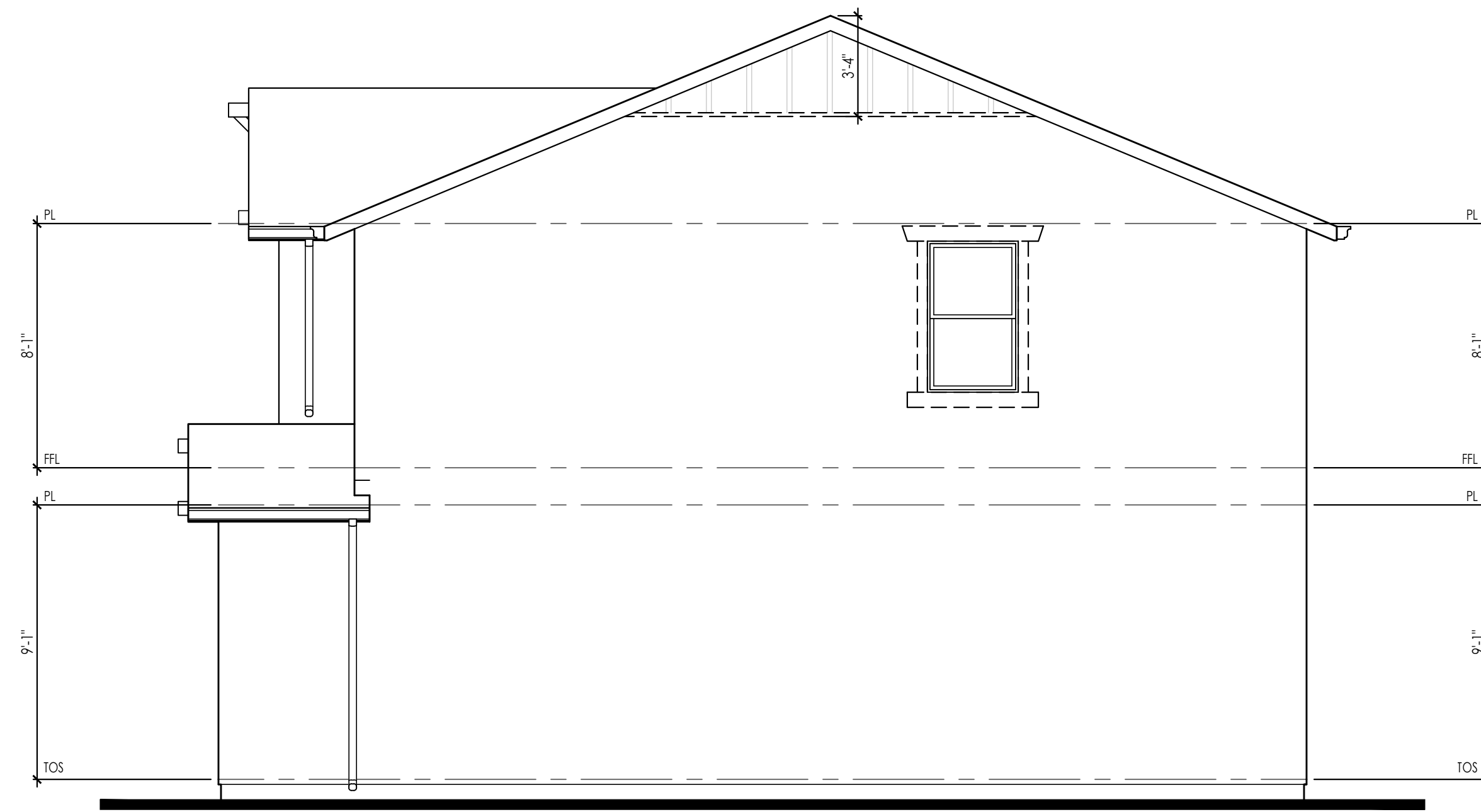
'BUNGALOW' (COMPOSITION SHINGLE)
REAR ELEVATION "B"
 1/4" = 1'-0"



'BUNGALOW' (COMPOSITION SHINGLE)
FRONT ELEVATION "B"
 1/4" = 1'-0"

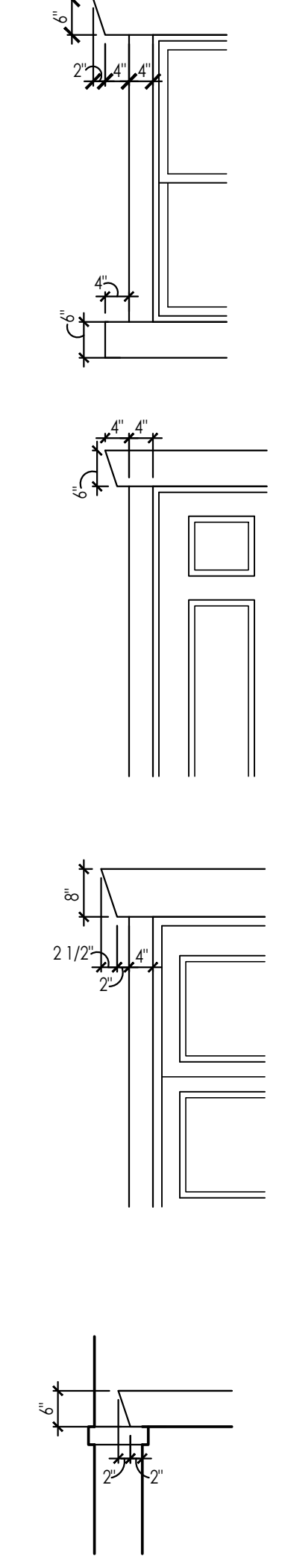


'BUNGALOW' (COMPOSITION SHINGLE)
LEFT ELEVATION "B"
 1/4" = 1'-0"



'BUNGALOW' (COMPOSITION SHINGLE)
RIGHT ELEVATION "B"
 1/4" = 1'-0"

Elevation Design Details:
 THE FOLLOWING DETAILS CONVEY DESIGN INTENT. REFER TO ARCHITECTURAL DETAILS FOR SPECIFIC CONSTRUCTION ASSEMBLIES.



- Sheet Notes:
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 - WINDOW HEAD HEIGHTS:
 - 1ST FLOOR = 7'-4" AFF (JUNO)
 - 2ND FLOOR = 7'-5" AFF (JUNO)
 - DOOR HEIGHTS AS NOTED ON FLOOR PLANS
 - EXTERIOR WALLS (PER MFG INSTALLATION INSTRUCTIONS):
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 - EXTERIOR SIDING MATERIAL, COMPOSITE WOOD:
 - LAP WITH 6" REVEAL
 - 1X2 BOARD & BATTEN (BATTEN AT 16" OC)
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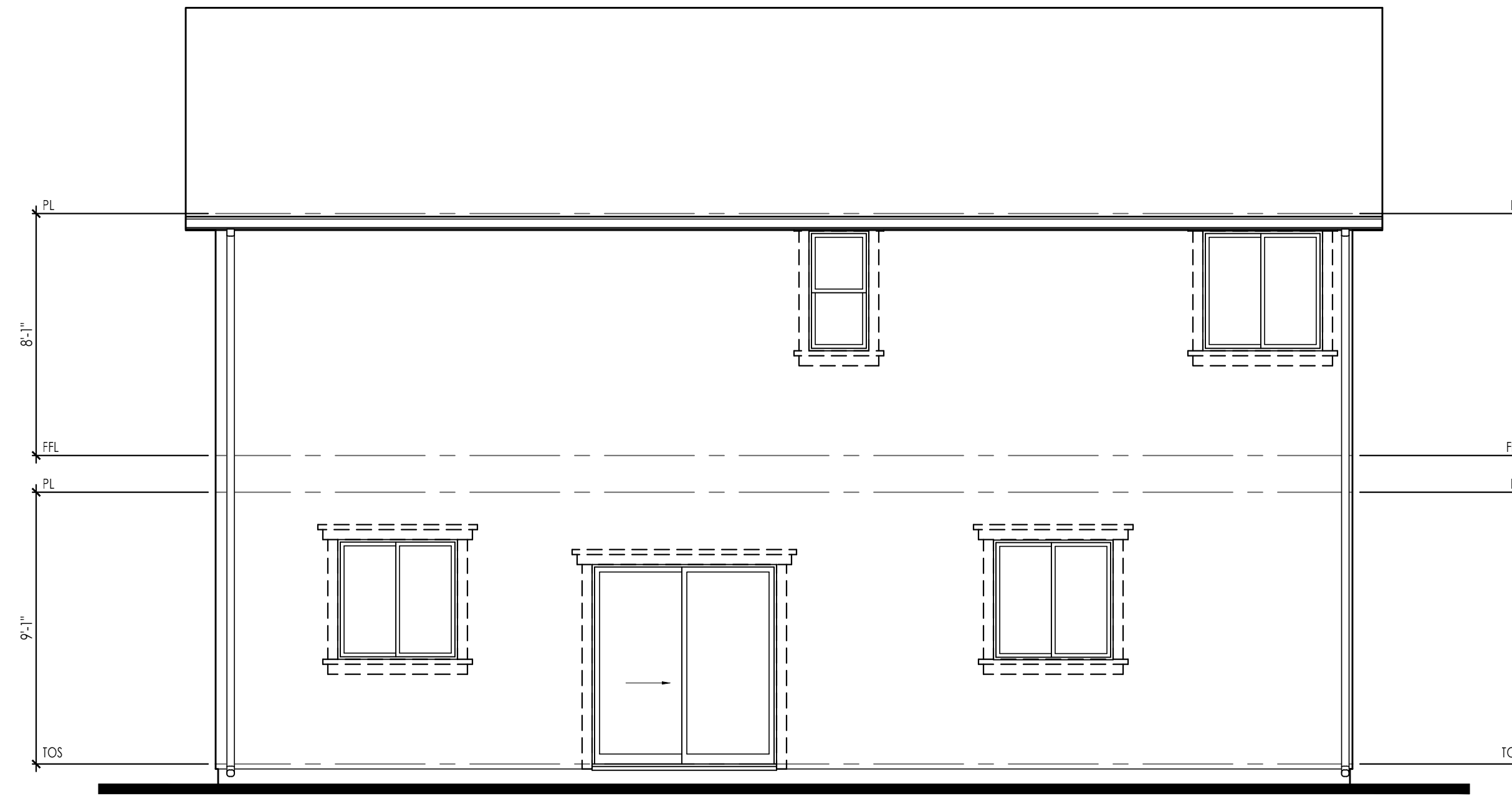
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JD+A Project Number: 21033

Sheet Revisions		
#	DATE	COMMENT
1	XX/XXX/XX	INITIAL PLAN CHECK SUBMITTAL

4/12/2021 PERMIT SET

PLAN 2096
 Sheet Description:
 EXTERIOR ELEVATIONS
 "B" (RIGHT/LEFT)
 Sheet Number:
A6.2

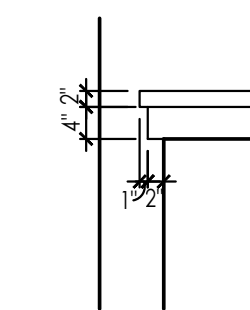
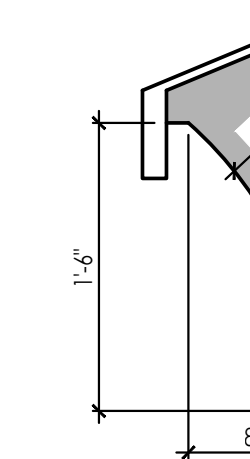
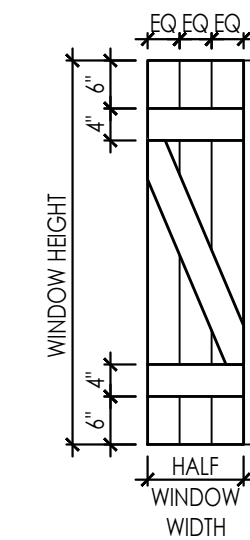
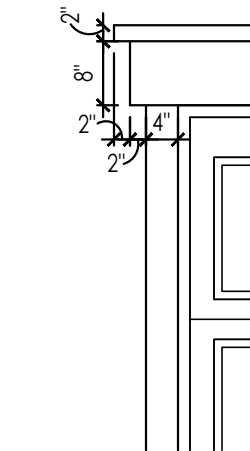
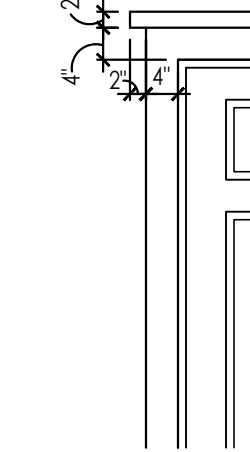
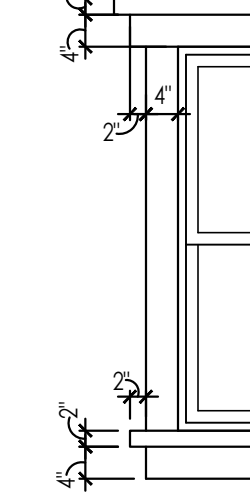


'COTTAGE' (COMPOSITION SHINGLE)
REAR ELEVATION "C"
 1/4" = 1'-0"



'COTTAGE' (COMPOSITION SHINGLE)
FRONT ELEVATION "C"
 1/4" = 1'-0"

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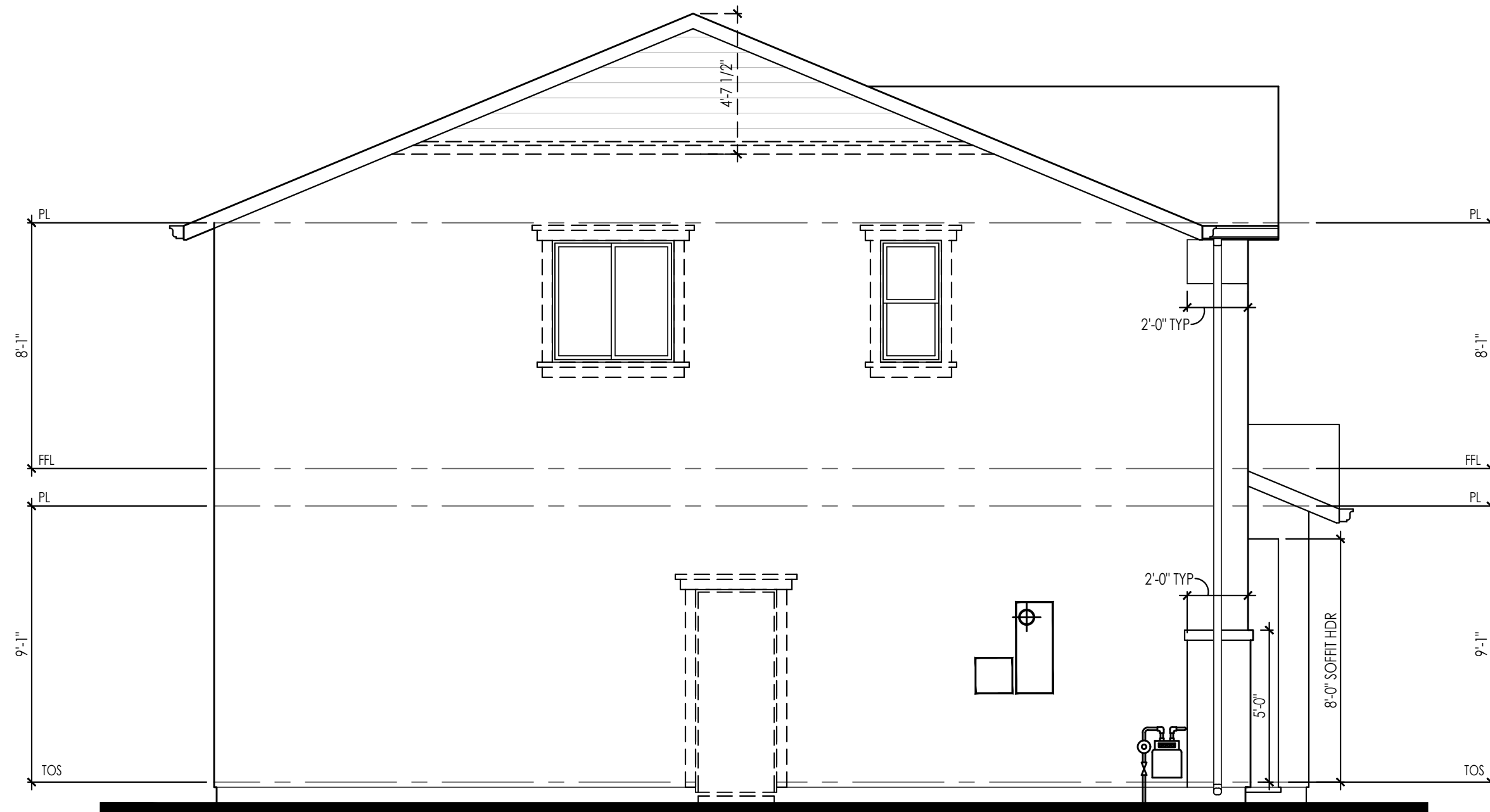


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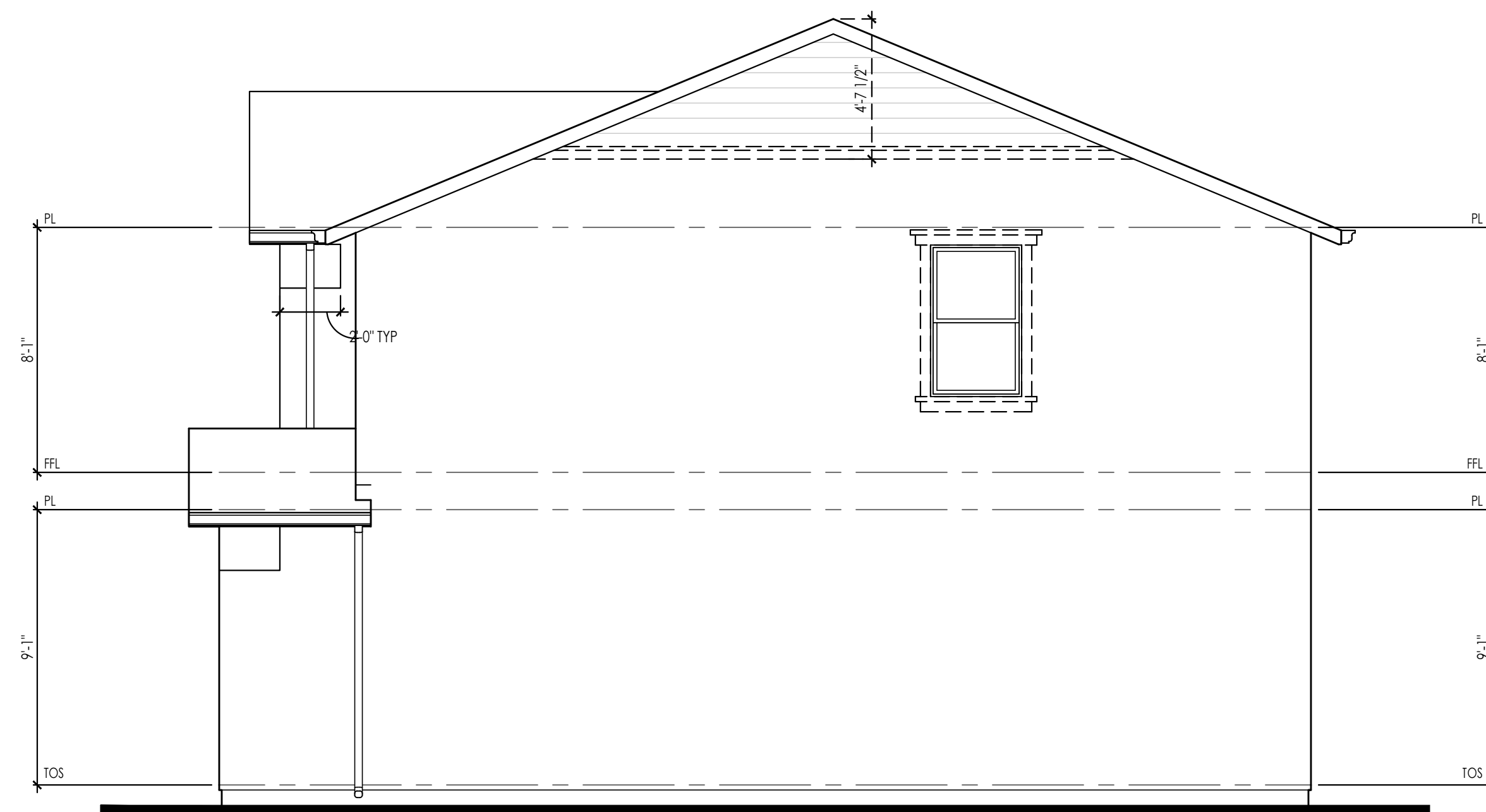
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XX.XXX		INITIAL PLAN CHECK SUBMITAL

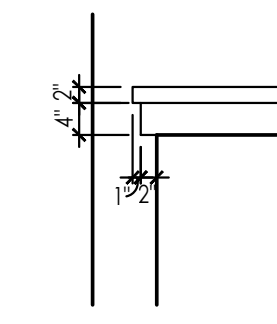
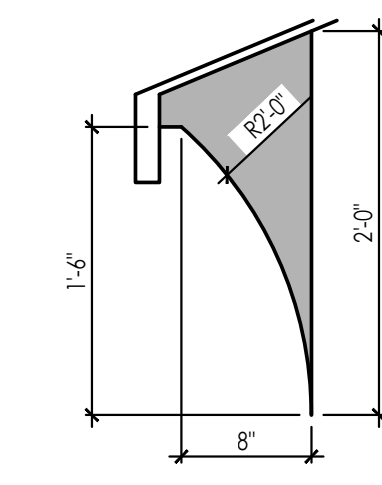
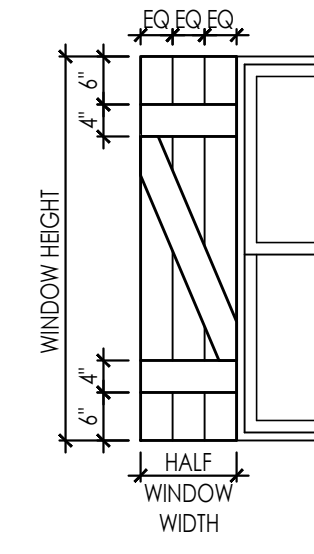
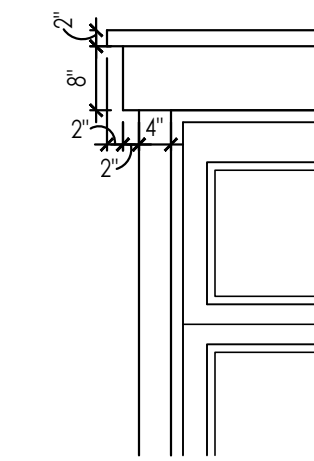
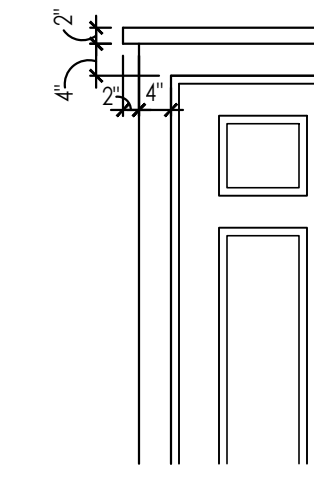
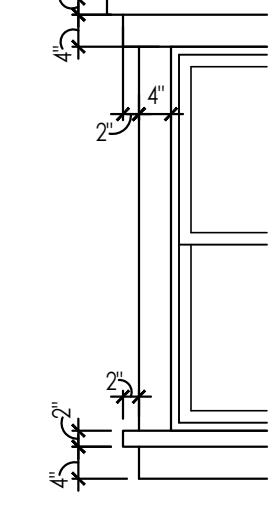


'COTTAGE' (COMPOSITION SHINGLE)
LEFT ELEVATION "C"
 1/4" = 1'-0"



'COTTAGE' (COMPOSITION SHINGLE)
RIGHT ELEVATION "C"
 1/4" = 1'-0"

Elevation Design Details:
 THE FOLLOWING DETAILS CONVEY DESIGN INTENT. REFER TO ARCHITECTURAL DETAILS FOR SPECIFIC CONSTRUCTION ASSEMBLIES.



- Sheet Notes:**
- PARTIAL AND OPTION ELEVATIONS SHOW ONLY THE ATTRIBUTES AND DETAILS UNIQUE TO THE PARTIAL OR OPTION ELEVATION. REFER TO BASE ELEVATION FOR INFORMATION NOT SHOWN.
 - WINDOW HEAD HEIGHTS:
 - 1ST FLOOR = 7'-6" AFF (JUNO)
 - 2ND FLOOR = 7'-5" AFF (JUNO)
 - DOOR HEIGHTS AS NOTED ON FLOOR PLANS
 - EXTERIOR WALLS (PER MFG INSTALLATION INSTRUCTIONS):
 - OMEGA DIAMOND WALL 1-COAT STUCCO SYSTEM: OVER MIN 1" FOAM INSULATION, OVER ONE LAYER OF 40-MINUTE GRADE D PAPER OR EQUAL, OVER STUDS OR WOOD-BASED SHEATHING. STUCCO CONTROL JOINT LOCATIONS SHALL BE COORDINATED WITH THE ARCHITECT PRIOR TO INSTALLATION, IF NOT SPECIFIED ON PLANS. (ESR 1194)
 - FIBER CEMENT SIDING: OVER ONE LAYER OF APPROVED WATER-RESISTIVE BARRIER, OVER STUDS OR SHEATHING.
 - ROOFING: REFER TO ROOF PLAN SHEET NOTES
 - WINDOWS: VINYL, SPEC PER BUILDER
 - ENTRY DOORS: RAISED PANEL, SPEC PER BUILDER
 - OVER HEAD GARAGE DOORS:
 - STEEL SECTIONAL, SPEC PER BUILDER
 - RAISED PANEL AND GLASS INSERTS AS SHOWN.
 - FASCIA BOARDS: 2X6, UNLESS NOTED OTHERWISE REFER TO ELEVATION KEYNOTES
 - BARGE RAFTER: 2X6, UNLESS NOTED OTHERWISE REFER TO ELEVATION KEYNOTES
 - ADDRESS NUMBERS: PLACE IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONTING PROPERTY (CRC R319.1)
 - A. NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND AND BE LEGIBLE.
 - B. NUMBERS SHALL BE A MINIMUM 4" HIGH WITH A MINIMUM STROKE WIDTH OF 1/2"
 - ROOF HEELS: LABELED AS
 - STANDARD HEEL: +0"
 - RAISED HEEL: INCREASED HEEL TO PLANE FASCIA. REFER TO TRUSS LAYOUTS
 - ATTACHMENT PENETRATIONS MADE THROUGH EXTERIOR FINISHES SHALL BE PRE-DRILLED AND FILLED WITH MASTIC AND, WHENEVER POSSIBLE: MADE OVER SELF-ADHERED FLASHING MEMBRANE LAPPED INTO WEATHER RESISTIVE BARRIER AND INTO SOLID BACKING.

Elevation Keynotes:

- MINIMUM CLASS 'A' ROOFING. REFER TO ROOF PLAN SHEET NOTES
- 2X6 FASCIA / BARGE RAFTER
- GUTTER, STYLE SPEC PER BUILDER
- DOWNSPOUT, STYLE SPEC PER BUILDER
- CORROSION RESISTANT ROOF TO WALL FLASHING REFER TO ROOF DETAILS
- EXTERIOR STUCCO, TYPICAL +0" (JUNO), STANDARD FINISH
- EXTERIOR SIDING MATERIAL, COMPOSITE WOOD:
 - A. LAP WITH 6" REVEAL
 - B. 1X2 BOARD & BATTEN (BATTEN AT 16" OC)
- TRIM, SIZE AS NOTED (HEIGHT X DEPTH) OR SEE DETAIL:
 - A. STUCCO OVER FOAM, LIGHT SAND FINISH.
 - B. COMPOSITE WOOD (NOMINAL SIZE)
- FAUX WOOD SHUTTER, ATTACHMENT PER MFG RECOMMENDATION (STYLE PER DESIGN DETAIL).
- DECORATIVE SHAPED STUCCO CORBEL, PER DESIGN DETAIL.
- WOOD KNEE BRACE ATTACHMENT PER DETAIL 17/AD1
- DECORATIVE WOOD BEAM, SIZE AS NOTED, SEE DETAIL 18/AD1 FOR ATTACHMENT AT GABLE.
- EXTERIOR COACH LIGHT: MOUNT AT +84" AFF (JUNO)
- ADDRESS NUMBER: MOUNT AT +66" AFF (JUNO)
- UTILITY CONNECTIONS (TYPICAL), PER MUNICIPAL CODES REQUIRED AT ENHANCED ELEVATION ONLY

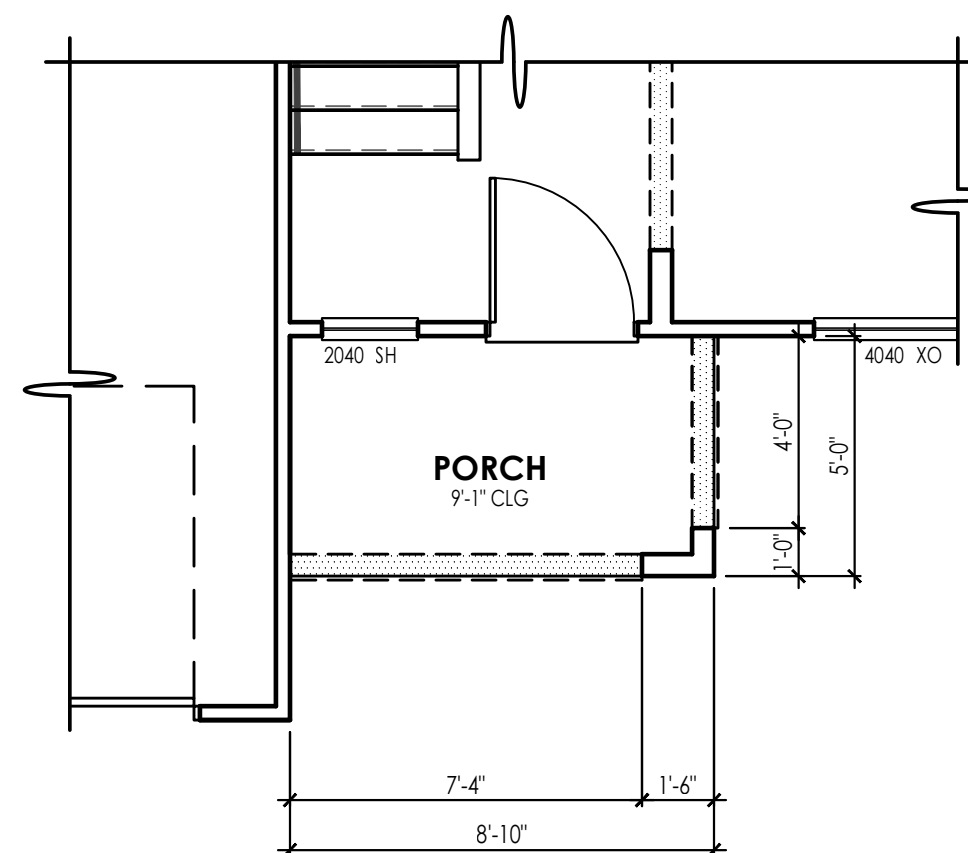
4/12/2021 PERMIT SET

Sheet Revisions		
#	DATE	COMMENT
1	XX.XXX	INITIAL PLAN CHECK SUBMITTAL

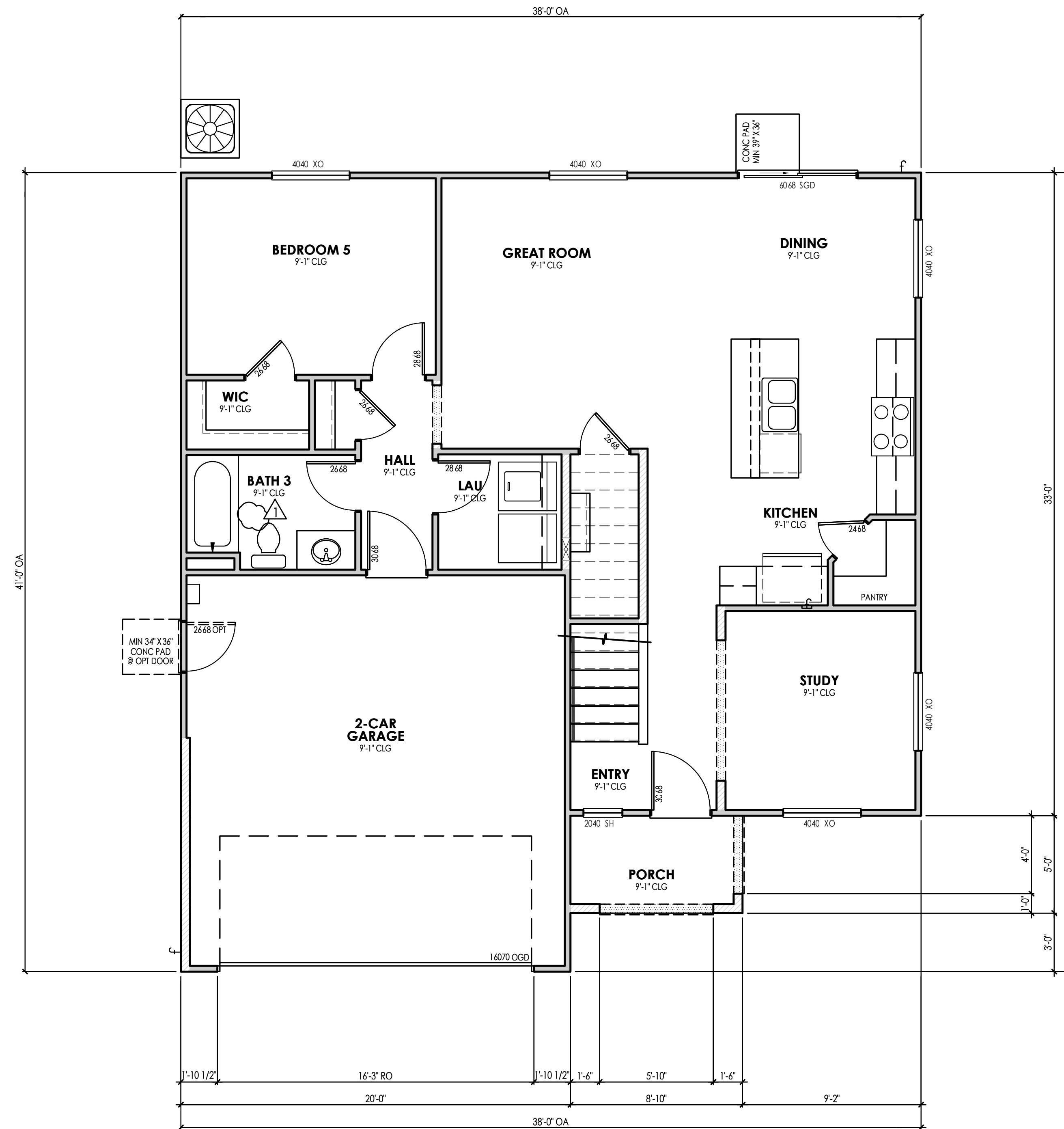
PLAN 2096
 Sheet Description:
EXTERIOR ELEVATIONS "B" (RIGHT/LEFT)

Sheet Number:
A7.2

Attachment 10: Plan 2222, Floor Plan and Elevations



ELEVATION "C"
PARTIAL FIRST FLOOR PLAN
1/4" = 1'-0"



ELEVATIONS "A" & "B"
FIRST FLOOR PLAN
1/4" = 1'-0"

Sheet Notes:

- FIRE BLOCKING SHALL BE PROVIDED IN ALL CONCEALED SPACES. (CRC SECTION R302.1)
- ALL DIAGONAL WALLS TO BE 45 DEGREES (UNO)
- WINDOW "HEAD" HEIGHTS:
 - 1ST FLOOR = 7'-6" AFF (UNO)
 - 2ND FLOOR = 7'-6" AFF (UNO)
 - DOOR HEIGHTS AS NOTED ON FLOOR PLANS
- ALL DOORS TO BE CENTERED WITHIN ADJACENT WALLS, OR DOOR JAMB TO BE FRAMED AT 3" UNLESS OTHERWISE DIMENSIONED
- PROVIDE BACKING FOR ALL HARDWARE FIXTURES (TOWEL BARS, ETC.) TOWEL BARS SHALL BE INSTALLED NO HIGHER THAN 48" AFF.
- REFER TO BASE FLOOR PLAN FOR INFORMATION NOT SHOWN ON PARTIAL FLOOR PLANS. HATCHED WALLS ON PARTIAL FLOOR PLANS INDICATE FRAMING CHANGES FROM BASE FLOOR PLAN
- ALL JOINTS, PENETRATIONS AND OTHER OPENINGS IN THE BUILDING ENVELOPE THAT ARE POTENTIAL SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKET, WEATHER-STRIPPED OR OTHERWISE SEALED TO LIMIT INFILTRATION AND EXFILTRATION. (CENC SECTION 110.7)

Floor Plan Keynotes:

DWELLING/GARAGE FIRE SEPARATION: ALL SURFACES SHALL BE PROTECTED WITH MINIMUM ONE (1) LAYER 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. ALL HORIZONTAL SURFACES WITH HABITABLE SPACE ABOVE SHALL BE PROTECTED WITH MINIMUM ONE (1) LAYER 5/8" TYPE 'X' GYPSUM BOARD APPLIED TO THE GARAGE SIDE. (CRC SECTION R302.6 & TABLE R302.6).

OPENING PROTECTION: WHERE THE RESIDENCE AND PRIVATE GARAGE ARE PROTECTED BY AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM, DOOR OPENINGS BETWEEN THE HOUSE AND THE GARAGE NEED ONLY BE SELF-CLOSING AND SELF-LATCHING. (CRC SECTION R302.5.1 EXCEPTION)

EMERGENCY ESCAPE AND RESCUE OPENINGS: EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE (1) OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. EMERGENCY OPENING SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44" MEASURED FROM THE FLOOR AND A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24" AND THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20". (CRC SECTION R310.2) WINDOWS USED FOR EMERGENCY ESCAPE AND RESCUE OPENING SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44 INCHES MEASURED FROM THE FLOOR.

TANKLESS WATER HEATER: SPEC PER ENERGY CALCULATIONS.
ATTIC ACCESS: PROVIDE A MINIMUM 22"x30" OPENING OR LARGE ENOUGH TO REMOVE THE LARGEST PIECE OF EQUIPMENT. (CRC SECTION R807.1 & CMC SECTION 304.4) LOCATION APPROXIMATE. VERIFY/COORDINATE WITH TRUSS LAYOUT. ACCESS PANEL TO BE WEATHER-STRIPPED AND HAVE PERMANENTLY ATTACHED INSULATION USING ADHESIVE OR MECHANICAL FASTENERS EQUIVALENT TO THE SURROUNDING AREA REQUIREMENTS. (SECTION 150 OF CALIFORNIA ENERGY CODE)

A/C CONDENSER: PROVIDE MINIMUM 30"x30" CONCRETE PAD, MINIMUM 3" ABOVE GRADE. LOCATE PER PLOT PLAN.
TEMPERED SAFETY GLASS: PROVIDE TEMPERED GLASS AT HAZARDOUS LOCATIONS PER REQUIREMENTS. (CRC SECTION R308.4)
GLAZING IN WALLS WITHIN 60 INCHES OF A WET SURFACE SHALL BE CONSIDERED A HAZARDOUS LOCATION. EXCEPTION: MORE THAN 60 INCHES AND IN A STRAIGHT LINE FROM THE WATER'S EDGE.
GLAZING WHERE THE BOTTOM EDGE IS LESS THAN 36" ABOVE AN ADJACENT WALKING SURFACE OF STAIRS, LANDINGS, AND RAMPS SHALL BE CONSIDERED A HAZARDOUS LOCATION. EXCEPTION: GLAZING ADJACENT TO A WALKING SURFACE AND A HORIZONTAL RAIL INSTALLED 34 TO 38 INCHES ABOVE THE WALKING SURFACE.
GLAZING ADJACENT TO THE BOTTOM OF A STAIR LANDING IS LESS THAN 36 INCHES AND IS WITHIN 60 INCHES FROM THE BOTTOM TREAD NOSE SHALL BE CONSIDERED A HAZARDOUS LOCATION. EXCEPTION: WHERE GLAZING IS PROTECTED BY A GUARD COMPLYING WITH SECTION R312 AND THE GLASS IS MORE THAN 18 INCHES ABOVE THE GUARD.

DRYER: VENT DUCT SHALL BE OF A RIGID METALLIC MATERIAL AND SHALL HAVE SMOOTH INTERIOR SURFACES. EXTENDING TO EXTERIOR WITH BACKDRAFT DAMPER. TRANSITION DUCTS MUST BE IN ACCORDANCE WITH UL 2158A (CMC SECTION 504.4) SEE DETAIL 7/A/D3

WASHING MACHINE: PROVIDE PRE-FABRICATED CORROSION RESISTANT PAN UNDER WASHING MACHINE LOCATED ON UPPER FLOOR. DRAIN TO EXTERIOR.
UPPER CABINETS: WALL MOUNTED ABOVE. 12" DEEP TYPICAL. 24" DEEP ABOVE REFRIGERATOR.

SHOWERS & TUB/SHOWER COMBINATIONS: FLOORS AND WALLS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR. (CRC SECTION R307.2)
MATERIALS USED AS BACKERS FOR WALL TILE IN TUB AND SHOWER AREAS SHALL BE OF MATERIALS LISTED IN TABLE R702.2.2 AND SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECS. (CRC SECTION R702.4.2) LOCATE SHOWER HEAD AT +84" AFF. GLAZING IN ALL FIXED AND OPERABLE PANELS OF A SWINGING, SLIDING, OR BI-FOLD DOOR SHALL BE CONSIDERED A HAZARDOUS LOCATION AND SHALL COMPLY WITH CRC SECTIONS R308.3 & R308.4.

COOKING APPLIANCES: 36" RANGE, MICRO/HOOD, LIGHT, EXHAUST FAN ABOVE. FAN: MIN 100 CFM FOR LOCAL EXHAUST VENTILATION. (BUILDING ENERGY EFFICIENCY STANDARDS)

PANTRY / LINEN: (5) SHELVES, EQUAL SPACING.
INTERIOR FLAT SOFFIT: FIRST FLOOR FRAME AT 8'-1" AFF (UNO), SECOND FLOOR FRAME AT 7'-1" AFF (UNO).
EXTERIOR SOFFIT OR ARCH: SEE EXTERIOR ELEVATIONS FOR DIMENSIONS.

DASHED LINE INDICATES OUTLINE OF FLOOR ABOVE.
SOLID LINE INDICATES OUTLINE OF FLOOR BELOW.
LOW WALL: PROVIDE WITH DOUBLE TOP PLATE. HEIGHT AT +42" AFF. (UNO)

UNDER-STAIR PROTECTION: ENCLOSED SPACE UNDER STAIRS THAT IS ACCESSED BY A DOOR OR ACCESS PANEL SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" INCH GYPSUM BOARD (CRC SECTION R302.7)

STAIRWAYS: SHALL NOT BE LESS THAN 36" IN CLEAR WIDTH (AND NOT HAVE A VERTICAL RISE OF MORE THAN 151"). MINIMUM HEADROOM SHALL NOT BE LESS THAN 6'-8". MAXIMUM RISER HEIGHT SHALL BE 7-3/4". AND MINIMUM TREAD DEPTH SHALL BE 10". (CRC SECTION R311.7)

HANDRAILS (AND GUARDS WHERE THE TOP OF THE GUARD ALSO SERVES AS A HANDRAIL) SHALL BE PROVIDED ON NOT LESS THAN ONE SIDE OF EACH FLIGHT OF STAIRS WITH FOUR OR MORE RISERS. HEIGHT SHALL BE NOT LESS THAN 34" AND NOT MORE THAN 38". AND CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT. (CRC SECTION R311.7.8) SEE DETAIL 6/A/D3

GUARDS: SHALL BE NOT LESS THAN 42" IN HEIGHT VERTICALLY ABOVE THE WALKING SURFACE OR THE LINE CONNECTING THE NOSING. RAIL DESIGN TO COMPLY WITH CODE. (CRC SECTION R312) SEE DETAIL 6/A/D3

PROVIDE MINIMUM 30" WIDE CLEAR SPACE AT WATER CLOSET, THAT EXTENDS AT LEAST 24" IN FRONT OF THE WATER CLOSET.

Sheet Revisions		
#	DATE	COMMENT
01	27.21	INITIAL PLAN CHECK SUBMITTAL
03	25.21	PC 1 REVISION

Floor Area	
LIVING AREA:	
FIRST FLOOR LIVING:	1011.0 SQ. FT.
SECOND FLOOR LIVING:	1210.8 SQ. FT.
TOTAL LIVING AREA:	2222 SQ. FT.
OTHER AREAS:	
GARAGE:	403 SQ. FT.
COVERED PORCH:	44 SQ. FT.

#	DATE	COMMENT
01	27.21	INITIAL PLAN CHECK SUBMITAL
03	25.21	PC 1 REVISION

PLAN 2222
 Sheet Description:
SECOND FLOOR PLAN

Sheet Number:
A3.2

Sheet Notes:

- FIRE BLOCKING SHALL BE PROVIDED IN ALL CONCEALED SPACES. (CRC SECTION R302.1)
- ALL DIAGONAL WALLS TO BE 45 DEGREES (UNO)
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 - 1ST FLOOR = 7'-6" AFF (UNO)
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Floor Plan Keynotes:

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DASHED LINE INDICATES OUTLINE OF FLOOR ABOVE. SOLID LINE INDICATES OUTLINE OF FLOOR BELOW.

LOW WALL: PROVIDE WITH DOUBLE TOP PLATE, HEIGHT AT +42" AFF. (UNO)

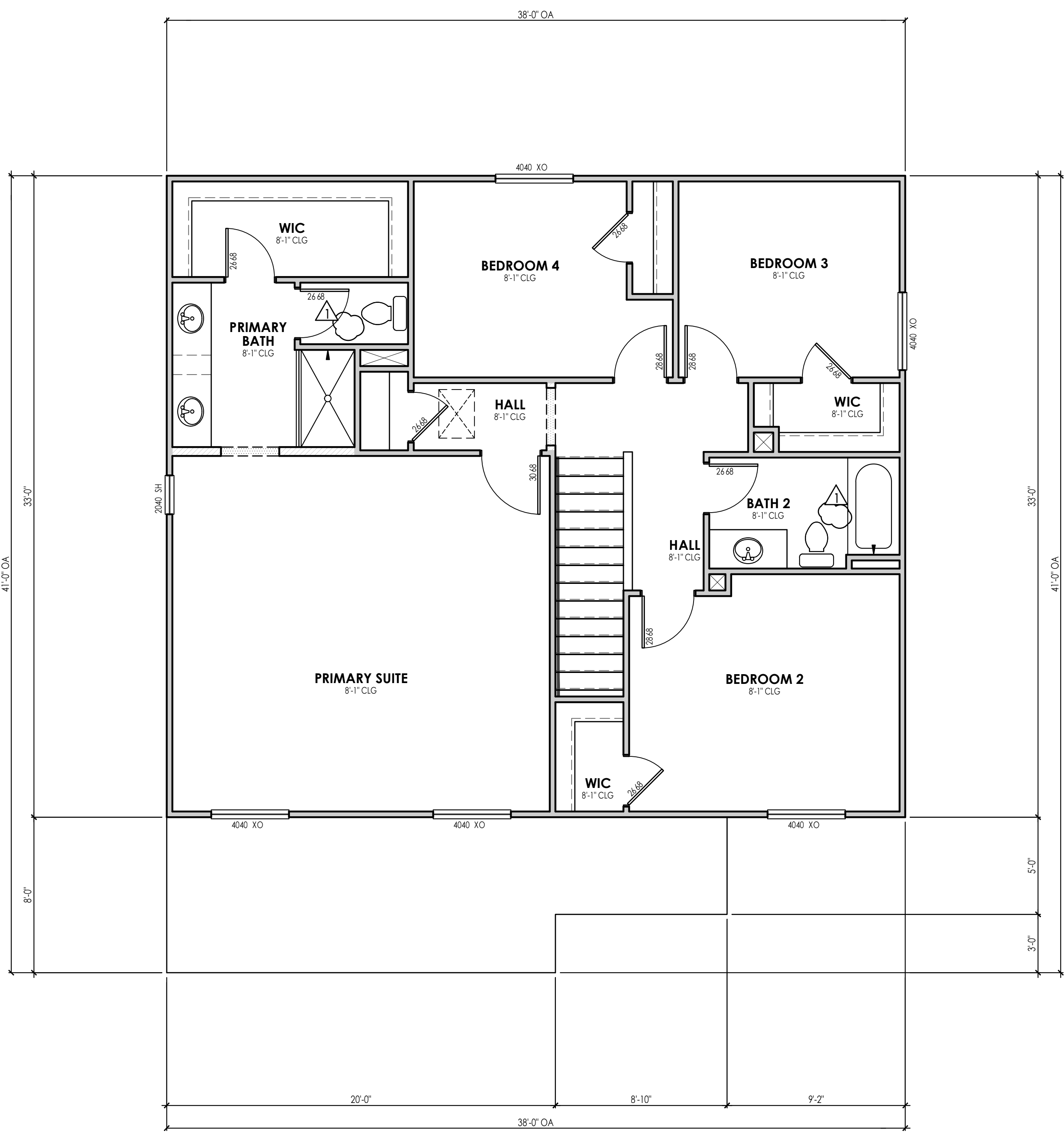
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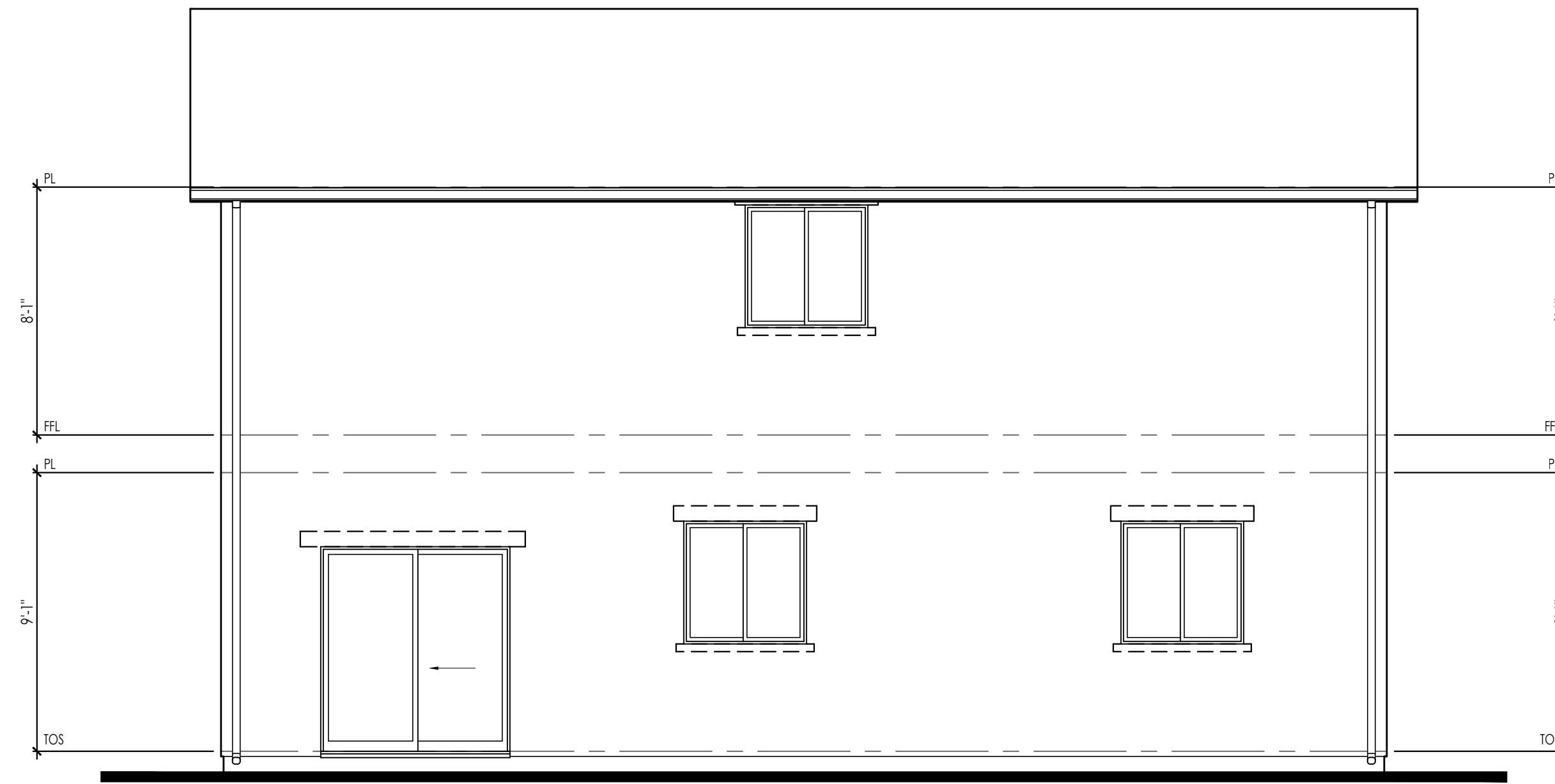
PROVIDE MINIMUM 30" WIDE CLEAR SPACE AT WATER CLOSET, THAT EXTENDS AT LEAST 24" IN FRONT OF THE WATER CLOSET.



**ALL ELEVATIONS
 SECOND FLOOR PLAN**
 1/4" = 1'-0"

Floor Area	
LIVING AREA:	
FIRST FLOOR LIVING:	1011.0 SQ. FT.
SECOND FLOOR LIVING:	1210.8 SQ. FT.
TOTAL LIVING AREA:	2222 SQ. FT.
OTHER AREAS:	
GARAGE:	403 SQ. FT.
COVERED PORCH:	44 SQ. FT.

4/12/2021 PERMIT SET

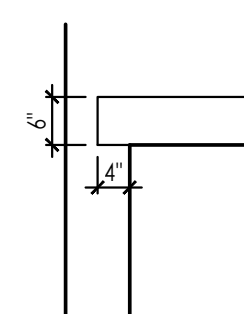
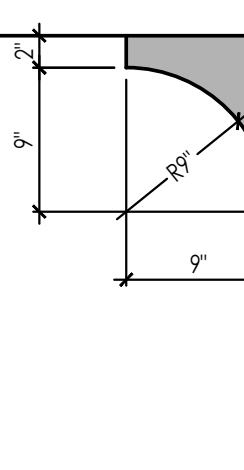
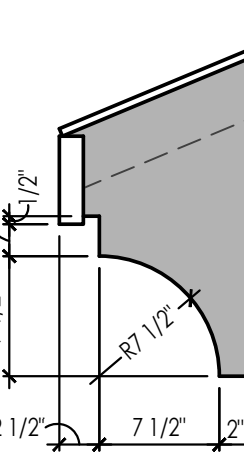
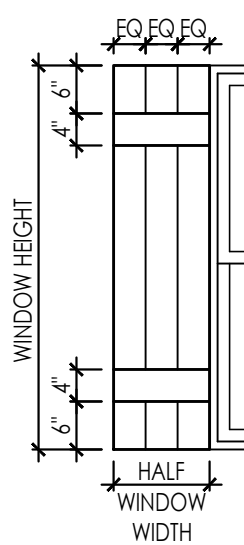
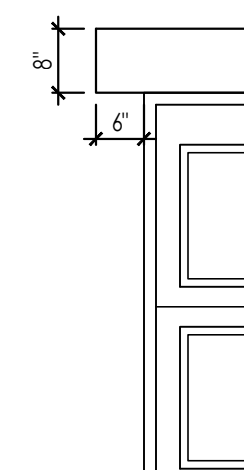
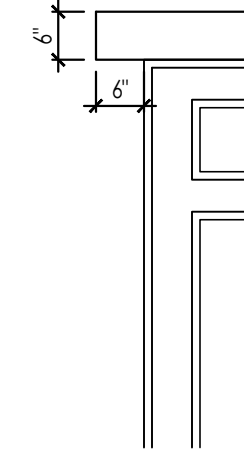
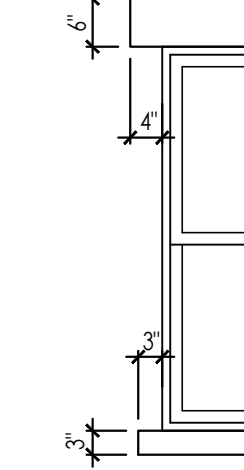


'EARLY CALIFORNIA' (COMPOSITION SHINGLE)
REAR ELEVATION "A"
 1/4" = 1'-0"



'EARLY CALIFORNIA' (COMPOSITION SHINGLE)
FRONT ELEVATION "A"
 1/4" = 1'-0"

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 THE FOLLOWING DETAILS CONVEY DESIGN INTENT. REFER TO ARCHITECTURAL DETAILS FOR SPECIFIC CONSTRUCTION ASSEMBLIES.



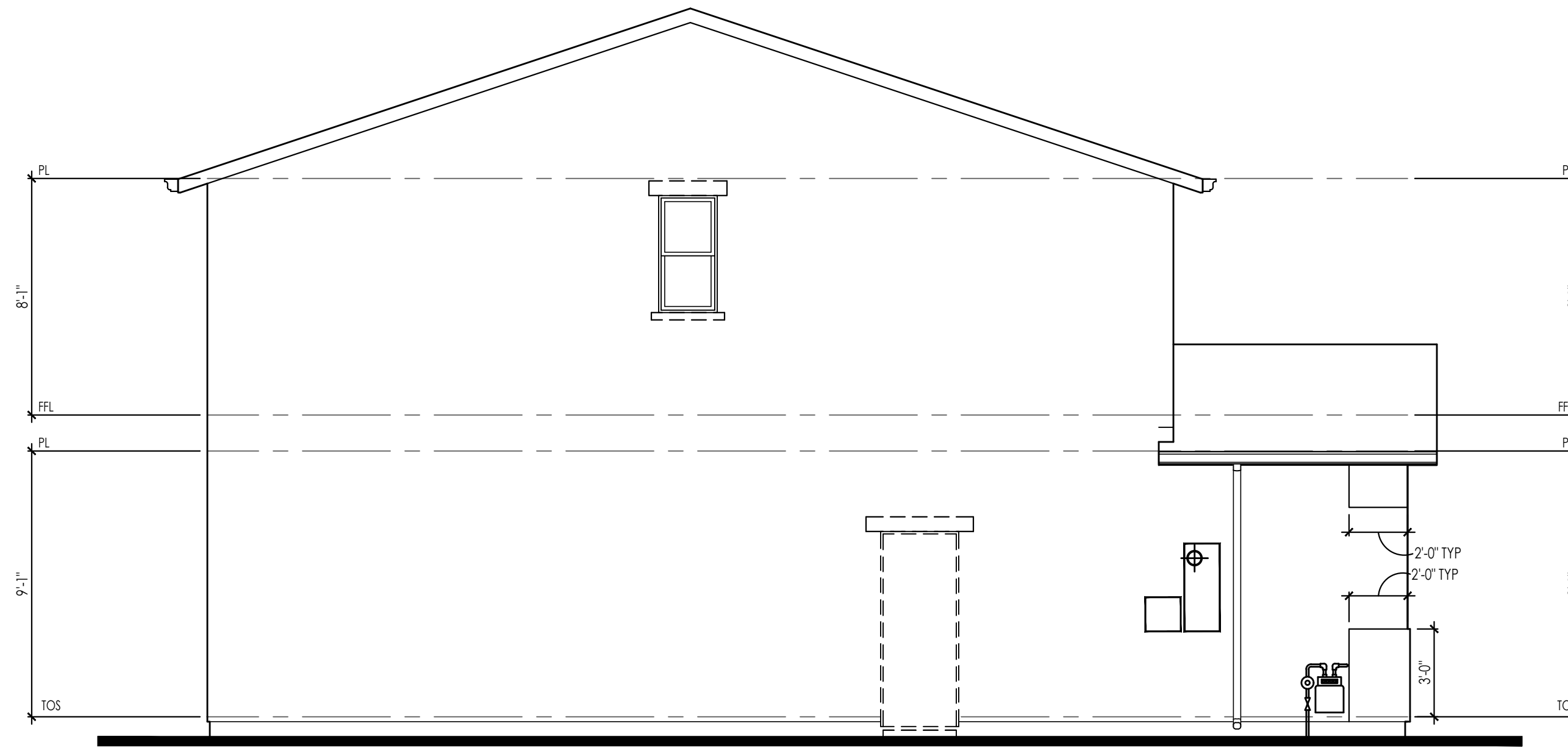
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 - GRIDS / DIVIDED LITES AS SHOWN
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 - STANDARD HEEL: +0"
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 - ATTACHMENT PENETRATIONS MADE THROUGH EXTERIOR FINISHES SHALL BE PRE-DRILLED AND FILLED WITH MASTIC AND, WHENEVER POSSIBLE; MADE OVER SELF-ADHERED FLASHING MEMBRANE LAPPED INTO WEATHER RESISTIVE BARRIER AND INTO SOLID BACKING.

- Elevation Keynotes:**
- MINIMUM CLASS 'A' ROOFING. REFER TO ROOF PLAN SHEET NOTES
 - 2X6 FASCIA / BARGE RAFTER:
 - GUTTER, STYLE SPEC PER BUILDER
 - DOWNSPOUT, STYLE SPEC PER BUILDER
 - CORROSION RESISTANT ROOF TO WALL FLASHING REFER TO ROOF DETAILS
 - EXTERIOR STUCCO, TYPICAL +0" (LINO), STANDARD FINISH
 - EXTERIOR SIDING MATERIAL, COMPOSITE WOOD:
 - A. LAP WITH 6" REVEAL
 - B. 1X2 BOARD & BATTEN (BATTEN AT 16" OC)
 - TRIM, SIZE AS NOTED (HEIGHT X DEPTH) OR SEE DETAIL:
 - A. STUCCO OVER FOAM, LIGHT SAND FINISH.
 - B. COMPOSITE WOOD (NOMINAL SIZE)
 - FAUX WOOD SHUTTER, ATTACHMENT PER MFG RECOMMENDATION (STYLE PER DESIGN DETAIL).
 - DECORATIVE SHAPED STUCCO CORBEL, PER DESIGN DETAIL.
 - WOOD KNEE BRACE ATTACHMENT PER DETAIL 17/AD1
 - DECORATIVE WOOD BEAM, SIZE AS NOTED, SEE DETAIL 18/AD1 FOR ATTACHMENT AT GABLE.
 - EXTERIOR COACH LIGHT; MOUNT AT +84" AFF (LINO)
 - ADDRESS NUMBER: MOUNT AT +66" AFF (LINO)
 - UTILITY CONNECTIONS (TYPICAL), PER MUNICIPAL CODES REQUIRED AT ENHANCED ELEVATION ONLY

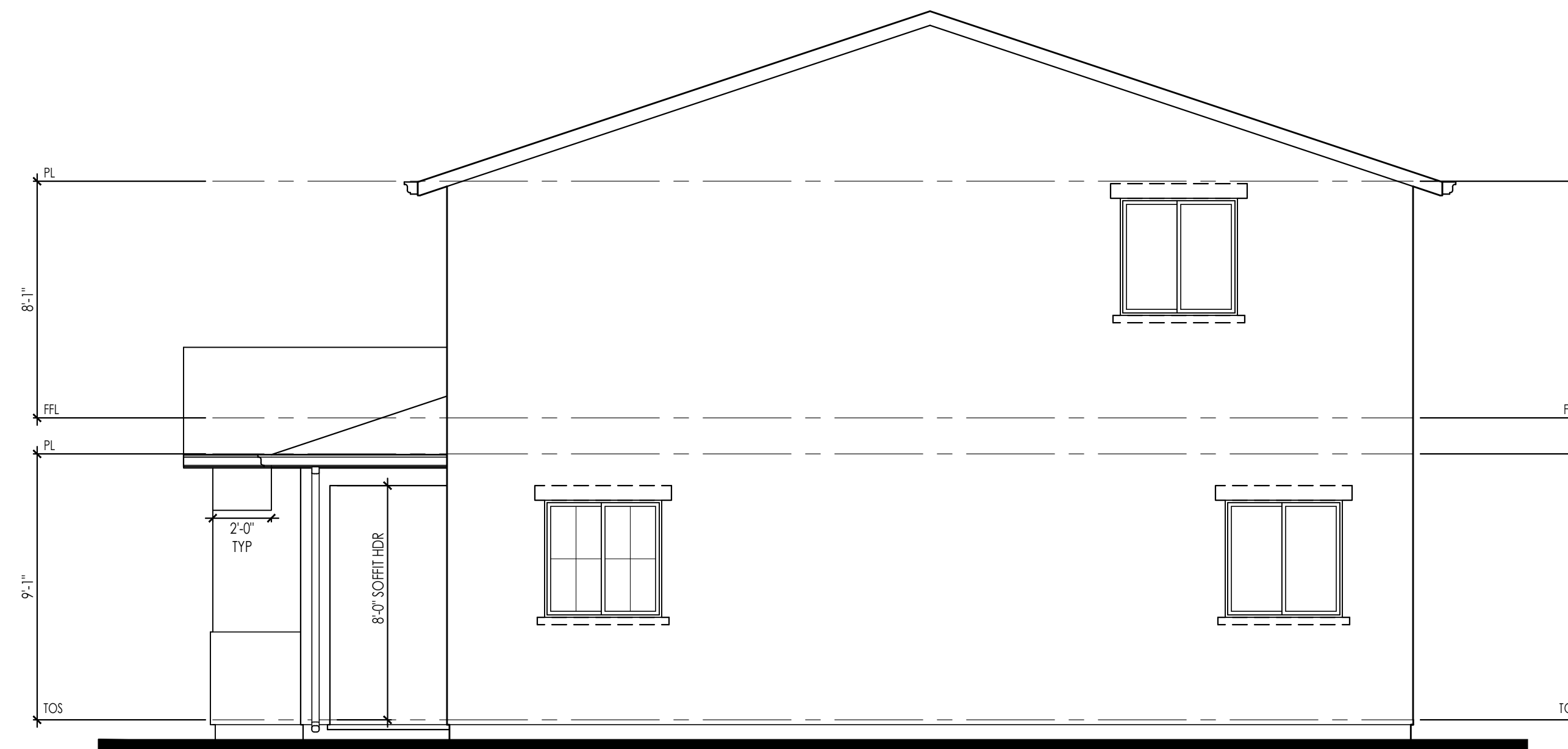
4/12/2021 PERMIT SET

Sheet Revisions		
#	DATE	COMMENT
01	01.27.21	INITIAL PLAN CHECK SUBMITAL
2	03.25.21	PC 1 REVISION

PLAN 2222
 Sheet Description:
EXTERIOR ELEVATIONS "A" (FRONT / REAR)
 Sheet Number:
A5.1

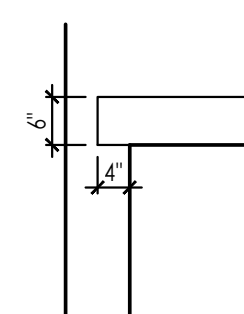
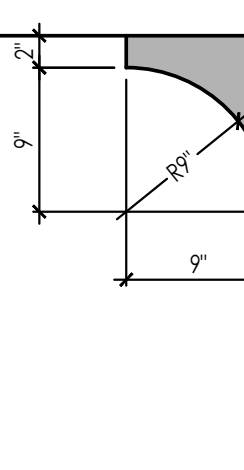
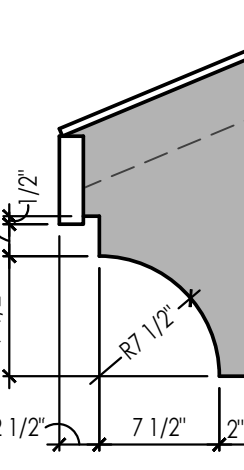
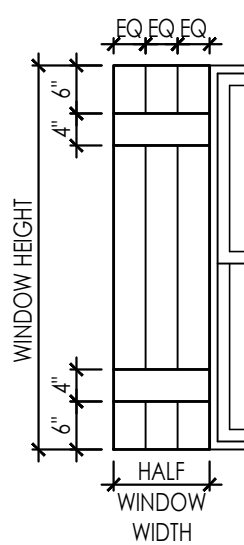
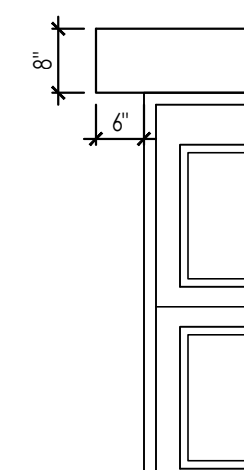
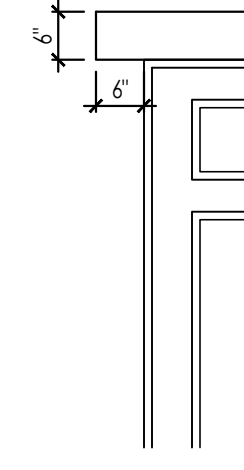
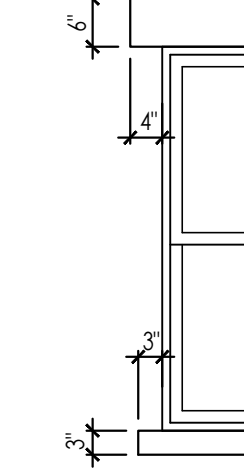


'EARLY CALIFORNIA' (COMPOSITION SHINGLE)
LEFT ELEVATION "A"
 1/4" = 1'-0"



'EARLY CALIFORNIA' (COMPOSITION SHINGLE)
RIGHT ELEVATION "A"
 1/4" = 1'-0"

Elevation Design Details:
 THE FOLLOWING DETAILS CONVEY DESIGN INTENT. REFER TO ARCHITECTURAL DETAILS FOR SPECIFIC CONSTRUCTION ASSEMBLIES.

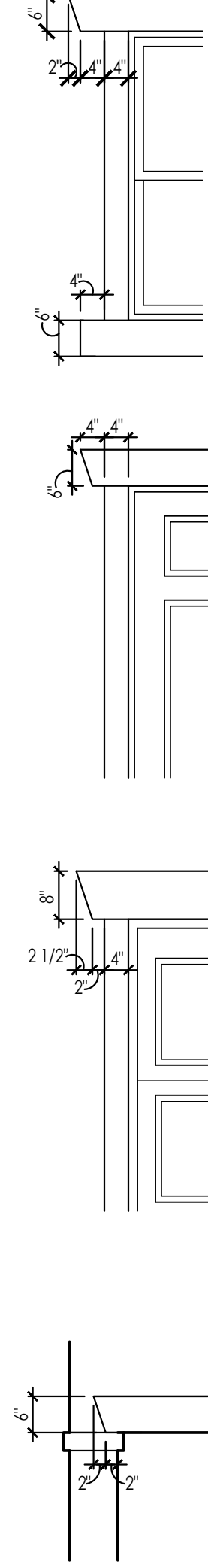


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 - EXTERIOR WALLS (PER MFG INSTALLATION INSTRUCTIONS):
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 - FIBER CEMENT SIDING; OVER ONE LAYER OF APPROVED WATER-RESISTIVE BARRIER; OVER STUDS OR SHEATHING.
 - ROOFING: REFER TO ROOF PLAN SHEET NOTES
 - WINDOWS: VINYL, SPEC PER BUILDER
 - GRIDS / DIVIDED LITES AS SHOWN
 - ENTRY DOORS: RAISED PANEL, SPEC PER BUILDER
 - OVER HEAD GARAGE DOORS:
 - STEEL SECTIONAL, SPEC PER BUILDER
 - RAISED PANEL AND GLASS INSERTS AS SHOWN.
 - FASCIA BOARD: 2X6, UNLESS NOTED OTHERWISE. REFER TO ELEVATION KEYNOTES
 - BARGE RAFTER: 2X6, UNLESS NOTED OTHERWISE. REFER TO ELEVATION KEYNOTES
 - ADDRESS NUMBERS: PLACE IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONTING PROPERTY (CRC R319.1)
 - NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND AND BE LEGIBLE.
 - NUMBERS SHALL BE A MINIMUM 4" HIGH WITH A MINIMUM STROKE WIDTH OF 1/2"
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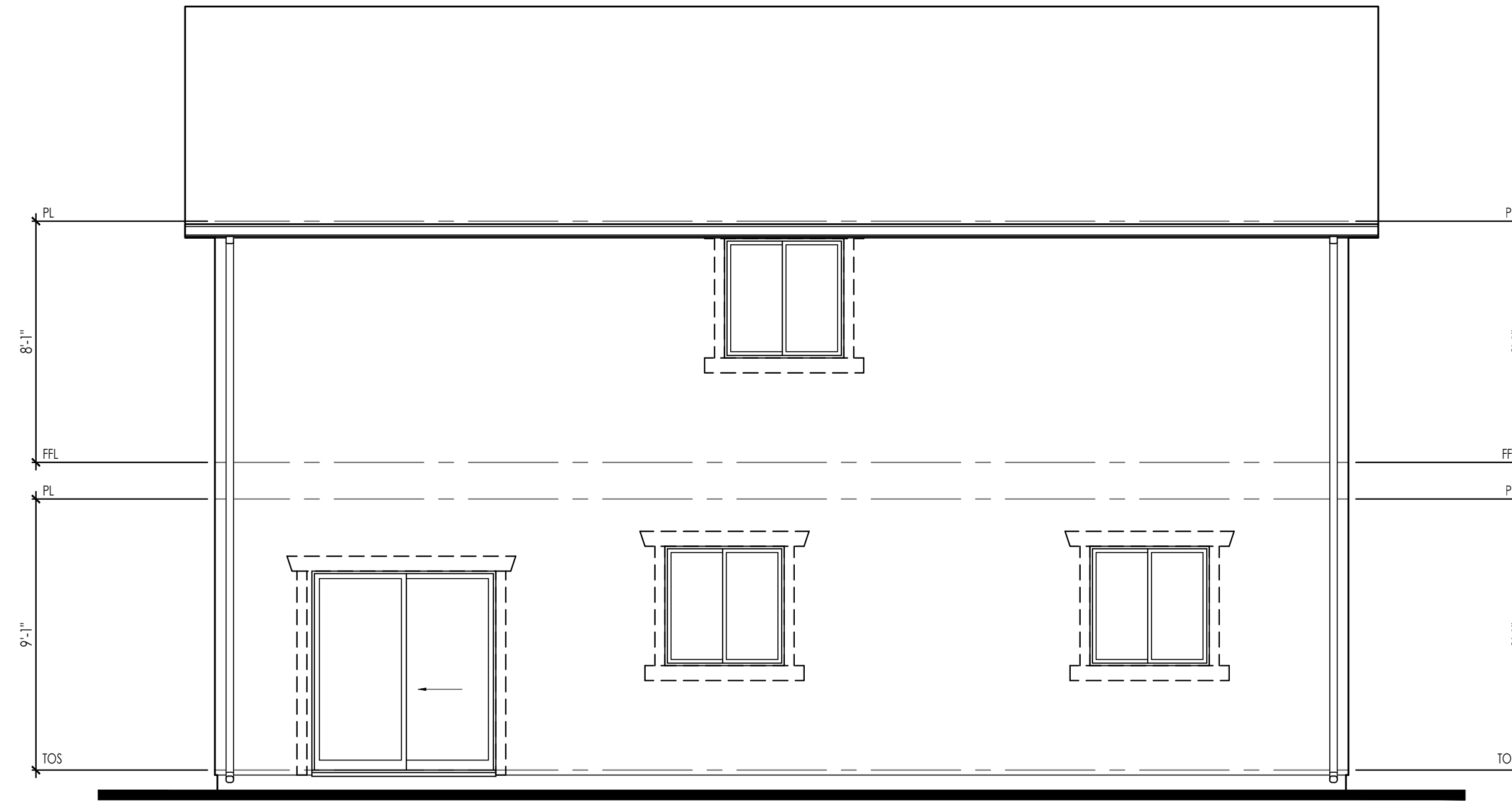
Sheet Revisions		
#	DATE	COMMENT
01	01.27.21	INITIAL PLAN CHECK SUBMITTAL
02	03.25.21	PC 1 REVISION

Elevation Design Details:
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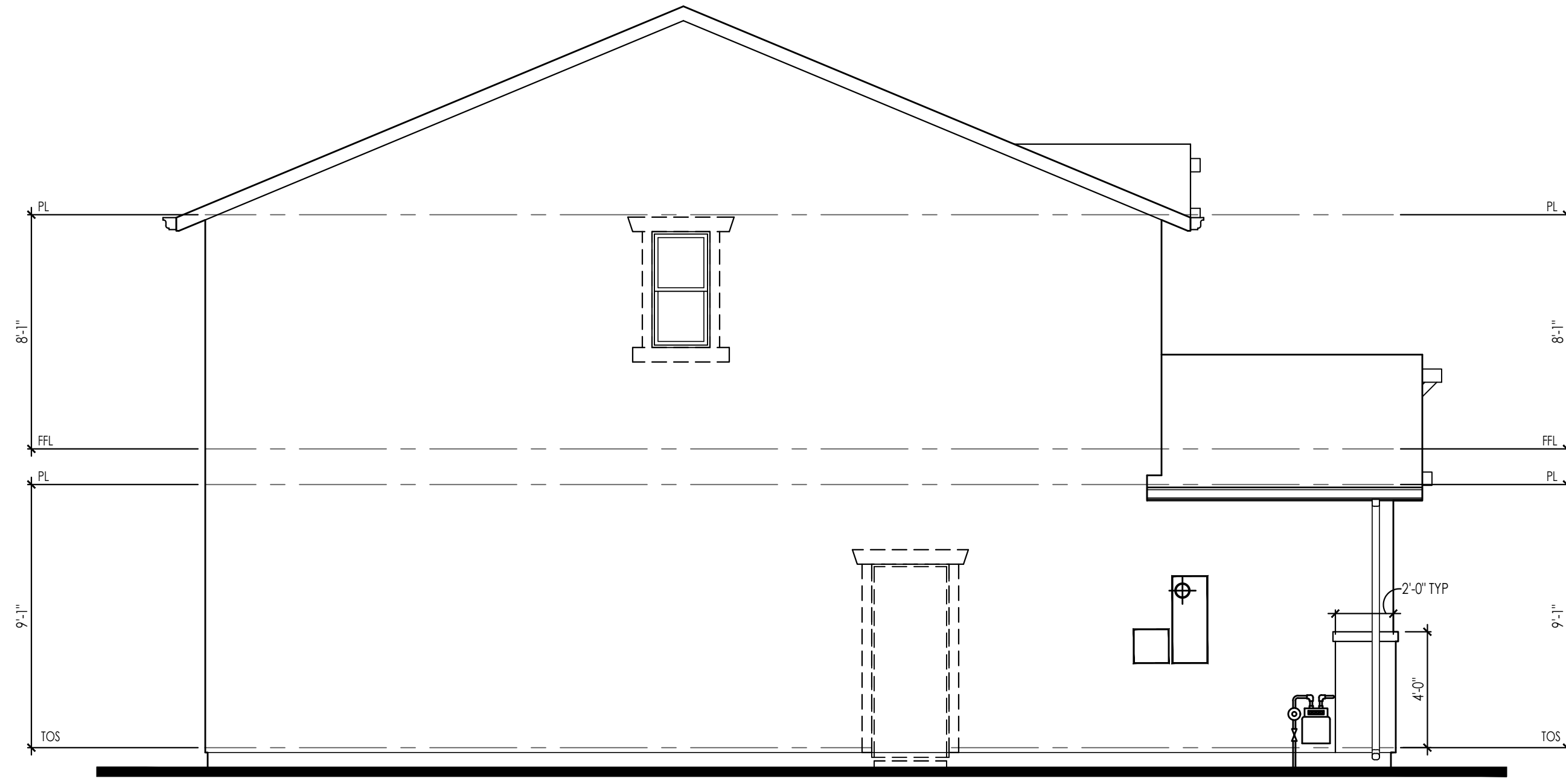


'BUNGALOW' (COMPOSITION SHINGLE)
REAR ELEVATION "B"
1/4" = 1'-0"

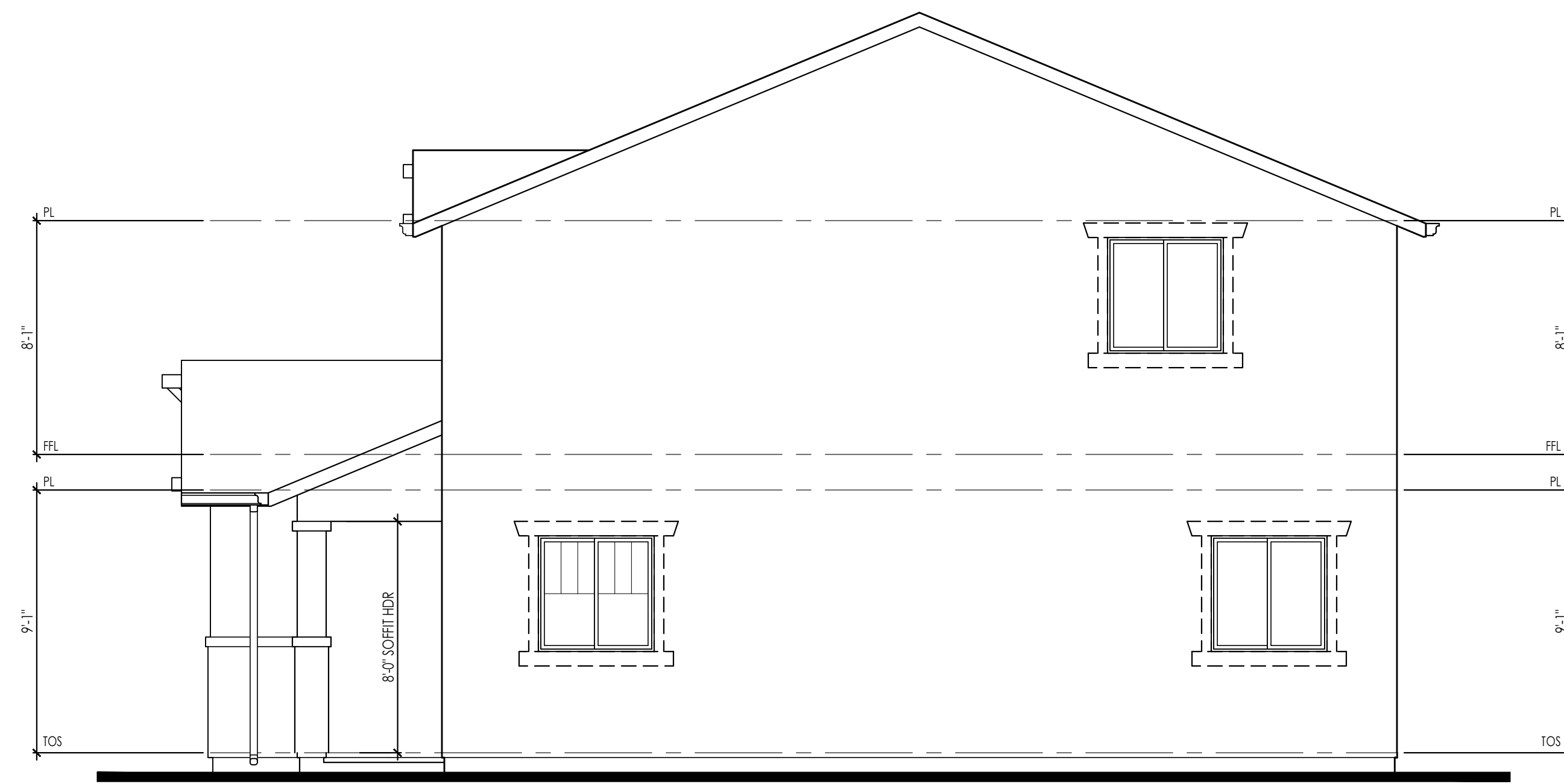


'BUNGALOW' (COMPOSITION SHINGLE)
FRONT ELEVATION "B"
1/4" = 1'-0"

#	DATE	COMMENT
01	27.21	INITIAL PLAN CHECK SUBMITAL
03	25.21	PC 1 REVISION

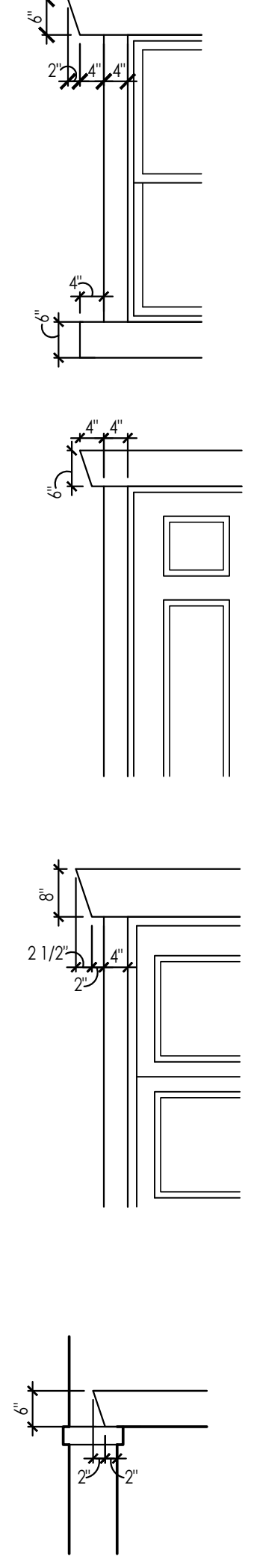


'BUNGALOW' (COMPOSITION SHINGLE)
LEFT ELEVATION "B"
 1/4" = 1'-0"



'BUNGALOW' (COMPOSITION SHINGLE)
RIGHT ELEVATION "B"
 1/4" = 1'-0"

Elevation Design Details:
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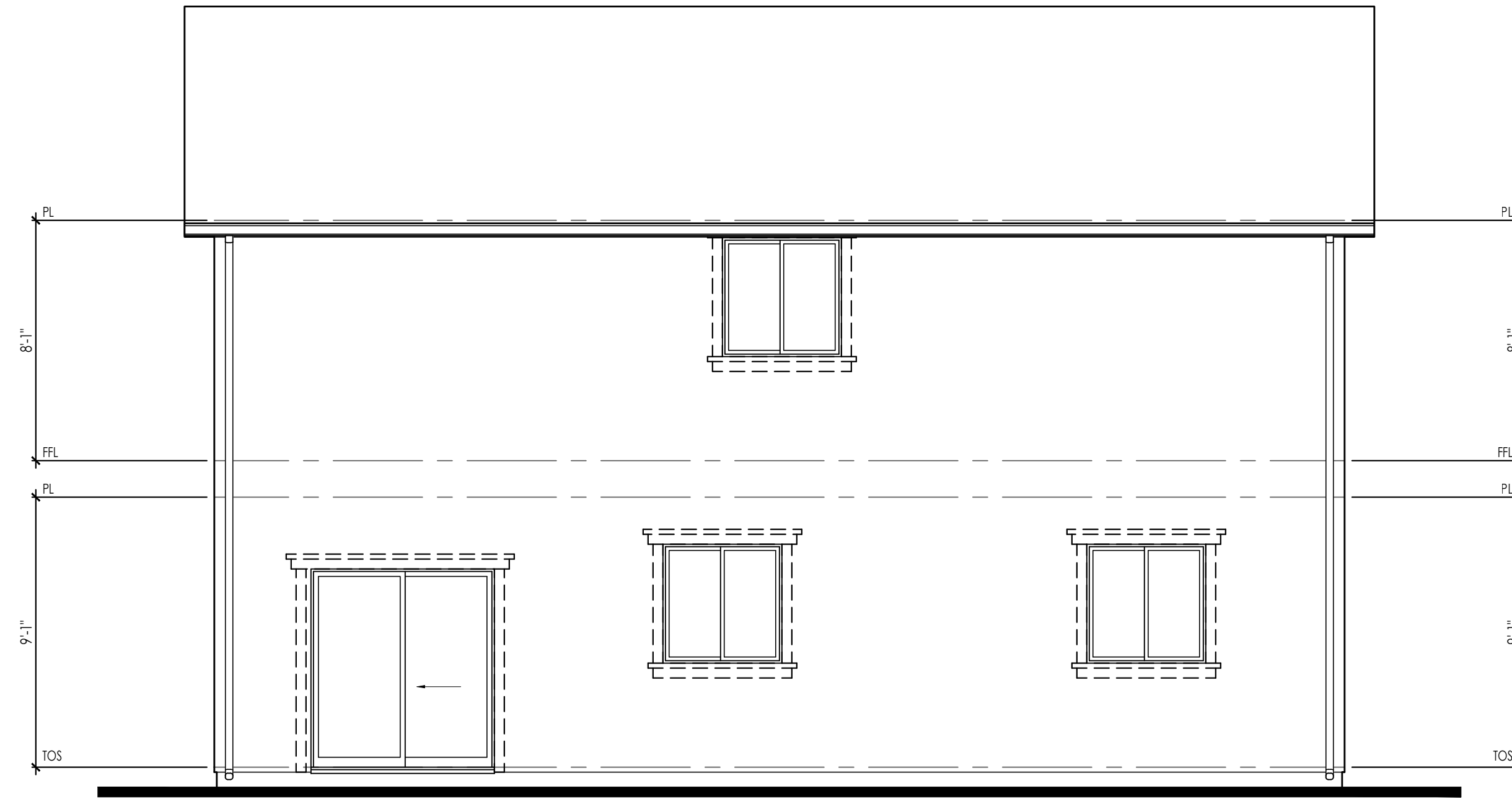
PLAN 2222
 Sheet Description:
EXTERIOR ELEVATIONS "B" (RIGHT/LEFT)
 Sheet Number:
A6.2

JIDA
 JEFFREY DEMURE + ASSOCIATES
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 7815 N. PALM AVE., SUITE 101
 FRESNO, CA 93711
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 JD+A Project Number: 21033

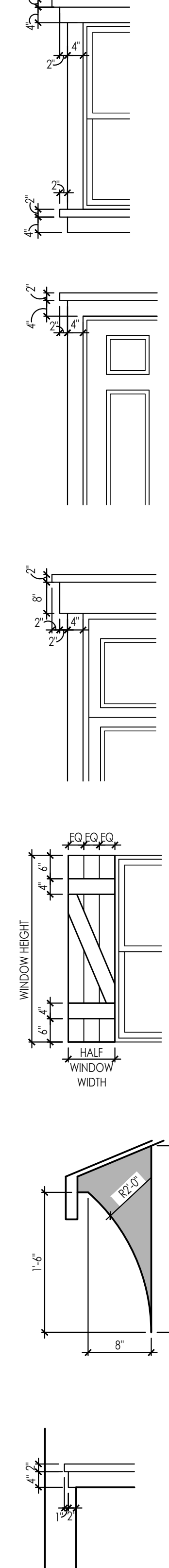


'COTTAGE' (COMPOSITION SHINGLE)
REAR ELEVATION "C"
 1/4" = 1'-0"



'COTTAGE' (COMPOSITION SHINGLE)
FRONT ELEVATION "C"
 1/4" = 1'-0"

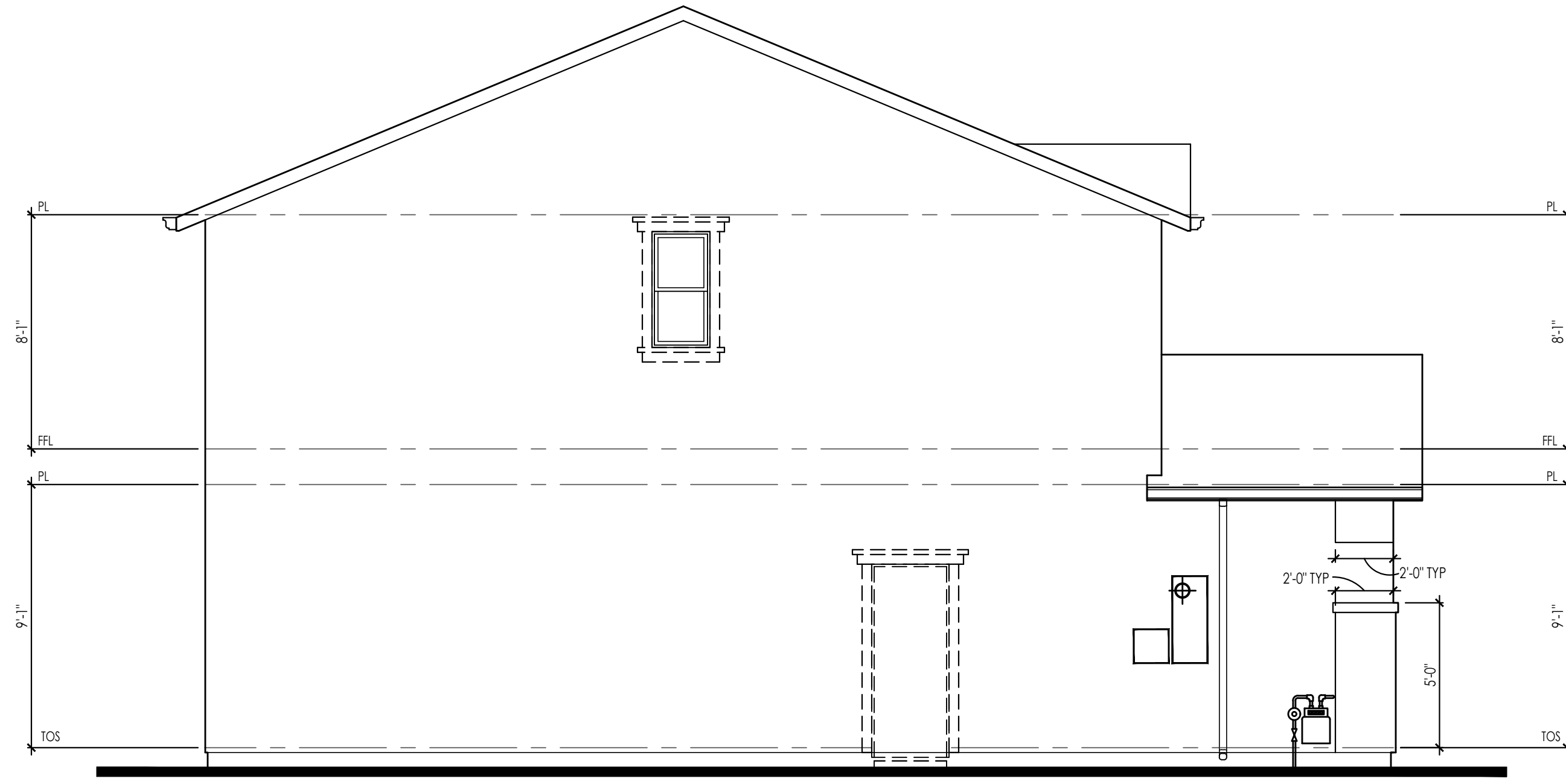
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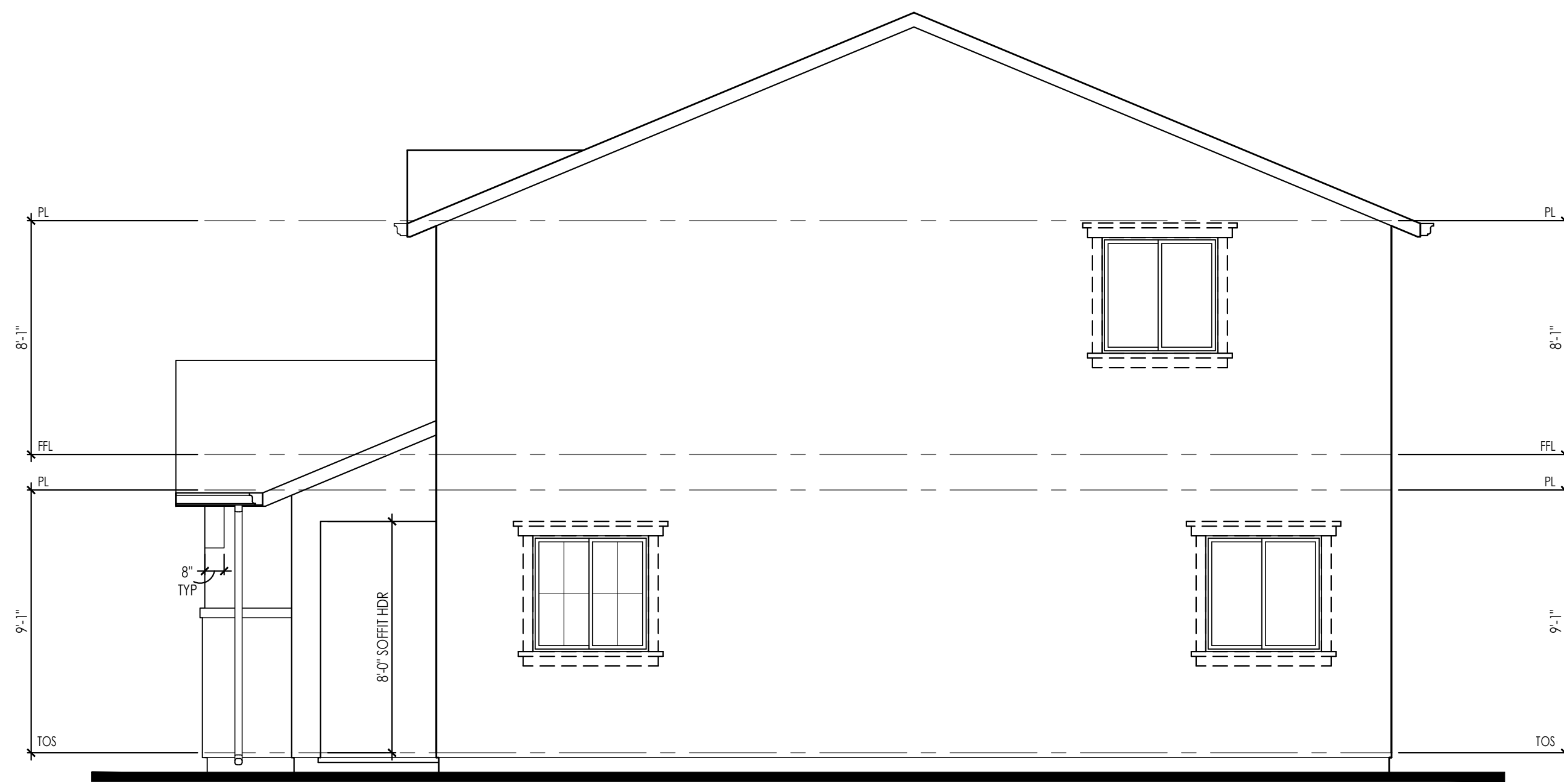
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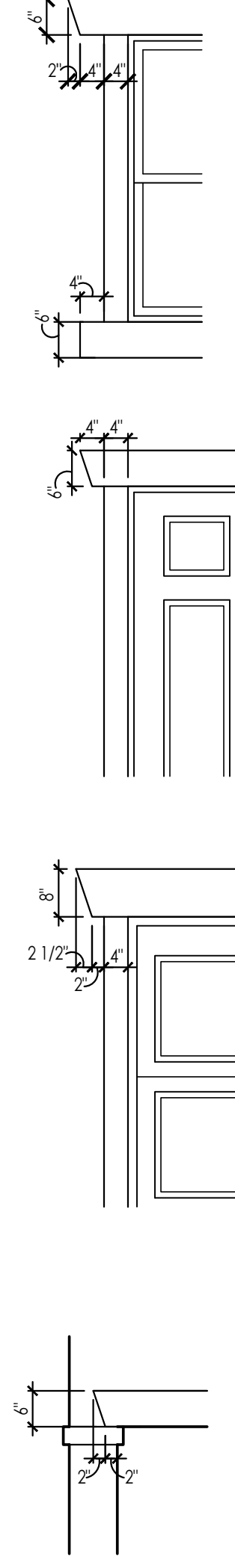


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- FASCIA BOARDS: 2X6, UNLESS NOTED OTHERWISE. REFER TO ELEVATION KEYNOTES
- BARGE RAFTER: 2X6, UNLESS NOTED OTHERWISE. REFER TO ELEVATION KEYNOTES
- ADDRESS NUMBERS: PLACE IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONTING PROPERTY (CRC R319.1)
 - NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND AND BE LEGIBLE.
 - NUMBERS SHALL BE A MINIMUM 4" HIGH WITH A MINIMUM STROKE WIDTH OF 1/2"
- ROOF HEELS: LABELED AS
 - STANDARD HEEL: +0"
 - RAISED HEEL: INCREASED HEEL TO PLANE FASCIA. REFER TO TRUSS LAYOUTS
- ATTACHMENT PENETRATIONS MADE THROUGH EXTERIOR FINISHES SHALL BE PRE-DRILLED AND FILLED WITH MASTIC AND, WHENEVER POSSIBLE, MADE OVER SELF-ADHERED FLASHING MEMBRANE LAPPED INTO WEATHER RESISTIVE BARRIER AND INTO SOLID BACKING.

Elevation Keynotes:

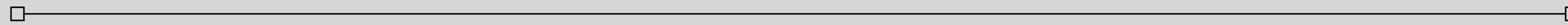
- MINIMUM CLASS 'A' ROOFING. REFER TO ROOF PLAN SHEET NOTES
- 2X6 FASCIA / BARGE RAFTER:
- GUTTER, STYLE SPEC PER BUILDER
- DOWNSPOUT, STYLE SPEC PER BUILDER
- CORROSION RESISTANT ROOF TO WALL FLASHING. REFER TO ROOF DETAILS
- EXTERIOR STUCCO, TYPICAL +0" (LINO), STANDARD FINISH
- EXTERIOR SIDING MATERIAL, COMPOSITE WOOD:
 - LAP WITH 6" REVEAL
 - 1X2 BOARD & BATTEN (BATTEN AT 16" OC)
- TRIM, SIZE AS NOTED (HEIGHT X DEPTH) OR SEE DETAIL:
 - STUCCO OVER FOAM, LIGHT SAND FINISH.
 - COMPOSITE WOOD (NOMINAL SIZE)
- FAUX WOOD SHUTTER, ATTACHMENT PER MFG RECOMMENDATION (STYLE PER DESIGN DETAIL).
- DECORATIVE SHAPED STUCCO CORBEL, PER DESIGN DETAIL.
- WOOD KNEE BRACE ATTACHMENT PER DETAIL 17/AD1
- DECORATIVE WOOD BEAM, SIZE AS NOTED, SEE DETAIL 18/AD1 FOR ATTACHMENT AT GABLE.
- EXTERIOR COACH LIGHT; MOUNT AT +84" AFF (LINO)
- ADDRESS NUMBER: MOUNT AT +66" AFF (LINO)
- UTILITY CONNECTIONS (TYPICAL), PER MUNICIPAL CODES REQUIRED AT ENHANCED ELEVATION ONLY

4/12/2021 PERMIT SET

Sheet Revisions		
#	DATE	COMMENT
01	01.27.21	INITIAL PLAN CHECK SUBMITTAL
△ 03	03.25.21	PC 1 REVISION

Attachment 11: Color and Materials Selections

OMNI

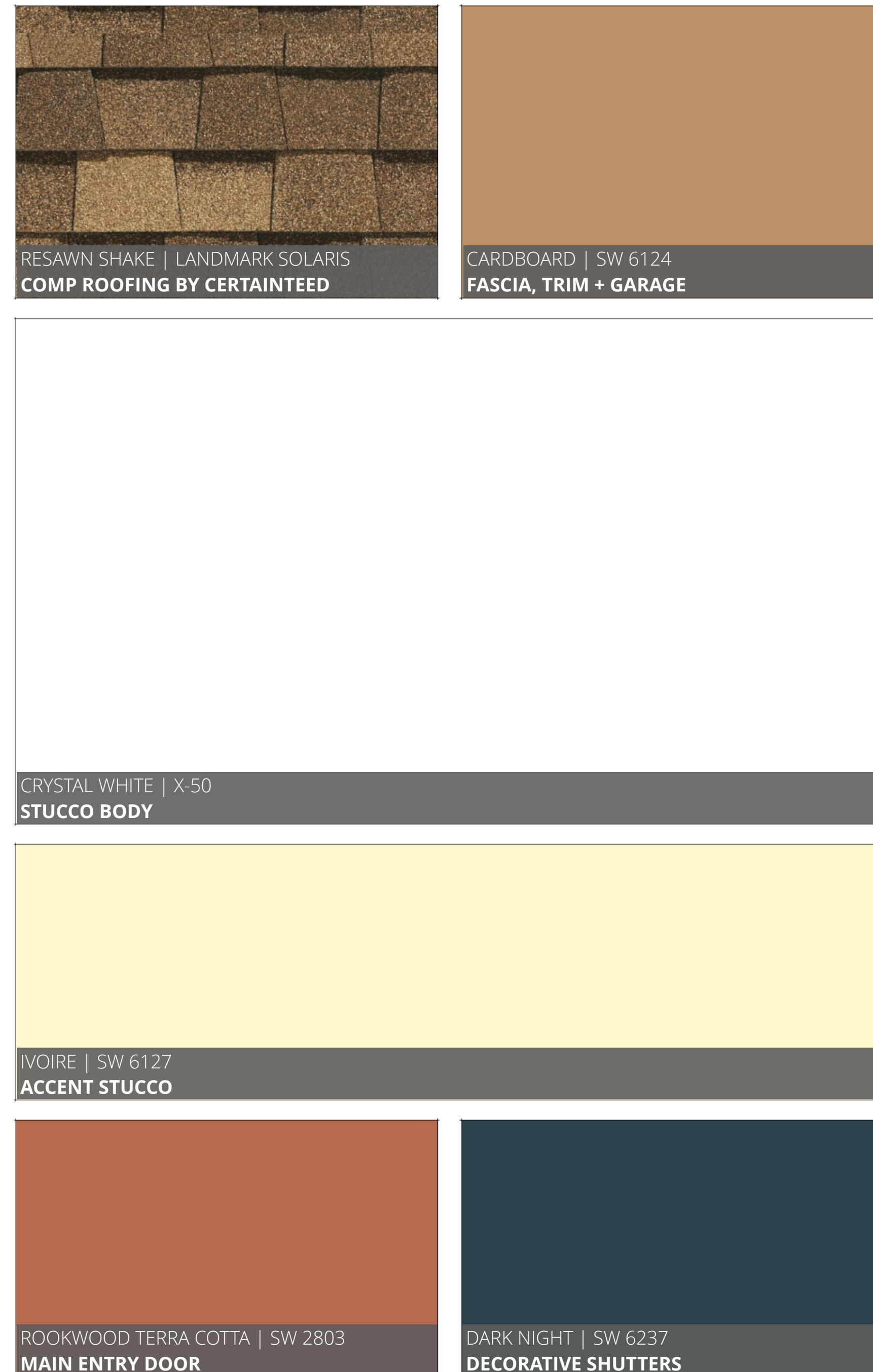


COLOR + MATERIAL SELECTIONS

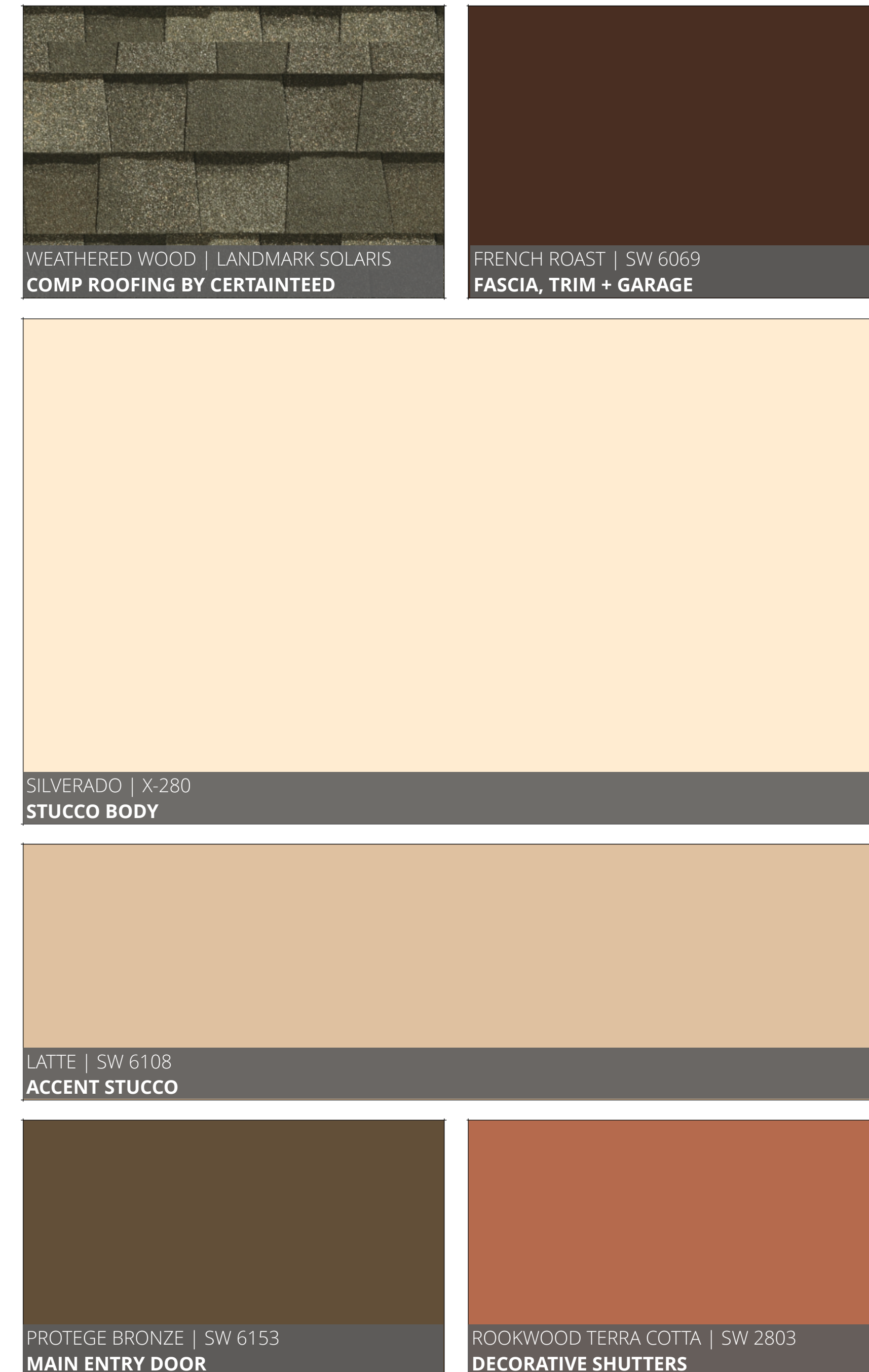


Madera, California
04.09.2021

SCHEME 1

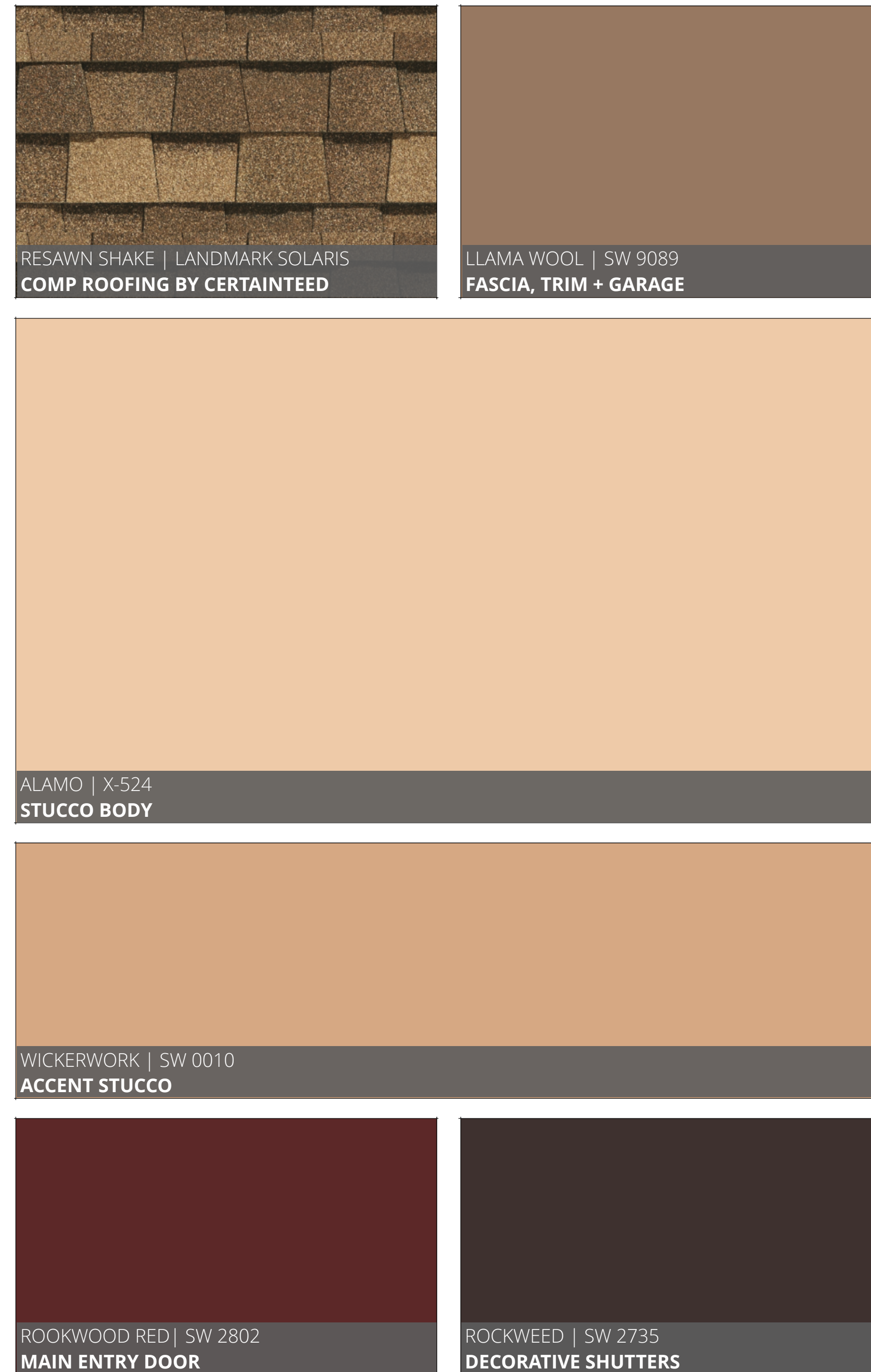


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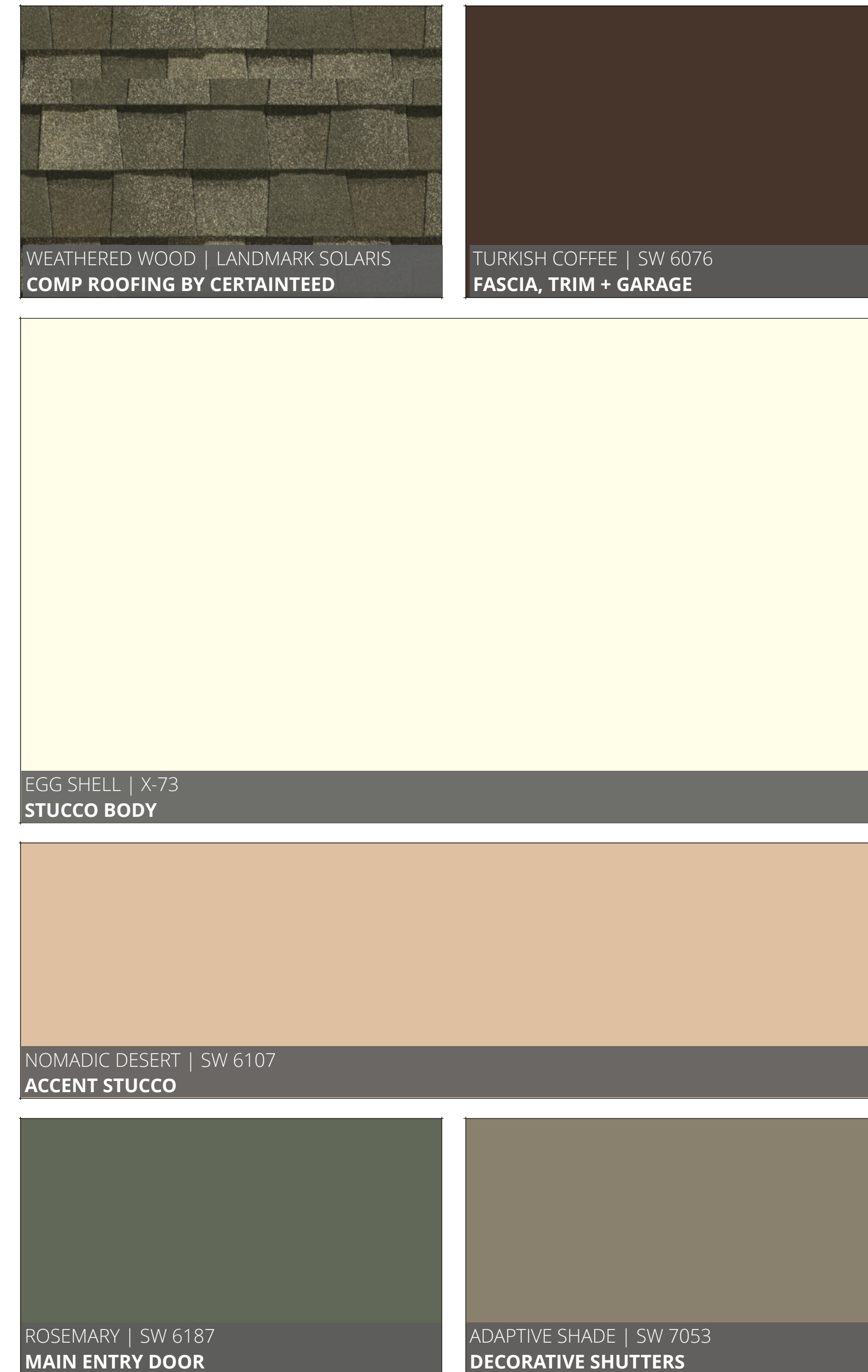


COLOR + MATERIALS | Early California

SCHEME 3

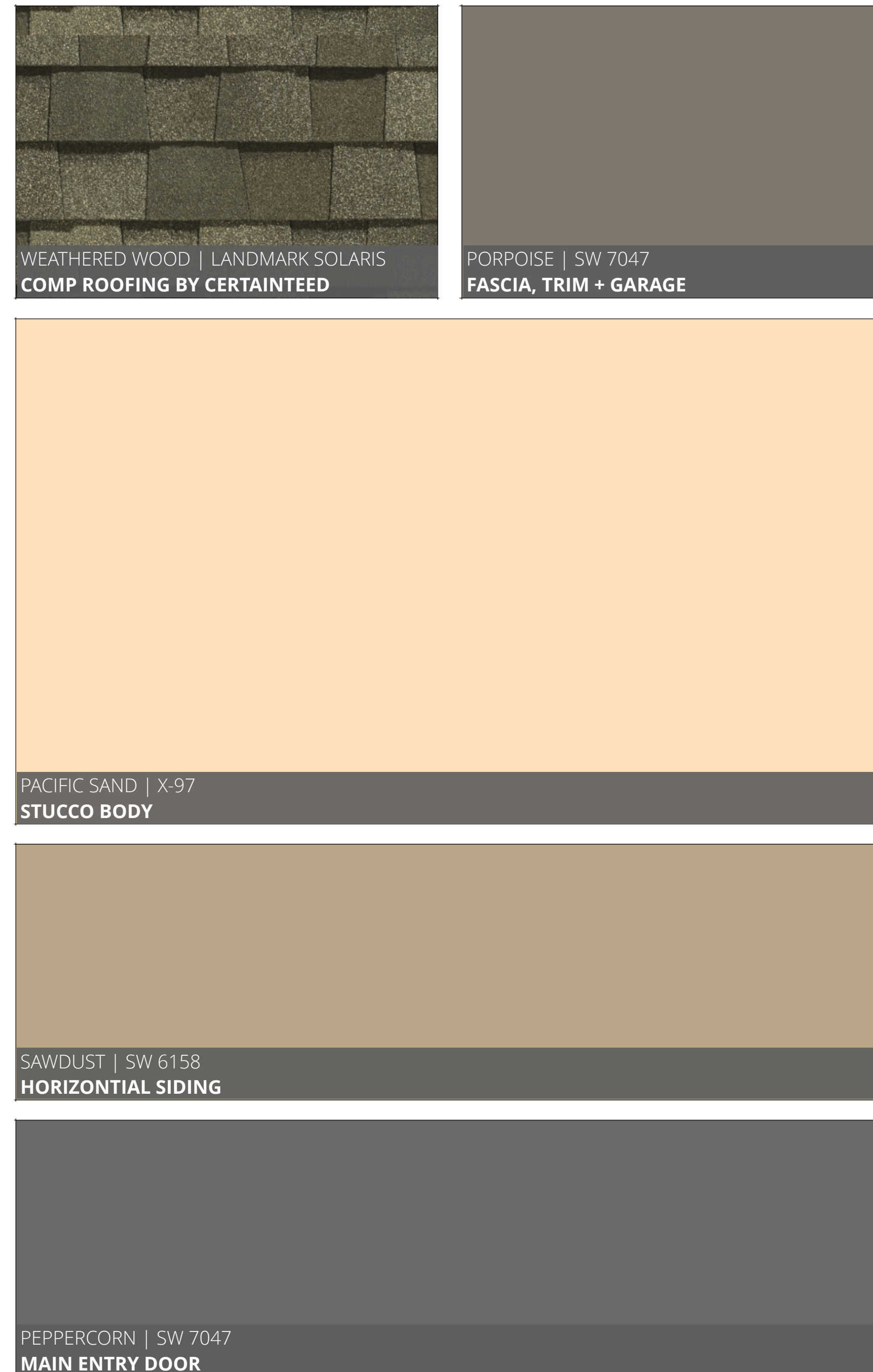


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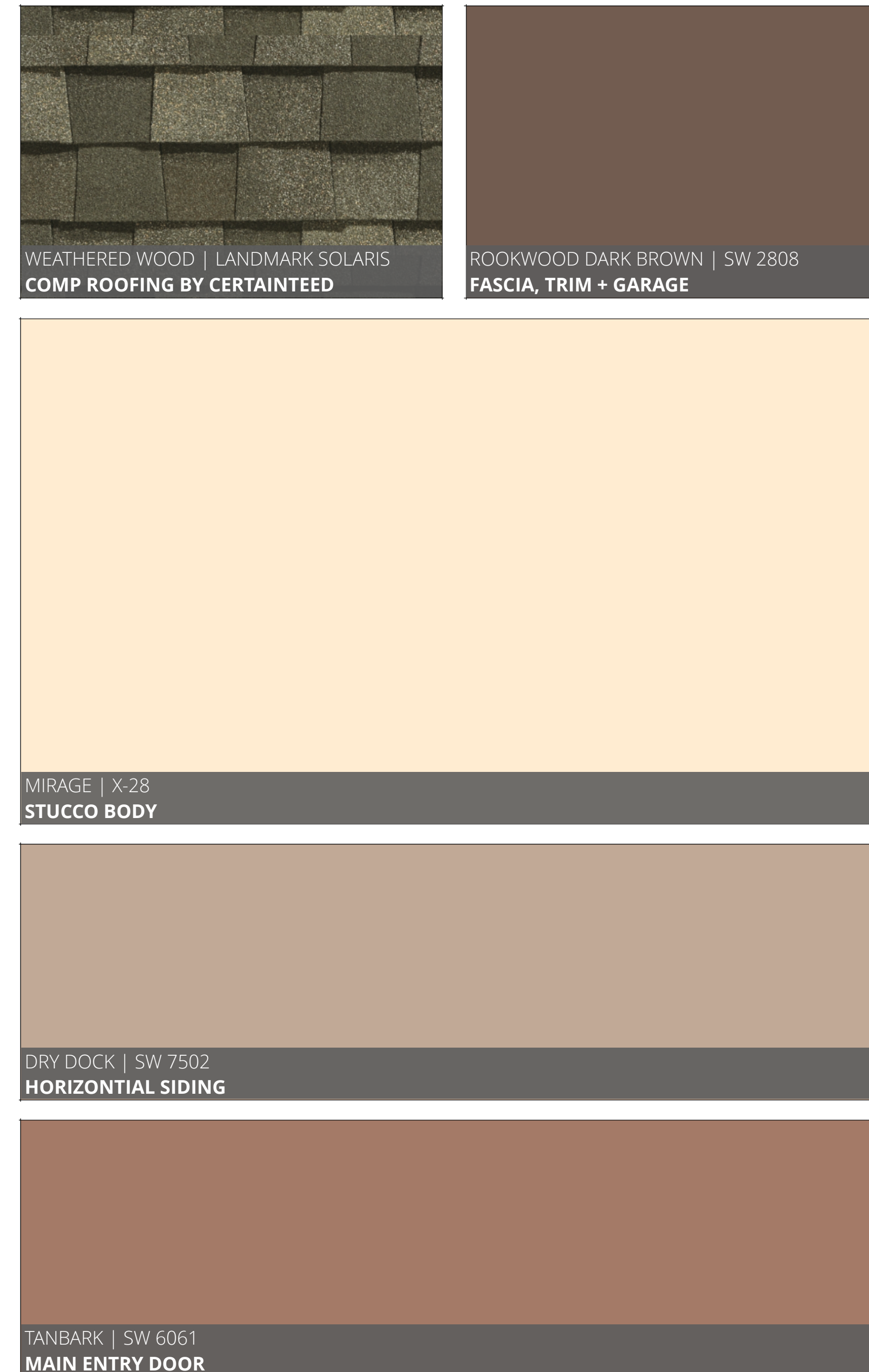


COLOR + MATERIALS | Early California

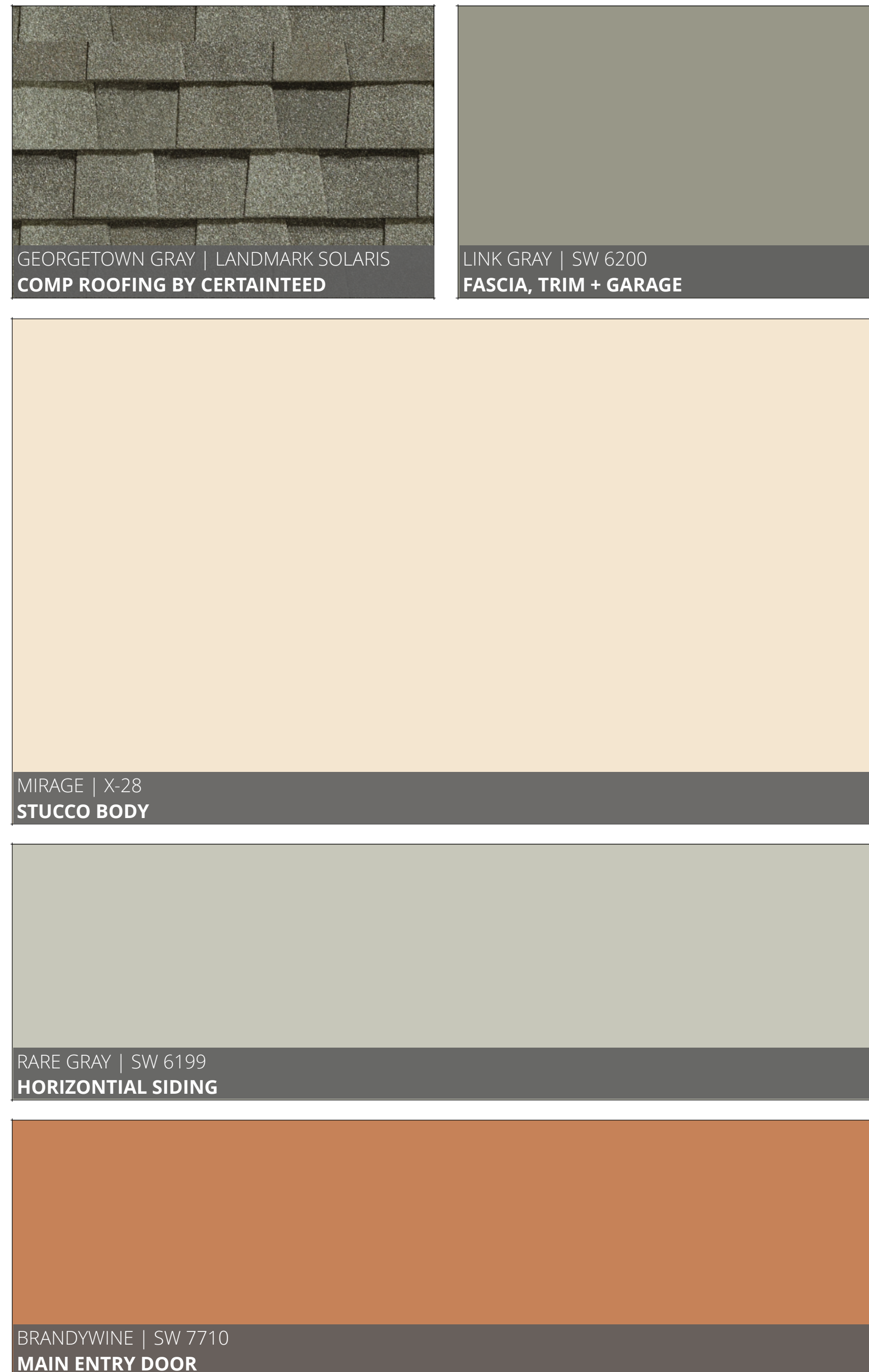
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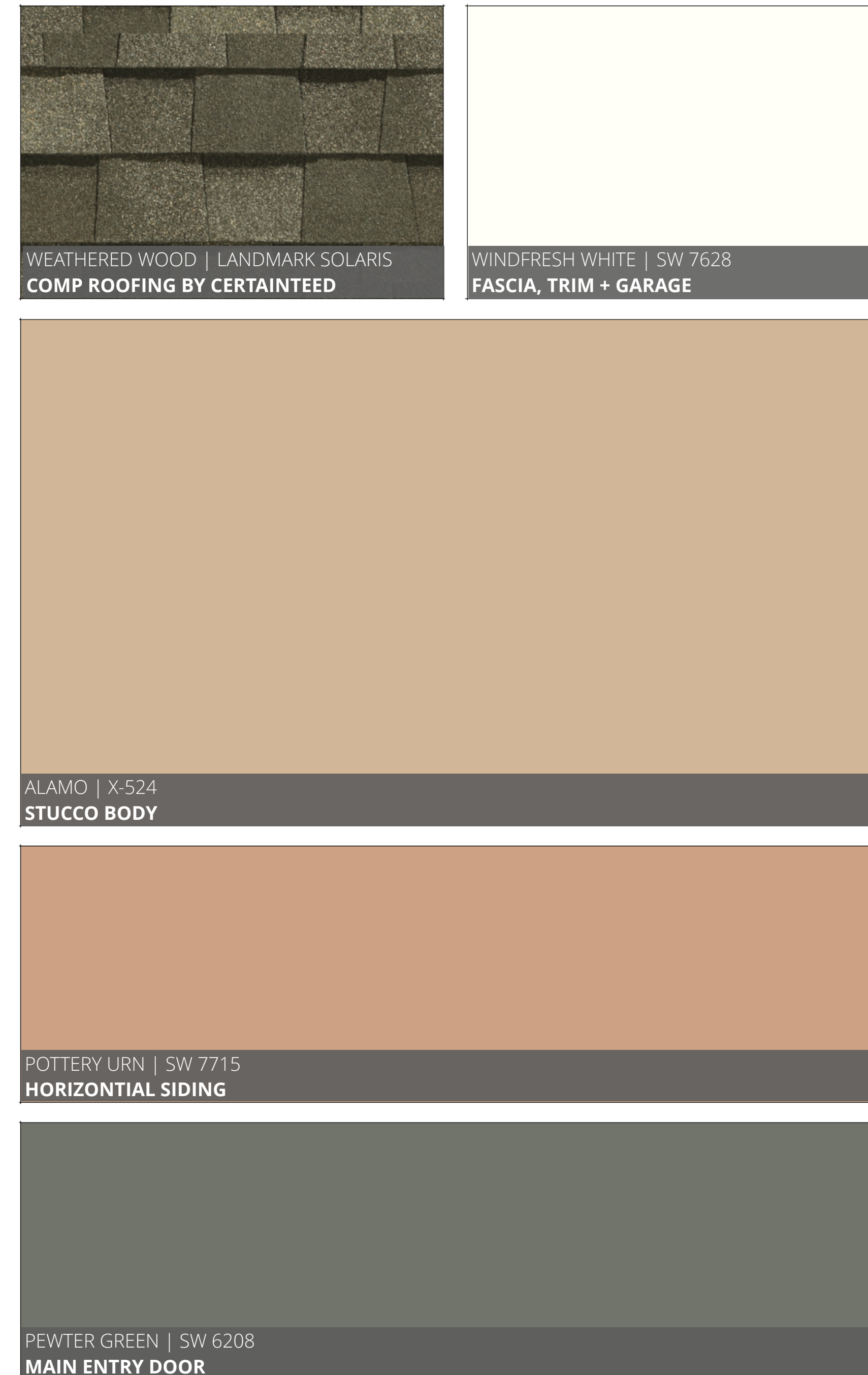
SCHEME 6



SCHEME 7



SCHEME 8




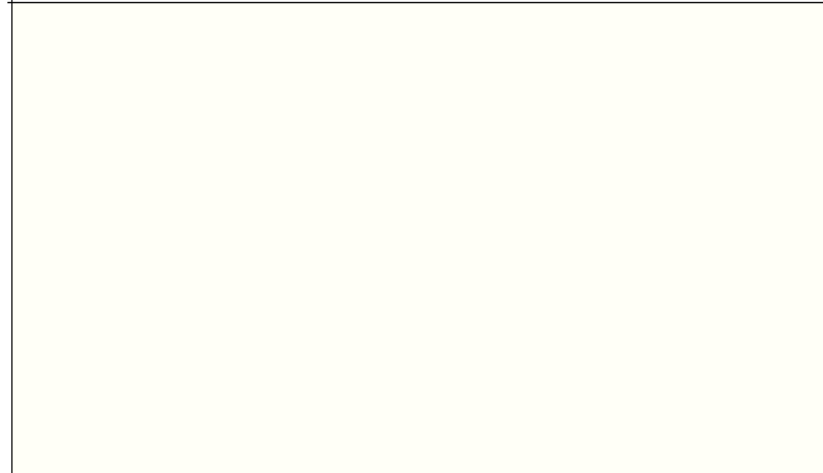
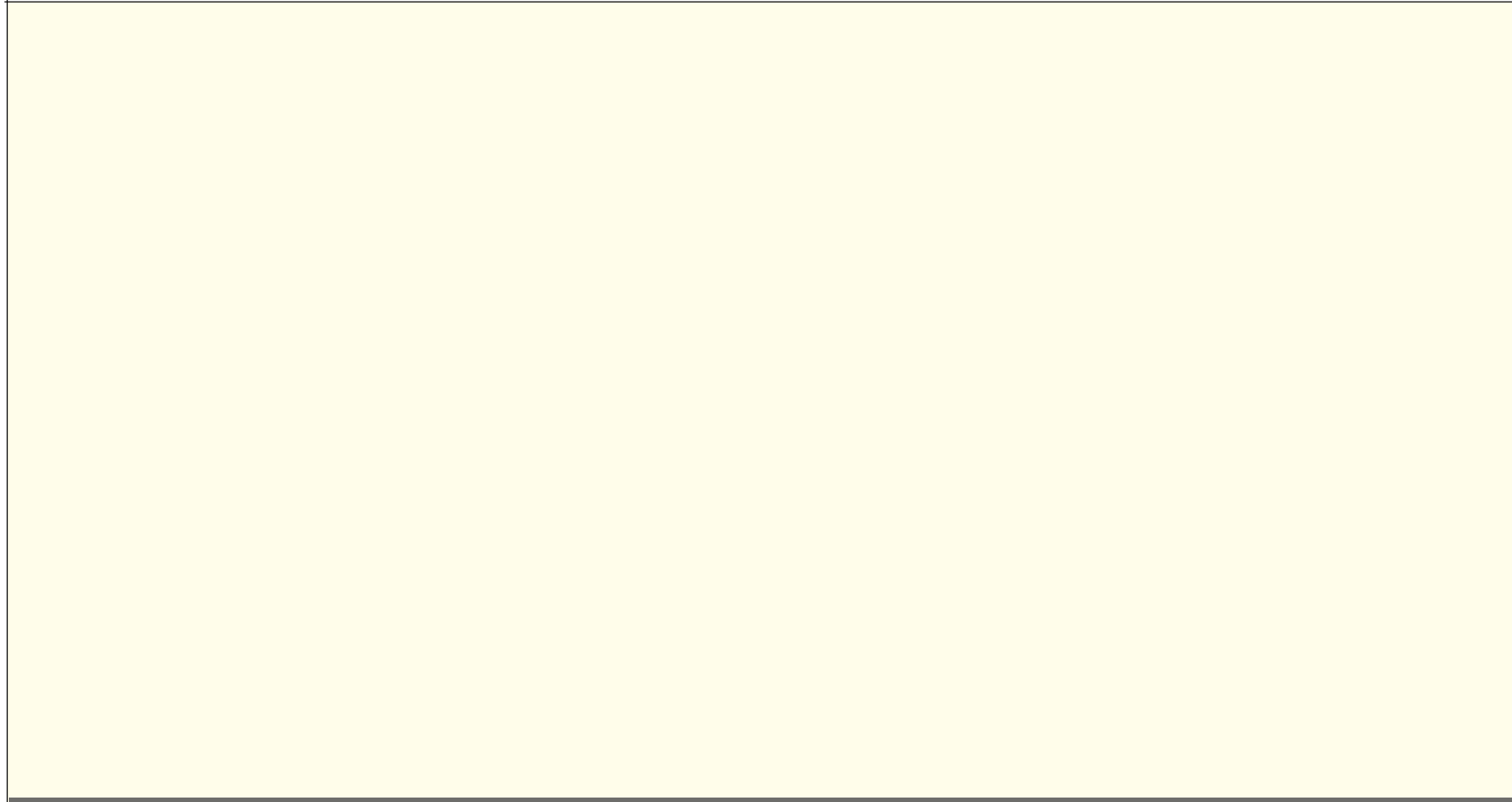
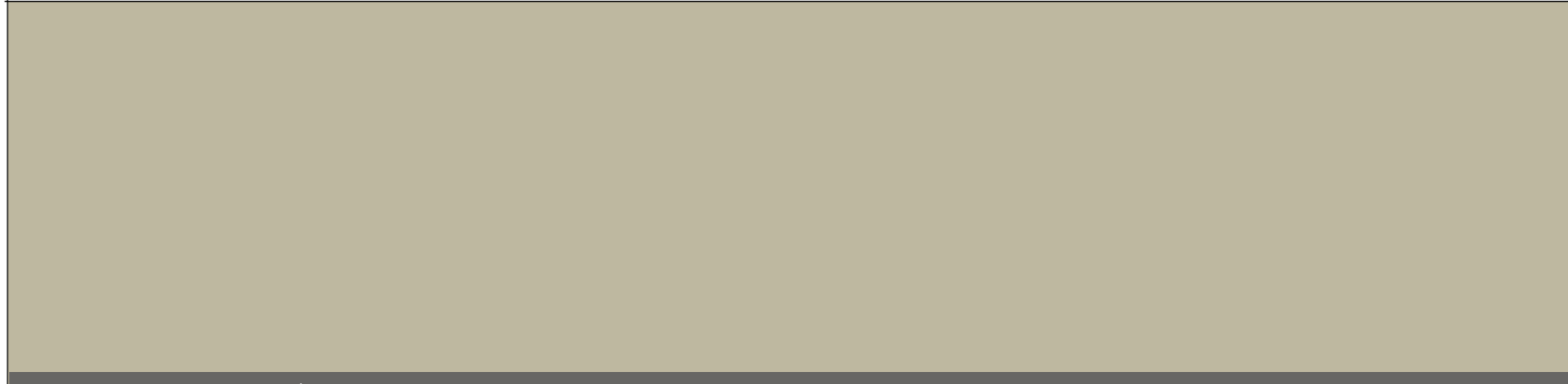

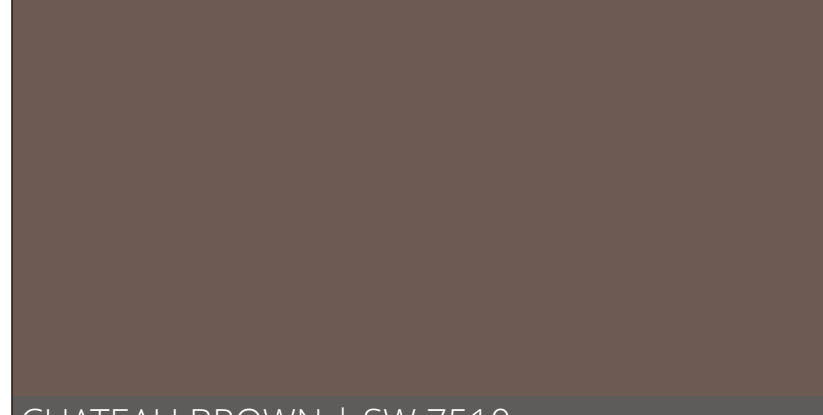
COLOR + MATERIALS | Bungalow




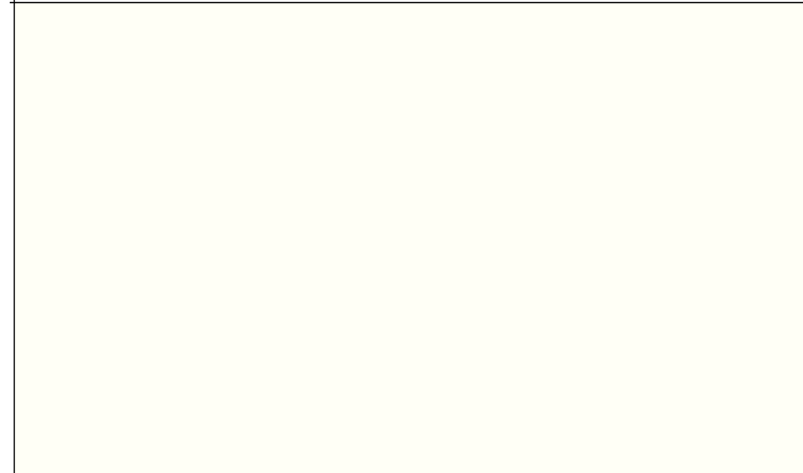

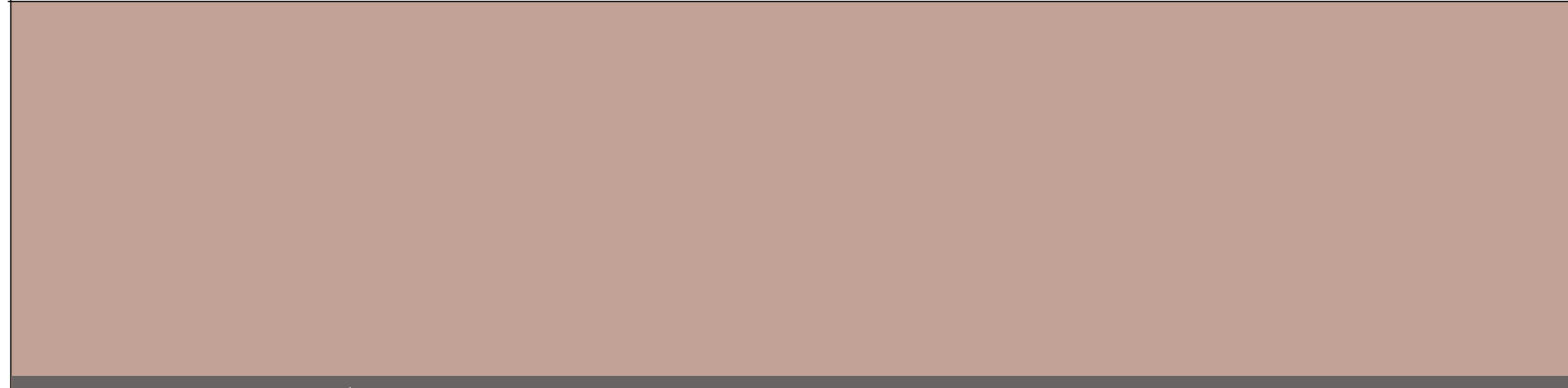

JD+A JOB NUMBER: 21033
DATE: 04.09.2021

A1.4




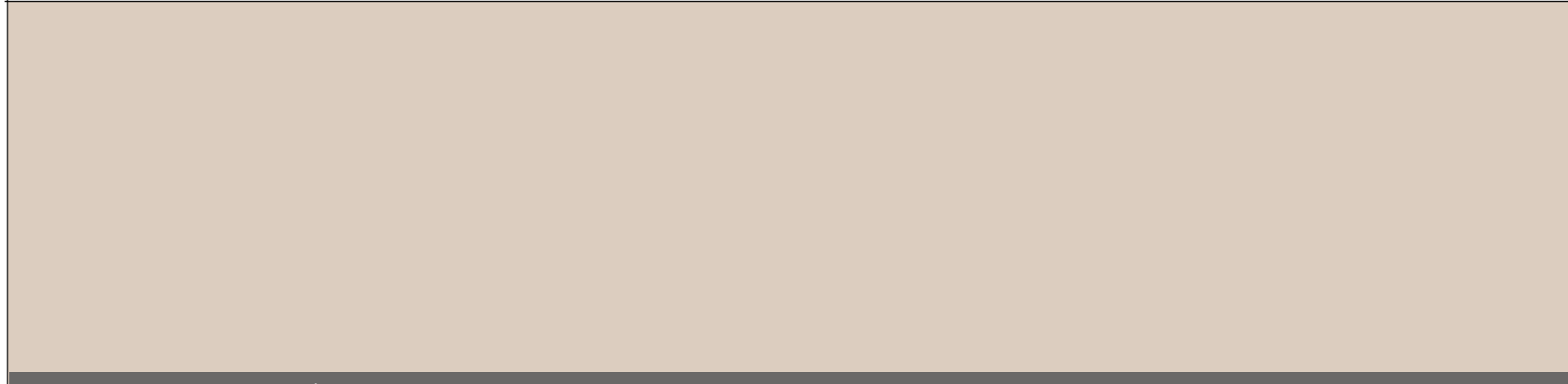

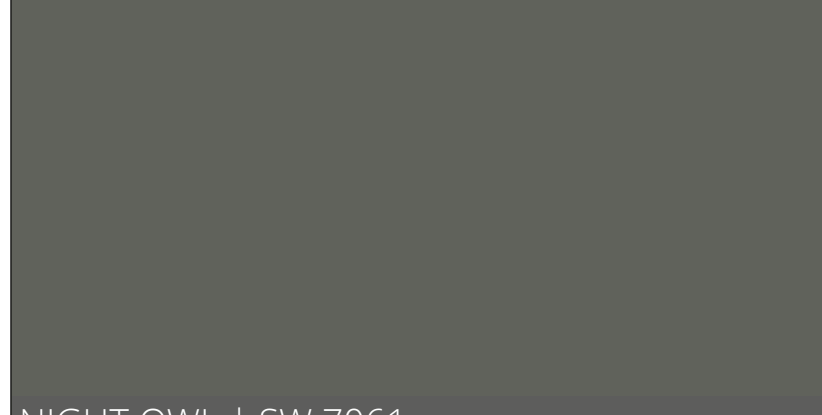
SCHEME 9

	
WEATHERED WOOD LANDMARK SOLARIS COMP ROOFING BY CERTAINTEED	CASA BLANCA SW 7571 FASCIA, TRIM + GARAGE
	
ASPEN X-23 STUCCO BODY	
	
AT EASE SOLIDER SW 9127 HORIZONTAL SIDING	
	
FOLKSTONE SW 6005 MAIN ENTRY DOOR	CHATEAU BROWN SW 7510 DECORATIVE SHUTTERS




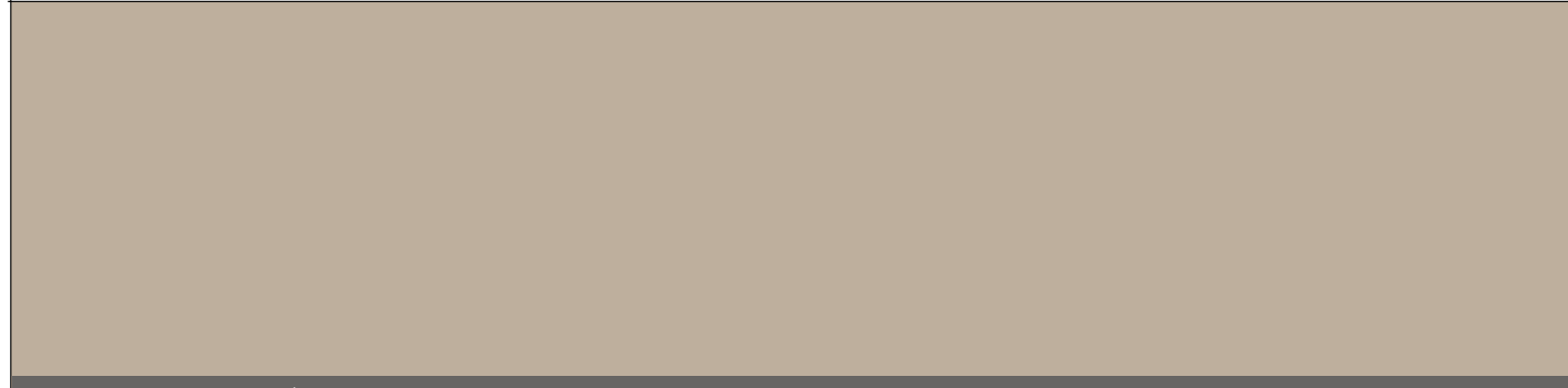

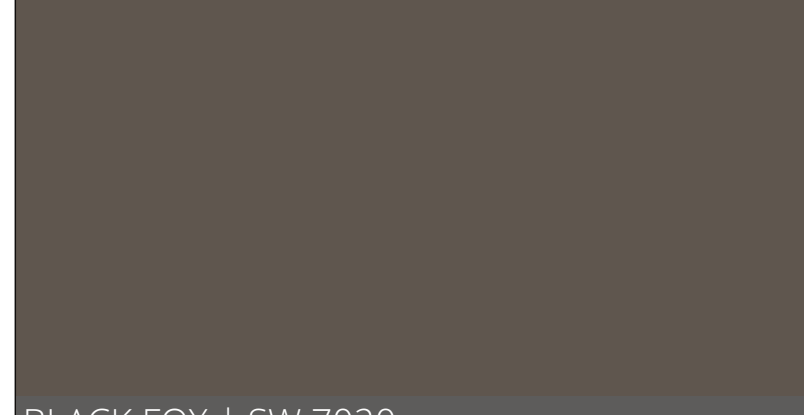
SCHEME 10

	
GEORGETOWN GRAY LANDMARK SOLARIS COMP ROOFING BY CERTAINTEED	AGED WHITE SW 9180 FASCIA, TRIM + GARAGE
	
MIRAGE X-28 STUCCO BODY	
	
VELVETY CHESTNUT SW 9079 HORIZONTAL SIDING	
	
ATTITUDE GRAY SW 7060 MAIN ENTRY DOOR + DECORATIVE SHUTTERS	

SCHEME 11

 GEORGETOWN GRAY LANDMARK SOLARIS COMP ROOFING BY CERTAINTEED	 GARRET GRAY SW 6075 FASCIA, TRIM + GARAGE
 CRYSTAL WHITE X-50 STUCCO BODY	
 RPERFECT GREIGE SW 6073 HORIZONTAL SIDING	
 PLUM BROWN SW 6272 MAIN ENTRY DOOR	 NIGHT OWL SW 7061 DECORATIVE SHUTTERS

SCHEME 12

 WEATHERED WOOD LANDMARK SOLARIS COMP ROOFING BY CERTAINTEED	 SHELL WHITE SW 8917 FASCIA, TRIM + GARAGE
 PACIFIC SAND X-97 STUCCO BODY	
 KEYSTONE GRAY SW 7504 HORIZONTAL SIDING	
 SOMMELIER SW 7595 MAIN ENTRY DOOR	 BLACK FOX SW 7020 DECORATIVE SHUTTERS

Attachment 12: Planning Commission Resolution 1887

RESOLUTION NO. 1887

**RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MADERA
APPROVING PRECISE PLAN 2021-03
(Omni Subdivision Precise Plan)**

WHEREAS, Century Community of California, LLC (“Owner” and “Applicant”) owns APNs 003-200-006 and -007 in Madera, California (“site”); and

WHEREAS, the 10-acre site is vacant and is planned Low Density Residential and zoned PD - 6,000 (*Planned development, one unit for each 6,000 sq. ft. of site area*) for residential land uses; and

WHEREAS, the Owner is seeking a precise plan (PPL) to allow for development of a 61-lot subdivision on the 10 acre vacant site. The development will deviate from the residential exterior side yard setback requirements from 10 feet to 8 feet, as proposed by PPL 2021-03; and

WHEREAS, the City performed a preliminary environmental assessment of this project and has determined that the precise plan is consistent with the previously approved development for the site analyzed by the prior Negative Declaration adopted by the Planning Commission and therefore, no additional environmental analysis is required; and

WHEREAS, under the City’s Municipal Code, the Planning Commission is authorized to review and approve precise plans on behalf of the City; and

WHEREAS, the City provided notice of the Planning Commission hearing as required by law; and

WHEREAS, the Planning Commission received and reviewed PPL 2021-03 at a duly noticed meeting on July 13, 2021; and

WHEREAS, a public hearing was held, the public was provided an opportunity to comment, and evidence, both written and oral, was considered by the Planning Commission; and

WHEREAS, the Planning Commission now desires to approve PPL 2021-03, with conditions.

NOW THEREFORE, be it resolved by the Planning Commission of the City of Madera as follows:

1. Recitals: The above recitals are true and correct and are incorporated herein.
2. CEQA: This project has been previously assessed. Planning Commission finds that pursuant to CEQA Guidelines Section 15162 subsequent environmental review is not required for PPL 2021-03 based on the following:
 - a. No substantial changes are proposed in the project which will require major revisions of the previous negative declaration (ND) due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects. In this case, PPL 2021-03 maintains the same density, intensity and is otherwise consistent with the development originally proposed for the subject site as

contemplated by the ND. As such, no further environmental review is necessary or required.

- b. No substantial changes occur with respect to the circumstances under which the project is undertaken, which will require major revisions of the previous ND due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects. In this case, PPL 2021-03 is consistent with the originally approved project that was assessed by the ND and there are no new substantial changes in the physical environment that were not anticipated in the ND, including its analysis in light of development contemplated in the General Plan.
- c. There is no new information, which was not known and could not have been known at the time of the previous ND that the project will have significant effect not discussed in the ND. The project will not have any more significant effects than that already discussed and assessed in the ND. As a negative declaration was previously adopted for the considerations set forth in CEQA Guidelines § 15162(a)(3)(C) and (D), related to the adequacy and feasibility of previously adopted mitigation measures, are not applicable.

3. Findings for PPL 2021-03: The Planning Commission finds and determines that there is substantial evidence in the administrative record to support the approval of PPL 2021-03, as conditioned. With conditions, the project is consistent with the requirements of the Municipal Code, including Sections 10-3.4 and Sections 10-3.501 through 10-3.510. The Planning Commission further approves, accepts as its own, incorporates as if set forth in full herein, and makes each and every one of the findings, based on the evidence in the record, as follows:

a: The proposal is consistent with the General Plan and Zoning Ordinance.

The property is zoned P-D (6,000) *Planned Development, one unit for each 6,000 sq. ft. of site area*), which is consistent with the existing General Plan land use designation of LDR (Low Density Residential). The project proposes a deviation in the setback standard for exterior side yard, as allowed under the provisions of the PPL provisions. PPL 2021-03 is consistent with the purpose and intent of the P-D 6,000 zone district and does not conflict with City standards or other provisions of the Code.

b: The proposal is consistent with any applicable specific plans.

The project site is not subject to any specific plans.

c: The proposed project includes facilities and improvements; vehicular and pedestrian ingress, egress, and internal circulation; and location of structures, services, walls, landscaping, and drainage that are so arranged that traffic congestion is avoided, pedestrian and vehicular safety and welfare are protected, there will be no adverse effects on surrounding property, light is deflected away from adjoining properties and public streets, and environmental impacts are reduced to acceptable levels.

PPL 2021-03 has been reviewed and is consistent with surrounding uses and with all applicable requirements for development in the P-D 6,000 zone district, including provisions

for access to and from the site, parking and loading facilities, drainage, and lighting. The project would not have an adverse effect on surrounding properties.

d: The proposed project is consistent with established legislative policies relating to traffic safety, street dedications, street improvements, and environmental quality.

PPL 2021-03 will be required to install street improvements in accordance with City standards. Related infrastructure improvements will also be required for storm drainage in conformance with City standards. The project site has access to North D Street and Ellis Street, which can accommodate traffic generated from the proposed project. Based on the previous environmental analysis prepared, the project will not have a significant impact on traffic or the environment.

4. Approval of PPL 2021-03: Given that all findings can be made, the Planning Commission hereby approves PPL 2021-03 as conditioned as set forth in the Conditions of Approval attached as Exhibit "A."

5. Effective Date: This resolution is effective immediately.

* * * * *

Passed and adopted by the Planning Commission of the City of Madera this 13th day of July 2021, by the following vote:

AYES:

NOES:

ABSTENTIONS:

ABSENT:

Robert Gran Jr.
Planning Commission Chairperson

Attest:

Gary Conte, AICP
Planning Manager

Exhibit "A" – Conditions of Approval for PPL 2021-03

EXHIBIT "A"
PPL 2021-03 OMNI SUBDIVISION PRECISE PLAN
CONDITIONS OF APPROVAL
JULY 13, 2021

Notice to Applicant

In accordance with the provisions of Government Code Section 66020(d)(1), the imposition of fees, dedications, reservations, or exactions for this project are subject to protest by the project applicant at the time of approval or conditional approval of the development or within ninety (90) calendar days after the date of imposition of fees, dedications, reservation, or exactions imposed on the development project. This notice does not apply to those fees, dedications, reservations, or exactions which were previously imposed and duly noticed; or where no notice was previously required under the provisions of Government Code Section 66020(d)(1) in effect before January 1, 1997.

IMPORTANT: PLEASE READ CAREFULLY

This project is subject to a variety of discretionary conditions of approval. These include conditions based on adopted City plans and policies; those determined through site plan review, and environmental assessment essential to mitigate adverse effects on the environment including the health, safety, and welfare of the community; and recommended conditions for development that are not essential to health, safety, and welfare, but would on the whole enhance the project and its relationship to the neighborhood and environment.

Approval of this permit shall be considered null and void in the event of failure by the applicant and/or the authorized representative, architect, engineer, or designer to disclose and delineate all facts and information relating to the subject property and the proposed development.

Approval of this permit may become null and void in the event that development is not completed in accordance with all the conditions and requirements imposed on this permit, the zoning ordinance, and all City standards and specifications. This permit is granted, and the conditions imposed, based upon the application submittal provided by the applicant, including any operational statement. The application is material to the issuance of this permit. Unless the conditions of approval specifically require operation inconsistent with the application, a new or revised permit is required if the operation of this establishment changes or becomes inconsistent with the application. Failure to operate in accordance with the conditions and requirements imposed may result in revocation of the permit or any other enforcement remedy available under the law. The City shall not assume responsibility for any deletions or omissions resulting from the review process or for additions or alterations to any construction or building plans not specifically submitted and reviewed and approved pursuant to this permit or subsequent amendments or revisions. These conditions are conditions imposed solely upon the permit as delineated herein and are not conditions imposed on the City or any third party. Likewise, imposition of conditions to ensure compliance with federal, state, or local laws and regulations does not preclude any other type of compliance enforcement.

Discretionary conditions of approval may be appealed. All code requirements, however, are mandatory and may only be modified by variance, provided the findings can be made.

All discretionary conditions of approval for Precise Plan 2021-03 (PPL 2021-03) will ultimately be deemed mandatory unless appealed by the applicant to the City Council within fifteen (15) days after the decision

by the Planning Commission. In the event you wish to appeal the Planning Commission's decision or discretionary conditions of approval, you may do so by filing a written appeal with the City Clerk. The appeal shall state the grounds for the appeal and wherein the Commission failed to conform to the requirements of the zoning ordinance. This should include identification of the decision or action appealed and specific reasons why you believe the decision or action appealed should not be upheld.

These conditions are applicable to any person or entity making use of this permit, and references to "developer" or "applicant" herein also include any applicant, property owner, owner, lessee, operator, or any other person or entity making use of this permit.

GENERAL CONDITIONS

1. Project approval is conditioned upon acceptance of the conditions of approval contained herein, as evidenced by the receipt of the Planning Department of the applicant's signature on the Acknowledgement and Acceptance of Conditions of Approval within fifteen (15) days of the date of approval of PPL 2021-03.
2. PPL 2021-03 will expire twelve (12) months from the effective date unless a building permit is issued by the Building Official and construction is commenced and diligently pursued toward completion of the site or structures which were the subject of the site plan or the required action is taken to extend the approval before expiration date [Municipal Code Section 10-3-4.103, Planning Commission Approval].
3. All conditions applicable to the approval of Tentative Subdivision Map 2018-07 shall remain effective and are not revised in any way by this approval, except as modified herein.
4. All conditions of approval shall be the sole financial responsibility of the applicant/owner, except where specifically noted in the conditions or mandated by statutes.
5. It shall be the responsibility of the applicant, owner, and/or contractor to ensure that any required permits, inspections, and approvals from any regulatory agency be obtained from the applicable agency prior to issuance of a building permit and/or the issuance of a certificate of completion, as determined appropriate by the City of Madera Planning Department, Engineering Department and/or Building Department.
6. Prior to issuance of building permits or any future division of the property, the applicant at their sole expense shall cause the property to be annexed into the City-wide Community Facilities District No. 2005-01, and shall pay all applicable fees.
7. The project shall be developed in conformance with the plans, elevations, and color and material selections approved by PPL 2021-03 provided herein as Attachments 1 through 6, subject to the conditions noted herein.
8. Minor modifications to the plans, elevations, and/or to the color and materials selections approved under PPL 2021-03 which are necessary to meet regulatory, engineering, or similar constraints or requirements may be made at the discretion of the Planning Manager without an amendment to PPL 2021-01. If the Planning Manager determines the modifications are substantive, an amendment to PPL 2021-03 shall be filed for review and approval through the applicable City process.
9. All on-site improvements shall be completed prior to final building inspection and shall be completed in conformance with PPL 2021-03 to the satisfaction of the City of Madera prior to issuance of a certificate of completion.
10. The project site shall be subject to periodic reviews and inspection by the City to determine compliance with the conditions of approval and applicable codes. If at any time, the use is

determined by staff to be in violation of the conditions, the applicant, property owner, and/or contractor may be subject to corrective action.

11. All construction shall cease, and the Planning Manager and City Engineer shall be notified immediately if any prehistoric, archaeological, or fossil artifact or resource is uncovered during construction. All construction shall immediately stop and an archaeologist that meets the Secretary of the Interior's Professional Qualifications Standards in prehistoric or historical archaeology shall be retained, at the applicant's and/or successors-in-interest's expense, to evaluate the find(s) and recommend appropriate action according to Section 15064.5 of the California Environmental Quality Act (CEQA) Guidelines. If avoidance is infeasible, other appropriate measures would be instituted. Work may proceed on other parts of the project subject to direction of the archaeologist while assessment of historic resources or unique archaeological resources is being carried out.
12. All construction shall cease if any human remains are uncovered, and the Planning Manager, City Engineer and County of Madera Coroner shall be notified in accordance to Section 7050.5 of the California Health and Safety Code. If human remains are determined to be those of a Native American or has reason to believe that they are those of a Native American, the Native American Heritage Commission shall be contacted, and the procedures outlined in CEQA Section 15064.5(e) shall be followed.
13. Approval of this project is for the benefit of the applicant. The submittal of applications by the applicant for this project was a voluntary act on the part of the applicant not required by the City. Therefore, as a condition of approval of this project, the applicant agrees to defend, indemnify, and hold harmless the City of Madera and its agents, officers, consultants, independent contractors, and employees ("City") from any and all claims, actions, or proceedings against the City to attack, set aside, void, or annul an approval by the City concerning the project, including any challenges to associated environmental review, and for any and all costs, attorneys' fees, and damages arising therefrom (collectively "claim").

The City shall promptly notify the applicant of any claim and the City shall cooperate fully in the defense. If the City fails to promptly notify the applicant of any claim or if the City fails to cooperate fully in the defense, the applicant shall not thereafter be responsible to defend, indemnify, or hold harmless the City.

Nothing in this condition shall obligate the City to defend any claim and the City shall not be required to pay or perform any settlement arising from any such claim not defended by the City, unless the City approves the settlement in writing. Nor shall the City be prohibited from independently defending any claim, and if the City does decide to independently defend a claim, the applicant shall be responsible for City's attorneys' fees, expenses of litigation, and costs for that independent defense, including the costs of preparing any required administrative record. Should the City decide to independently defend any claim, the applicant shall not be required to pay or perform any settlement arising from any such claim unless the applicant approves the settlement.

BUILDING DEPARTMENT

14. Submit five (5) full sets and one (1) USB flash drive providing a portable document format (PDF) file of plans for review and approval prior to obtaining all required permits for construction of project.
15. A building permit is required for all construction on the site.

ENGINEERING

General Conditions

16. Nuisance onsite lighting shall be redirected as requested by City Engineer within 48 hours of notification.
17. Developer shall pay all required fees for completion of project. Fees due may include but shall not be limited to the following: plan review, easement acceptance, encroachment permit processing and improvement inspection fees.
18. The improvement plans shall be signed and sealed by an engineer and submitted to the Engineering Division in accordance with the submittal process.
19. Improvement plans sealed by an engineer shall be submitted to the Engineering Department according to the Engineering Plan Review Submittal Sheet and Civil Plan Submittal Checklist.
20. The improvement plans for the project shall include the most recent version of the City's General Notes.
21. Prior to the construction of improvements within the City right-of-way, an Encroachment Permit will be required from the Engineering Department.
22. All off-site improvements shall be completed prior to issuance of final occupancy.

Storm Drain

23. The developer shall perform percolation tests in the existing County-owned storm drainage basin located on Ellis Street, APN 038-070-025, to determine measured percolation rates within the basin in accordance with criteria specified and/or agreed to by the County of Madera. The developer shall coordinate with the County for access inside the basin for said percolation tests.

Streets

24. The developer shall relocate and/or install new traffic signal equipment as a result of existing equipment being placed in locations that would conflict with proposed roadway improvements. Construction of these improvements are considered reimbursable through the City's Development Impact Fee Program, subject to availability of funds.

FIRE DEPARTMENT

25. All dwelling shall be equipped with residential fire sprinklers, smoke alarms and carbon monoxide detectors in accordance with the California Fire Code.
26. Street fire hydrant placement shall be consistent with approved civil plans and the California Fire Code.
27. Temporary construction addresses shall be provided during construction.
28. Illuminated addresses shall be provided at certificate of occupancy.

PLANNING DEPARTMENT

General Conditions

29. Vandalism and graffiti shall be corrected in accordance with the provisions of the Madera Municipal Code.
30. The applicant, property owner and/or contractor during shall during the duration of construction of the project operate and manage the site in a manner that does not generate noise, odor, blight, or vibration that adversely affects adjacent properties.

31. The applicant, property owner and/or contractor shall keep the property clear of all trash, rubbish, and debris at all times.
32. The applicant/developer shall coordinate with the United States Post Office relative to the proposed location of the postal boxes for the project.

Residences

33. Construction of dwelling units upon the 61 lots is confined to five (5) residential model plans listed below and herein included as Attachments 1 through 5.

Model Plan	Sq. Ft.	Bedrooms	Bathrooms	Garage
1523	1,523	4	2	Subordinate
1717	1,717	4	2	Subordinate
1839	1,839	4	2	Subordinate
2096	2,096	5	3	Subordinate
2222	2,222	5	3	Forward

34. Each dwelling unit shall be constructed consistent with approved elevations and the color and materials selections herein included as Attachments 1 through 6. Any change to the color and materials shall be approved by the Planning Manager and shall be included in the Precise Plan.
35. The following criteria shall be applied to the location of homes on individual lots:
 - a) The appearance of a home is affected by at least three (3) primary features, including:
 - i. Home Model Plan;
 - ii. Alternative Elevations for Each Plan; and
 - iii. Color
 - b) Dwelling units built on side-by-side lots shall not repeat more than one (1) of the primary home features described in Conditions of Approval No. 60. Model floor plans shall not be repeated on more than two (2) consecutive lots.
36. For lots where side and/or rear exterior elevations of residential buildings are visible from any street or public rights-of-way, they shall incorporate architectural treatments in keeping with the front (primary) elevation. This condition shall apply to the following lots: 1, 19 through and including 26, 31, 32, 37, 38, 43, 44, 49, 50, 54, 57, and 61.
37. The front setback shall vary from the minimum of twelve (12) feet to living space to a maximum of twenty (20) feet to living space, with at least a two (2) foot variation amongst any two (2) adjacent lots, and a five (5) foot variation over any five (5) consecutive lots, regardless of home model plan.
38. Exterior side yard setbacks for lots 37, 38, and 61 shall be a minimum of eight (8) feet.
39. All exterior lighting shall be down-shielded and directed in such a way as to not interfere with the driving safety of vehicular traffic. Exposed bulbs shall not be permitted.
40. The specifications and types of exterior lighting fixtures to be installed in the subdivision area shall be submitted to and approved by the Planning Department prior to issuance of building permits.
41. All standards for the location and design of buildings (including accessory structures) and fences

which are not specifically included and made a part of PPL 2021-03, shall conform to R1 (Residential) zoning standards.

42. The floor plans of all dwelling units shall be reversible and driveway approaches on corner lots shall be located on the interior side of the property.
43. Except as noted in these Conditions of Approval, all driveways and encroachments shall conform to City standards in regard to setbacks from adjacent property lines and intersections. All approaches shall conform to City standards.

HVAC and PG&E Utility Placement Considerations/Screening Requirements

44. Prior to the issuance of building permits, the applicant shall identify on the site plan the following information for Planning Department review and approval:
 - a) The location of all natural gas and electrical utility meter locations.
 - b) The location of all heating, ventilation, and air conditioning (HVAC) equipment.
 - c) The location of all compressor equipment, and mechanical and electrical equipment.
45. All utility equipment and services shall be screened to the specifications of the Planning Department. The applicant shall show methods proposed to architecturally integrate equipment locations, or show methods proposed to screen equipment using landscaping. Any wall-mounted equipment shall be painted to match the exterior wall and screened when in predominant public views.
46. HVAC units shall be ground mounted. No roof mounted air conditioning or heating ventilation units shall be allowed. All ground-mounted HVAC equipment shall be located in the side or rear yard behind a six (6) foot tall fencing
47. Natural gas meter placement shall be screened from public view per Planning Department approval.
48. The applicant shall coordinate the installation of utilities consistent with these conditions of approval with Pacific Gas and Electric Company (PG&E).
49. If fireplaces are installed, they must be either gas-burning or EPA certified wood-burning. Natural gas and electric outlets are recommended to be installed in the back yard for barbecues. Outside electric outlets shall be provided in the front and rear yards of the units to facilitate the use of electric lawn mowers, edgers, etc. Electric or low nitrogen oxide (Nox) emitting gas-fired water heaters should be installed.

Fencing and Walls

50. All fencing and walls shall be properly maintained so as not to create a hazard, public nuisance or blight in the surrounding neighborhood.
51. Wood fencing shall be required along all side and rear yards unless otherwise specified in the Conditions of Approval.
52. Wood fencing shall be a dog ear fence picket style and made of cedar quality or better, and all fence posts shall be pressure treated and set in concrete. Fencing shall not exceed a maximum uniform height of six (6) feet. Fencing shall have a gate allowing for easy access to solid waste containers provided by the City or City contracted waste hauler purveyor. The width of the gate shall be a minimum of thirty-six (36) inches.
53. Any retaining walls greater than eighteen (18) inches in height shall be split block masonry.

54. A six (6) foot decorative split block masonry wall shall be constructed along Ellis Street between Sonora Street and North D Street and along North D Street between Ellis Street and the southern terminus of the project site. The masonry wall shall taper (step-down) to a terminus height of three (3) feet at the intersections of Sonora Street, Birchcrest Drive, and Rosebriar Street. Said taper shall occur within the first fifteen (15) feet of the wall at each intersection.
55. Masonry wall design and plan details shall be approved by the Planning and Engineering Department prior to issuance of building permits.

Landscaping

56. A landscape and irrigation plan shall be prepared by a licensed Landscape Architect and submitted as part of the submittals for a building permit. Landscape and irrigation plans shall be approved by the Planning Department prior to issuance of building permits. Said Landscape and irrigation plans shall be designed for front yards and the exterior side yards of corner lots visible to the public for the entire subdivision as a whole. Installation shall be completed in conjunction with construction of the individual homes. The plans shall:
 - a) Demonstrate compliance with the State of California's Model Water Efficient Landscape Ordinance (MWELO);
 - b) Provide permanent automatic irrigation systems for all landscaped areas;
 - c) Provide vegetative matter coverage of a minimum of 75 percent of all landscaped areas;
 - d) At least one (1) City approved street tree planted in each front yard. Corner lots shall have at least two (2) additional trees planted along the exterior side yard. Said front yard and side street trees overall shall be planted thirty (30) foot on center. Trees should be carefully selected and located to shade the buildings during the summer months. This measure should be implemented on southern and western exposures. Deciduous trees should be preferentially considered since they provide shade in the summer and allow the sun to reach the buildings during winter months.
 - e) Locate landscape material in such a way that it does not interfere with utilities above or below ground; and
 - f) Provide detailed planting lists for all landscaping, with the number, size, spacing (where applicable) and species of all plant life and groundcover, as well as soil preparation techniques for all landscaped areas.
57. The property owner shall maintain all landscaping in a healthy and well-manicured appearance. This includes, but is not limited to, ensuring properly operating irrigation equipment at all times, trimming and pruning of trees and shrubs, and replacing dead or unhealthy vegetation with drought-tolerant plantings.
58. Separate landscape and irrigation plans for all landscaping within the City's right-of-way on Ellis Street and North D Street shall be prepared and approved by the Planning and Engineering Departments prior to issuance of building permits. The landscape plan shall identify the planting of Chinese Pistache (*Pistacia Chinesis*) as the City street tree paralleling Ellis Street and North D Street. The Chinese Pistache shall be planted thirty (30) feet on center. The landscape and irrigation plans shall be prepared by a licensed landscape architect
59. A maintenance agreement is required for all landscaping located within the public right-of-way. Such agreement shall be entered into prior to issuance of a certificate of completion.

60. The property owner(s) shall maintain all landscaping in a healthy and well-manicured appearance to achieve and maintain the landscaping design that was approved by the City. This includes, but is not limited to, ensuring properly operating irrigation equipment at all times, trimming and pruning of trees and shrubs, mowing lawns consistent with residential standards, and replacing dead or unhealthy vegetation

Signage

61. All signage, including, but not limited to, on- or off-site temporary subdivision identification, directional or marketing / sale signs for the purpose advertising homes for sale shall be in compliance with the Sign Ordinance of the Madera Municipal Code Section 10-6. All permanent signage, with the exception of required signs in accordance with City standards for Ellis Street is required to have an approved Sign Permit issued by the Planning Department per Madera Municipal Code Section 10-6.

Construction Trailer & Sales Center

62. Development of any temporary construction trailer and/or materials storage yard and/or parking on any lot in the subdivision requires the approval of the Planning Manager in advance of installation/placement.
63. The development of any model home sales center on any lot in the subdivision requires the approval of the Planning Manager.

SAN JOAQUIN VALLEY AIR POLLUTION CONTROL DISTRICT

64. The applicant shall consult with and shall comply with the requirements of the San Joaquin Valley Air Pollution Control District, including, but not limited to, compliance with Regulation VIII (Fugitive PM10 Prohibitions) and Rule 9510 (Indirect Source Review).

-END OF CONDITIONS-

Attachment 1: Plan 1523, Floor Plan and Elevations
Attachment 2: Plan 1717, Floor Plan and Elevations
Attachment 3: Plan 1839, Floor Plan and Elevations
Attachment 4: Plan 2096, Floor Plan and Elevations
Attachment 5: Plan 2222, Floor Plan and Elevations
Attachment 6: Color and Material Selections

Attachment 1: Plan 1523, Floor Plan and Elevations

Attachment 2: Plan 1717, Floor Plan and Elevations

Sheet Revisions		
#	DATE	COMMENT
XX	XXXX	INITIAL PLAN CHECK SUBMITTAL

Sheet Notes:

- FIRE BLOCKING SHALL BE PROVIDED IN ALL CONCEALED SPACES. (CRC SECTION R302.1)
- ALL DIAGONAL WALLS TO BE 45 DEGREES (UNO)
- WINDOW "HEAD" HEIGHTS:
 - 1ST FLOOR = 7'-6" AFF (UNO)
 - 2ND FLOOR = 7'-6" AFF (UNO)
 - DOOR HEIGHTS AS NOTED ON FLOOR PLANS
- ALL DOORS TO BE CENTERED WITHIN ADJACENT WALLS, OR DOOR JAMB TO BE FRAMED AT 3" UNLESS OTHERWISE DIMENSIONED
- PROVIDE BACKING FOR ALL HARDWARE FIXTURES (TOWEL BARS, ETC.) TOWEL BARS SHALL BE INSTALLED NO HIGHER THAN 48" AFF.
- REFER TO BASE FLOOR PLAN FOR INFORMATION NOT SHOWN ON PARTIAL FLOOR PLANS. HATCHED WALLS ON PARTIAL FLOOR PLANS INDICATE FRAMING CHANGES FROM BASE FLOOR PLAN
- ALL JOINTS, PENETRATIONS AND OTHER OPENINGS IN THE BUILDING ENVELOPE THAT ARE POTENTIAL SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKET, WEATHER-STRIPPED OR OTHERWISE SEALED TO LIMIT INFILTRATION AND EXFILTRATION. (CNC SECTION 110.7)

Floor Plan Keynotes:

DWELLING/GARAGE FIRE SEPARATION: ALL SURFACES SHALL BE PROTECTED WITH MINIMUM ONE (1) LAYER 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. ALL HORIZONTAL SURFACES WITH HABITABLE SPACE ABOVE SHALL BE PROTECTED WITH MINIMUM ONE (1) LAYER 5/8" TYPE 'X' GYPSUM BOARD APPLIED TO THE GARAGE SIDE. (CRC SECTION R302.6 & TABLE R302.6)

OPENING PROTECTION: WHERE THE RESIDENCE AND PRIVATE GARAGE ARE PROTECTED BY AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM, DOOR OPENINGS BETWEEN THE HOUSE AND THE GARAGE NEED ONLY BE SELF-CLOSING AND SELF-LATCHING. (CRC SECTION R302.5.1 EXCEPTION)

EMERGENCY ESCAPE AND RESCUE OPENINGS: EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE (1) OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. EMERGENCY OPENING SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44" MEASURED FROM THE FLOOR AND A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24" AND THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20". (CRC SECTION R310.2) WINDOWS USED FOR EMERGENCY ESCAPE AND RESCUE OPENING SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44 INCHES MEASURED FROM THE FLOOR.

TANKLESS WATER HEATER: SPEC PER ENERGY CALCULATIONS.

ATTIC ACCESS: PROVIDE A MINIMUM 22"X30" OPENING OR LARGE ENOUGH TO REMOVE THE LARGEST PIECE OF EQUIPMENT. (CRC SECTION R807.1 & CMC SECTION 304.4) LOCATION APPROXIMATE. VERIFY/COORDINATE WITH TRUSS LAYOUT. ACCESS PANEL TO BE WEATHER-STRIPPED AND HAVE PERMANENTLY ATTACHED INSULATION USING ADHESIVE OR MECHANICAL FASTENERS EQUIVALENT TO THE SURROUNDING AREA REQUIREMENTS. (SECTION 150 OF CALIFORNIA ENERGY CODE)

A/C CONDENSER: PROVIDE MINIMUM 30"X30" CONCRETE PAD, MINIMUM 3" ABOVE GRADE. LOCATE PER PLOT PLAN.

TEMPERED SAFETY GLASS: PROVIDE TEMPERED GLASS AT HAZARDOUS LOCATIONS PER REQUIREMENTS. (CRC SECTION R308.4)

- GLAZING IN WALLS WITHIN 60 INCHES OF A WET SURFACE SHALL BE CONSIDERED A HAZARDOUS LOCATION. EXCEPTION: MORE THAN 60 INCHES AND IN A STRAIGHT LINE FROM THE WATER'S EDGE.
- GLAZING WHERE THE BOTTOM EDGE IS LESS THAN 36" ABOVE AN ADJACENT WALKING SURFACE OF STAIRS, LANDINGS, AND RAMPS SHALL BE CONSIDERED A HAZARDOUS LOCATION. EXCEPTION: GLAZING ADJACENT TO A WALKING SURFACE AND A HORIZONTAL RAIL INSTALLED 34 TO 38 INCHES ABOVE THE WALKING SURFACE.
- GLAZING ADJACENT TO THE BOTTOM OF A STAIR LANDING IS LESS THAN 36 INCHES AND IS WITHIN 60 INCHES FROM THE BOTTOM TREAD NOSE SHALL BE CONSIDERED A HAZARDOUS LOCATION. EXCEPTION: WHERE GLAZING IS PROTECTED BY A GUARD COMPLYING WITH SECTION R312 AND THE GLASS IS MORE THAN 18 INCHES ABOVE THE GUARD.

DRYER: VENT DUCT SHALL BE OF A RIGID METALLIC MATERIAL AND SHALL HAVE SMOOTH INTERIOR SURFACES, EXTENDING TO EXTERIOR WITH BACKDRAFT DAMPER. TRANSITION DUCTS MUST BE IN ACCORDANCE WITH UL 2158A (CMC SECTION 504.4) SEE DETAIL 7/A/D3

WASHING MACHINE: PROVIDE PRE-FABRICATED CORROSION RESISTANT PAN UNDER WASHING MACHINE LOCATED ON UPPER FLOOR. DRAIN TO EXTERIOR.

UPPER CABINETS: WALL MOUNTED ABOVE 12" DEEP TYPICAL. 24" DEEP ABOVE REFRIGERATOR.

SHOWERS & TUB/SHOWER COMBINATIONS: FLOORS AND WALLS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR. (CRC SECTION R307.2)

MATERIALS USED AS BACKERS FOR WALL TILE IN TUB AND SHOWER AREAS SHALL BE OF MATERIALS LISTED IN TABLE R702.4.2 AND SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECS. (CRC SECTION R702.4.2) LOCATE SHOWER HEAD AT +84" AFF. GLAZING IN ALL FIXED AND OPERABLE PANELS OF A SWINGING, SLIDING, OR BI-FOLD DOOR SHALL BE CONSIDERED A HAZARDOUS LOCATION AND SHALL COMPLY WITH CRC SECTIONS R308.3 & R308.4.

COOKING APPLIANCES: 36" RANGE, MICRO/HOOD, LIGHT, EXHAUST FAN ABOVE. FAN: MIN 100 CFM FOR LOCAL EXHAUST VENTILATION. (BUILDING ENERGY EFFICIENCY STANDARDS)

PANTRY / LINEN: (5) SHELVES, EQUAL SPACING.

INTERIOR FLAT SOFFIT: FIRST FLOOR FRAME AT 8'-1" AFF (UNO), SECOND FLOOR FRAME AT 7'-1" AFF (UNO).

EXTERIOR SOFFIT OR ARCH: SEE EXTERIOR ELEVATIONS FOR DIMENSIONS.

DASHED LINE INDICATES OUTLINE OF FLOOR ABOVE.
 SOLID LINE INDICATES OUTLINE OF FLOOR BELOW.

LOW WALL: PROVIDE WITH DOUBLE TOP PLATE, HEIGHT AT +42" AFF. (UNO)

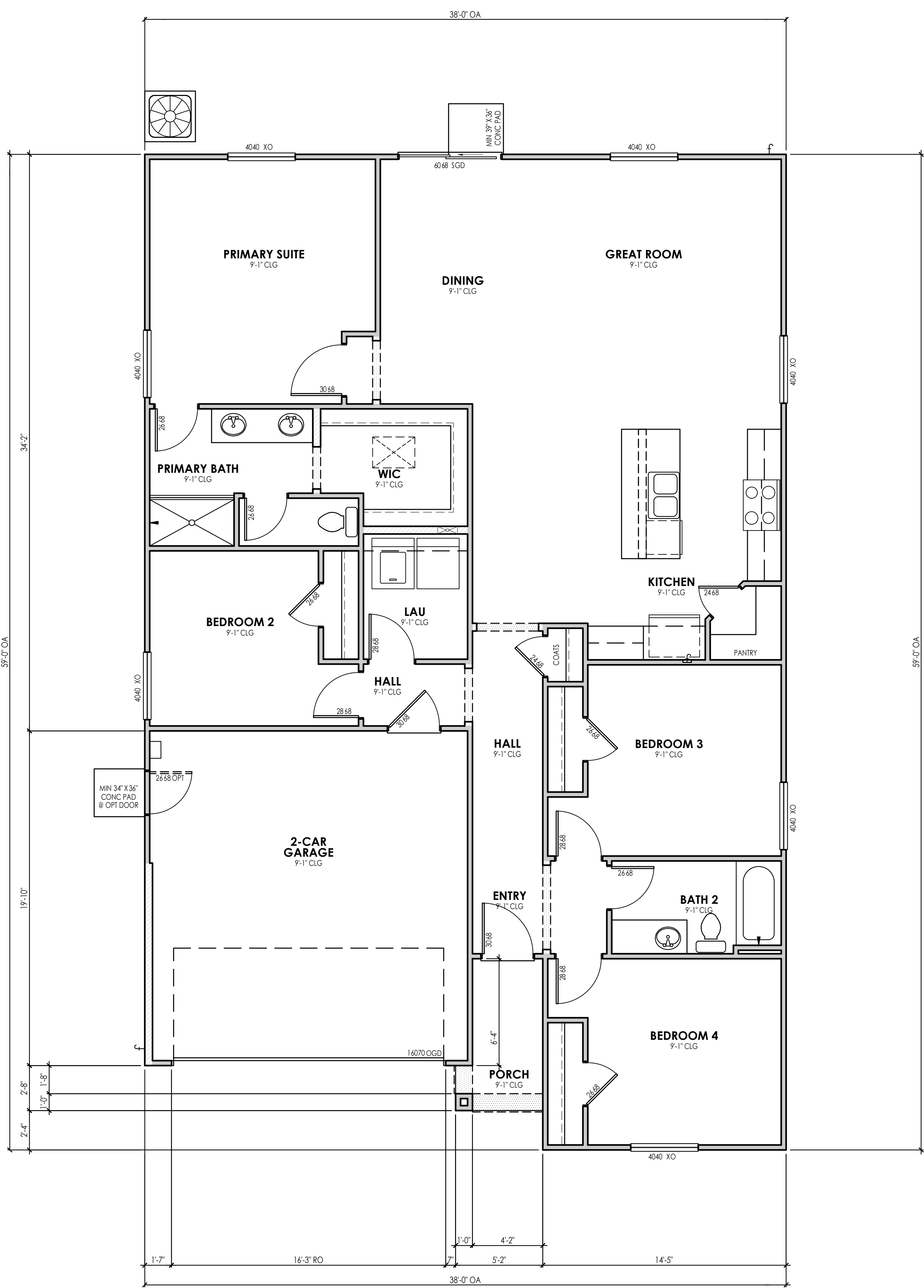
UNDER-STAIR PROTECTION: ENCLOSED SPACE UNDER STAIRS THAT IS ACCESSED BY A DOOR OR ACCESS PANEL SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" INCH GYPSUM BOARD (CRC SECTION R302.7)

STAIRWAYS: SHALL NOT BE LESS THAN 36" IN CLEAR WIDTH [AND NOT HAVE A VERTICAL RISE OF MORE THAN 151"], MINIMUM HEADROOM SHALL NOT BE LESS THAN 6'-8". MAXIMUM RISER HEIGHT SHALL BE 7-3/4". AND MINIMUM TREAD DEPTH SHALL BE 10". (CRC SECTION R311.7)

HANDRAILS (AND GUARDS WHERE THE TOP OF THE GUARD ALSO SERVES AS A HANDRAIL) SHALL BE PROVIDED ON NOT LESS THAN ONE SIDE OF EACH FLIGHT OF STAIRS WITH FOUR OR MORE RISERS. HEIGHT SHALL BE NOT LESS THAN 34" AND NOT MORE THAN 38", AND CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT. (CRC SECTION R311.7.8) SEE DETAIL 6/A/D3

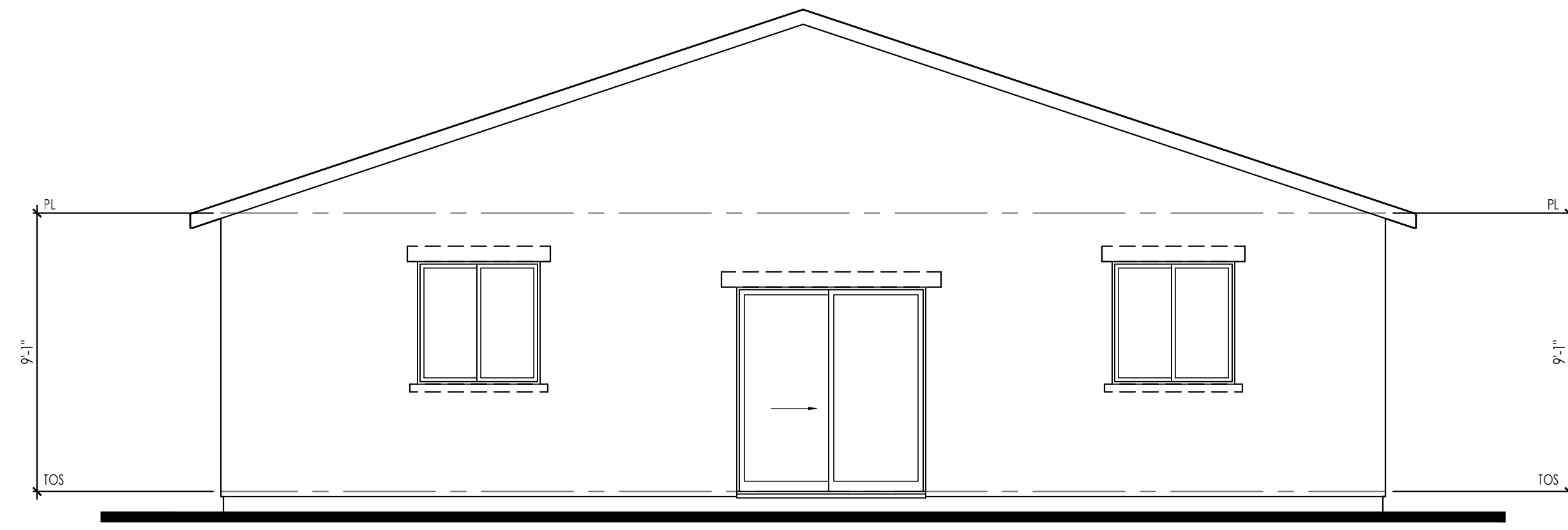
GUARDS: SHALL BE NOT LESS THAN 42" IN HEIGHT VERTICALLY ABOVE THE WALKING SURFACE OR THE LINE CONNECTING THE NOSING. RAIL DESIGN TO COMPLY WITH CODE. (CRC SECTION R312) SEE DETAIL 5/A/D3

PROVIDE MINIMUM 30" WIDE CLEAR SPACE AT WATER CLOSET, THAT EXTENDS AT LEAST 24" IN FRONT OF THE WATER CLOSET.



ALL ELEVATIONS
FLOOR PLAN
 1/4" = 1'-0"

Floor Area	
LIVING AREA:	
FLOOR LIVING:	1716.5 SQ. FT.
TOTAL LIVING AREA:	1717 SQ. FT.
OTHER AREAS:	
GARAGE:	381 SQ. FT.
COVERED PORCH:	40 SQ. FT.

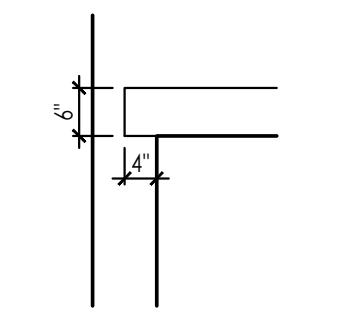
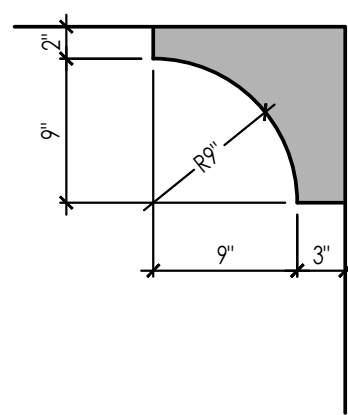
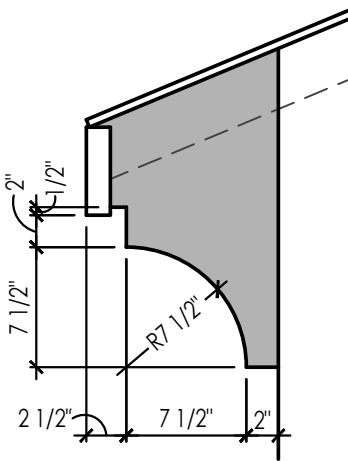
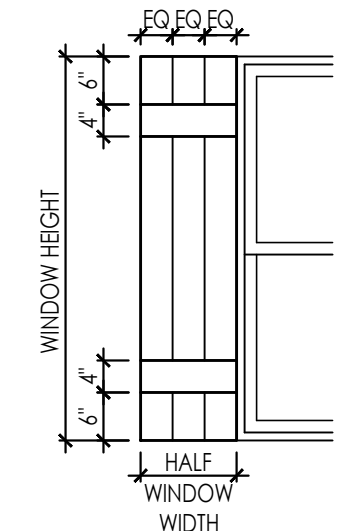
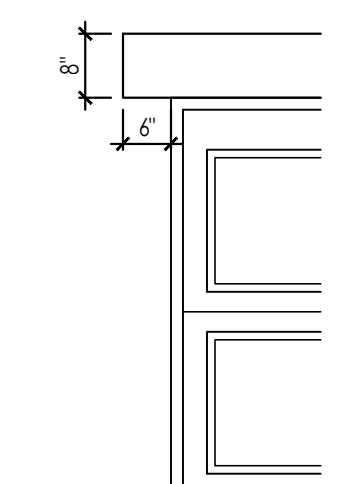
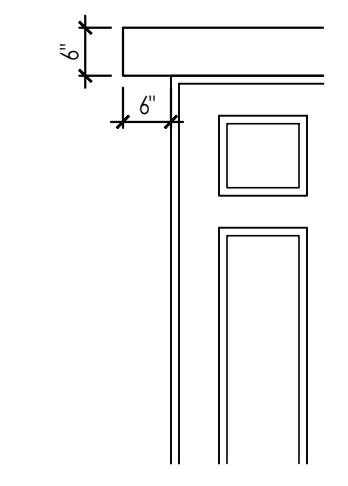
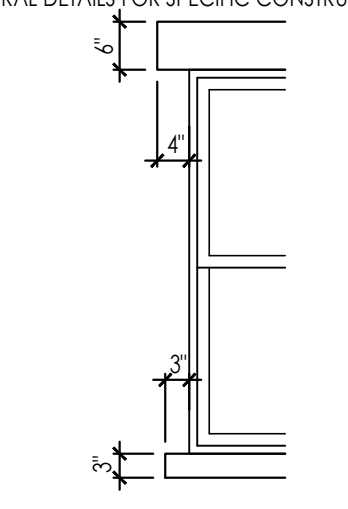


'EARLY CALIFORNIA' (COMPOSITION SHINGLE)
REAR ELEVATION "A"
 1/4" = 1'-0"



'EARLY CALIFORNIA' (COMPOSITION SHINGLE)
FRONT ELEVATION "A"
 1/4" = 1'-0"

Elevation Design Details:
 THE FOLLOWING DETAILS CONVEY DESIGN INTENT. REFER TO ARCHITECTURAL DETAILS FOR SPECIFIC CONSTRUCTION ASSEMBLIES.



- Sheet Notes:**
- PARTIAL AND OPTION ELEVATIONS SHOW ONLY THE ATTRIBUTES AND DETAILS UNIQUE TO THE PARTIAL OR OPTION ELEVATION. REFER TO BASE ELEVATION FOR INFORMATION NOT SHOWN.
 - WINDOW HEAD HEIGHTS:
 - 1ST FLOOR = 7'-4" AFF (JUNO)
 - 2ND FLOOR = 7'-5" AFF (JUNO)
 - DOOR HEIGHTS AS NOTED ON FLOOR PLANS
 - EXTERIOR WALLS (PER MFG INSTALLATION INSTRUCTIONS):
 - OMEGA DIAMOND WALL 1-COAT STUCCO SYSTEM; OVER MIN 1" FOAM INSULATION, OVER ONE LAYER OF 40-MINUTE GRADE D PAPER OR EQUAL, OVER STUDS OR WOOD-BASED SHEATHING. STUCCO CONTROL JOINT LOCATIONS SHALL BE COORDINATED WITH THE ARCHITECT PRIOR TO INSTALLATION; IF NOT SPECIFIED ON PLANS, (ESR 1194)
 - FIBER CEMENT SIDING; OVER ONE LAYER OF APPROVED WATER-RESISTIVE BARRIER, OVER STUDS OR SHEATHING.
 - ROOFING: REFER TO ROOF PLAN SHEET NOTES
 - WINDOWS: VINYL, SPEC PER BUILDER
 - GRIDS / DIVIDED LITES AS SHOWN
 - ENTRY DOORS: RAISED PANEL, SPEC PER BUILDER
 - OVER HEAD GARAGE DOORS:
 - STEEL SECTIONAL, SPEC PER BUILDER
 - RAISED PANEL AND GLASS INSERTS AS SHOWN.
 - FASCIA BOARDS: 2x6, UNLESS NOTED OTHERWISE REFER TO ELEVATION KEYNOTES
 - BARGE RAFTER: 2x6, UNLESS NOTED OTHERWISE REFER TO ELEVATION KEYNOTES
 - ADDRESS NUMBERS: PLACE IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONTING PROPERTY (CRC R319.1)
 - NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND AND BE LEGIBLE.
 - NUMBERS SHALL BE A MINIMUM 4" HIGH WITH A MINIMUM STROKE WIDTH OF 1/2"
 - ROOF HEELS: LABELED AS
 - STANDARD HEEL: +0"
 - RAISED HEEL: INCREASED HEEL TO PLANE FASCIA. REFER TO TRUSS LAYOUTS
 - ATTACHMENT PENETRATIONS MADE THROUGH EXTERIOR FINISHES SHALL BE PRE-DRILLED AND FILLED WITH MASTIC AND, WHENEVER POSSIBLE; MADE OVER SELF-ADHERED FLASHING MEMBRANE LAPPED INTO WEATHER RESISTIVE BARRIER AND INTO SOLID BACKING.

- Elevation Keynotes:**
- MINIMUM CLASS 'A' ROOFING. REFER TO ROOF PLAN SHEET NOTES
 - 2x6 FASCIA / BARGE RAFTER:
 - GUTTER, STYLE SPEC PER BUILDER
 - DOWNSPOUT, STYLE SPEC PER BUILDER
 - CORROSION RESISTANT ROOF TO WALL FLASHING REFER TO ROOF DETAILS
 - EXTERIOR STUCCO, TYPICAL +0" (JUNO), STANDARD FINISH
 - EXTERIOR SIDING MATERIAL, COMPOSITE WOOD:
 - LAP WITH 6" REVEAL
 - 1X2 BOARD & BATTEN (BATTEN AT 16" OC)
 - TRIM, SIZE AS NOTED (HEIGHT X DEPTH) OR SEE DETAIL:
 - STUCCO OVER FOAM, LIGHT SAND FINISH.
 - COMPOSITE WOOD (NOMINAL SIZE)
 - FAUX WOOD SHUTTER, ATTACHMENT PER MFG RECOMMENDATION (STYLE PER DESIGN DETAIL).
 - DECORATIVE SHAPED STUCCO CORBEL, PER DESIGN DETAIL.
 - WOOD KNEE BRACE ATTACHMENT PER DETAIL 17/AD1
 - DECORATIVE WOOD BEAM, SIZE AS NOTED. SEE DETAIL 18/AD1 FOR ATTACHMENT AT GABLE.
 - EXTERIOR COACH LIGHT; MOUNT AT +84" AFF (JUNO)
 - ADDRESS NUMBER: MOUNT AT +66" AFF (JUNO)
 - UTILITY CONNECTIONS (TYPICAL), PER MUNICIPAL CODES REQUIRED AT ENHANCED ELEVATION ONLY

4/12/2021 PERMIT SET

Jeffrey DeMure + Associates
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JD+A Project Number: 21033

Sheet Revisions		
#	DATE	COMMENT

PLAN 1717
 Sheet Description:
 EXTERIOR ELEVATIONS
 "A" (FRONT / REAR)
 Sheet Number:
A5.1

Sheet Revisions		
#	DATE	COMMENT
XX	XXXX	INITIAL PLAN CHECK SUBMITTAL

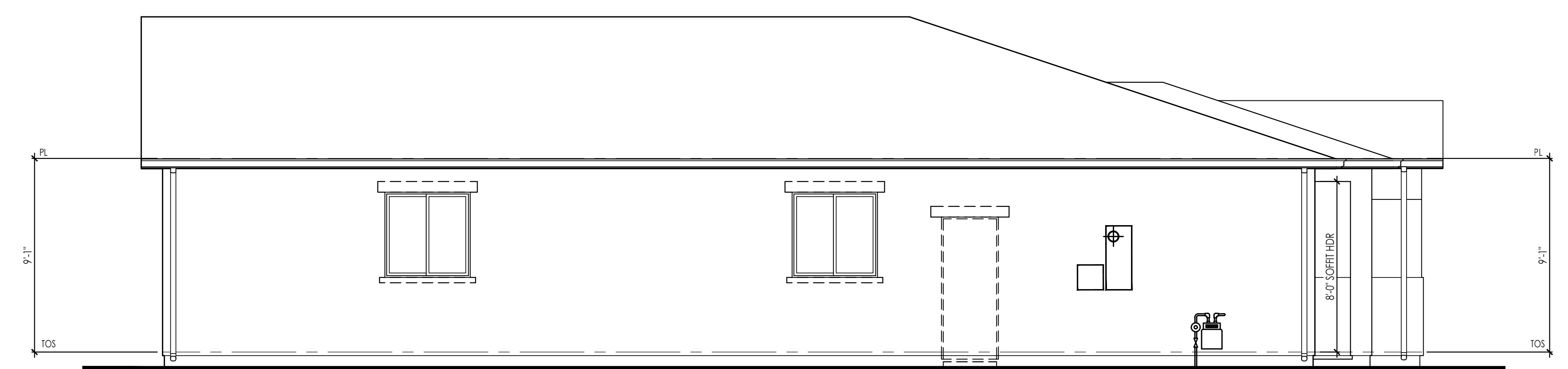
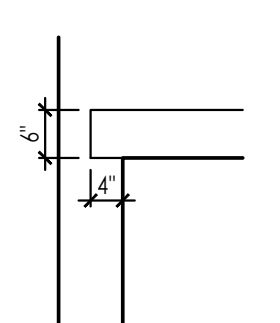
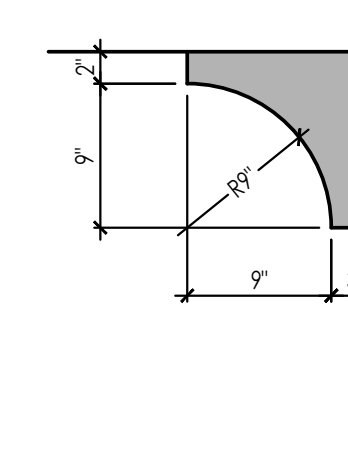
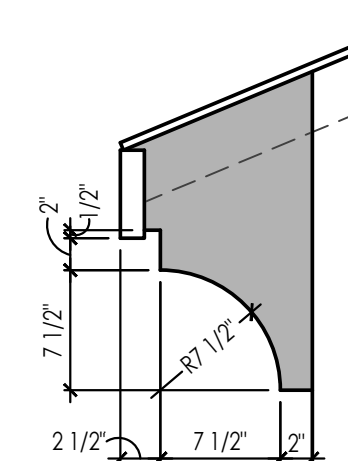
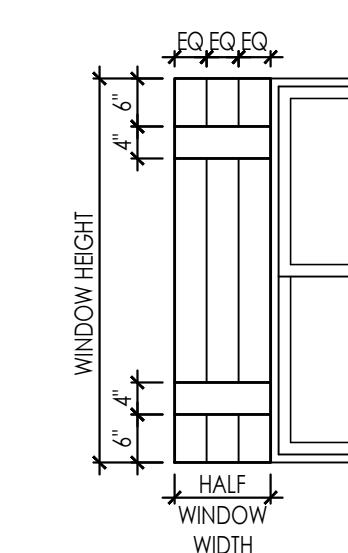
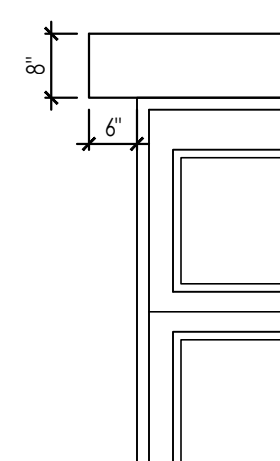
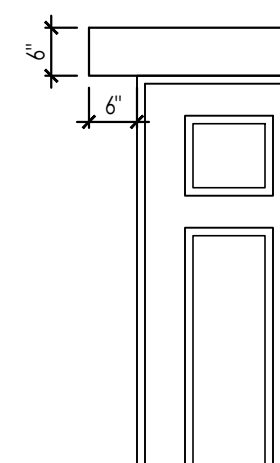
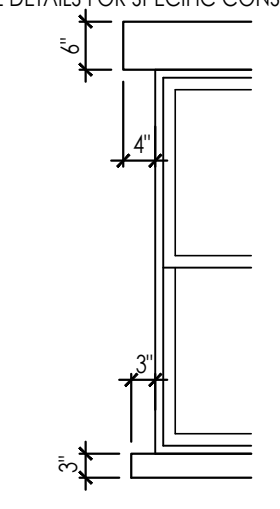
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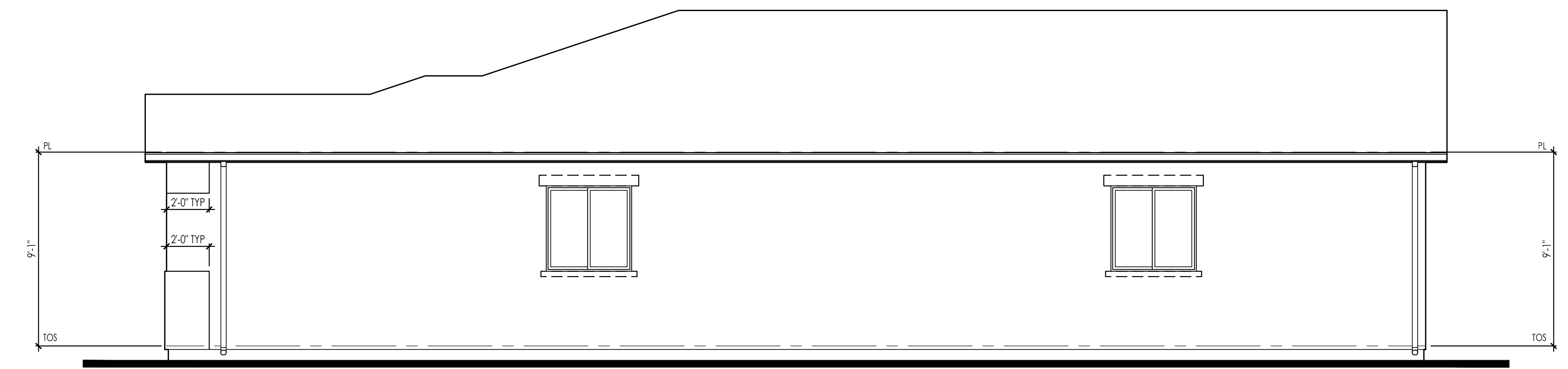
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Elevation Keynotes:

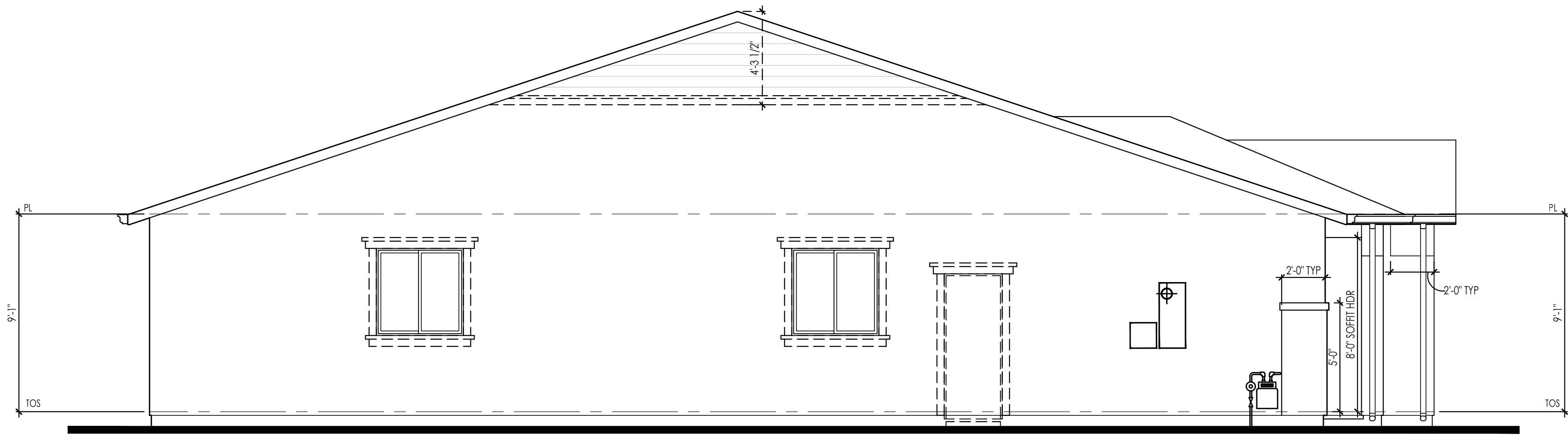
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- EXTERIOR SIDING MATERIAL, COMPOSITE WOOD:
 - LAP WITH 6" REVEAL
 - 1X2 BOARD & BATTEN (BATTEN AT 16" OC)
- TRIM, SIZE AS NOTED (HEIGHT X DEPTH) OR SEE DETAIL:
 - STUCCO OVER FOAM, LIGHT SAND FINISH.
 - COMPOSITE WOOD (NOMINAL SIZE)
- FAUX WOOD SHUTTER, ATTACHMENT PER MFG RECOMMENDATION (STYLE PER DESIGN DETAIL).
- DECORATIVE SHAPED STUCCO CORBEL, PER DESIGN DETAIL.
- WOOD KNEE BRACE ATTACHMENT PER DETAIL 17/AD1
- DECORATIVE WOOD BEAM, SIZE AS NOTED, SEE DETAIL 18/AD1 FOR ATTACHMENT AT GABLE.
- EXTERIOR COACH LIGHT: MOUNT AT +84" AFF (JUNO)
- ADDRESS NUMBER: MOUNT AT +66" AFF (JUNO)
- UTILITY CONNECTIONS (TYPICAL), PER MUNICIPAL CODES REQUIRED AT ENHANCED ELEVATION ONLY



'EARLY CALIFORNIA' (COMPOSITION SHINGLE)
LEFT ELEVATION "A"
 1/4" = 1'-0"

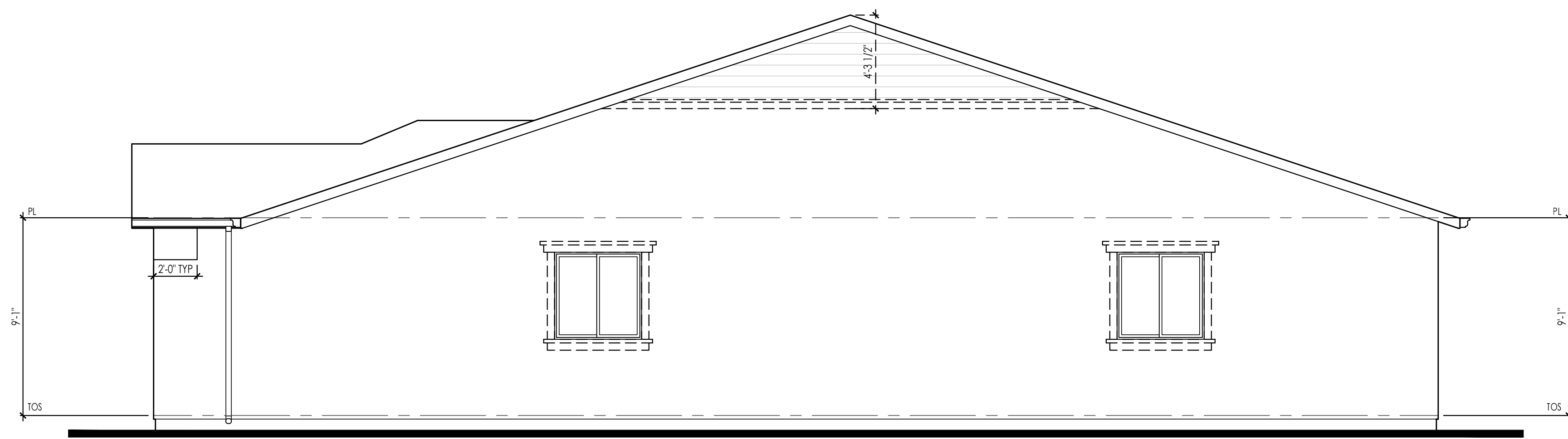


'EARLY CALIFORNIA' (COMPOSITION SHINGLE)
RIGHT ELEVATION "A"
 1/4" = 1'-0"



'COTTAGE' (COMPOSITION SHINGLE)
LEFT ELEVATION "C"

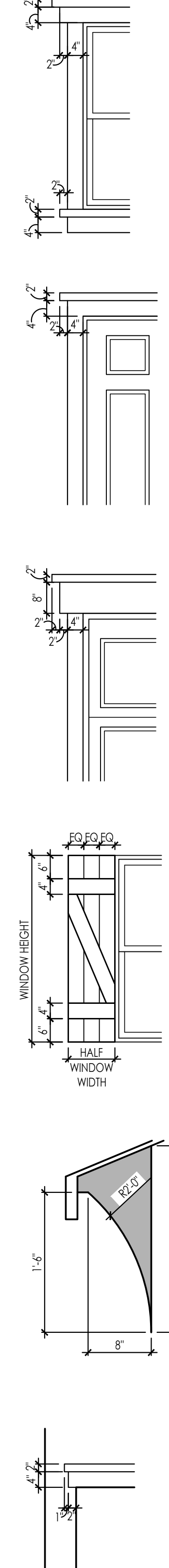
1/4" = 1'-0"



'COTTAGE' (COMPOSITION SHINGLE)
RIGHT ELEVATION "C"

1/4" = 1'-0"

Elevation Design Details:
THE FOLLOWING DETAILS CONVEY DESIGN INTENT. REFER TO ARCHITECTURAL DETAILS FOR SPECIFIC CONSTRUCTION ASSEMBLIES.



- Sheet Notes:
- PARTIAL AND OPTION ELEVATIONS SHOW ONLY THE ATTRIBUTES AND DETAILS UNIQUE TO THE PARTIAL OR OPTION ELEVATION. REFER TO BASE ELEVATION FOR INFORMATION NOT SHOWN.
 - WINDOW HEAD HEIGHTS:
 - 1ST FLOOR = 7'-4" AFF (JUNO)
 - 2ND FLOOR = 7'-5" AFF (JUNO)
 - DOOR HEIGHTS AS NOTED ON FLOOR PLANS
 - EXTERIOR WALLS (PER MFG INSTALLATION INSTRUCTIONS):
 - OMEGA DIAMOND WALL 1-COAT STUCCO SYSTEM: OVER MIN 1" FOAM INSULATION, OVER ONE LAYER OF 40-MINUTE GRADE D PAPER OR EQUAL, OVER STUDS OR WOOD-BASED SHEATHING. STUCCO CONTROL JOINT LOCATIONS SHALL BE COORDINATED WITH THE ARCHITECT PRIOR TO INSTALLATION, IF NOT SPECIFIED ON PLANS. (ESR 1194)
 - FIBER CEMENT SIDING: OVER ONE LAYER OF APPROVED WATER-RESISTIVE BARRIER, OVER STUDS OR SHEATHING.
 - ROOFING: REFER TO ROOF PLAN SHEET NOTES
 - WINDOWS: VINYL, SPEC PER BUILDER
 - GRIDS / DIVIDED LITES AS SHOWN
 - ENTRY DOORS: RAISED PANEL, SPEC PER BUILDER
 - OVER HEAD GARAGE DOORS:
 - STEEL SECTIONAL, SPEC PER BUILDER
 - RAISED PANEL AND GLASS INSERTS AS SHOWN.
 - FASCIA BOARDS: 2X6, UNLESS NOTED OTHERWISE REFER TO ELEVATION KEYNOTES
 - BARGE RAFTER: 2X6, UNLESS NOTED OTHERWISE REFER TO ELEVATION KEYNOTES
 - ADDRESS NUMBERS: PLACE IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONTING PROPERTY (CRC R319.1)
 - NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND AND BE LEGIBLE.
 - NUMBERS SHALL BE A MINIMUM 4" HIGH WITH A MINIMUM STROKE WIDTH OF 1/2"
 - ROOF HEELS: LABELED AS
 - STANDARD HEEL: +0"
 - RAISED HEEL: INCREASED HEEL TO PLANE FASCIA. REFER TO TRUSS LAYOUTS
 - ATTACHMENT PENETRATIONS MADE THROUGH EXTERIOR FINISHES SHALL BE PRE-DRILLED AND FILLED WITH MASTIC AND, WHENEVER POSSIBLE: MADE OVER SELF-ADHERED FLASHING MEMBRANE LAPPED INTO WEATHER RESISTIVE BARRIER AND INTO SOLID BACKING.

Elevation Keynotes:

- MINIMUM CLASS 'A' ROOFING. REFER TO ROOF PLAN SHEET NOTES
- 2X6 FASCIA / BARGE RAFTER
- GUTTER, STYLE SPEC PER BUILDER
- DOWNSPOUT, STYLE SPEC PER BUILDER
- CORROSION RESISTANT ROOF TO WALL FLASHING REFER TO ROOF DETAILS
- EXTERIOR STUCCO, TYPICAL +0" (JUNO), STANDARD FINISH
- EXTERIOR SIDING MATERIAL, COMPOSITE WOOD:
 - LAP WITH 6" REVEAL
 - 1X2 BOARD & BATTEN (BATTEN AT 16" OC)
- TRIM, SIZE AS NOTED (HEIGHT X DEPTH) OR SEE DETAIL:
 - STUCCO OVER FOAM, LIGHT SAND FINISH.
 - COMPOSITE WOOD (NOMINAL SIZE)
- FAUX WOOD SHUTTER, ATTACHMENT PER MFG RECOMMENDATION (STYLE PER DESIGN DETAIL).
- DECORATIVE SHAPED STUCCO CORBEL, PER DESIGN DETAIL.
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- DECORATIVE WOOD BEAM, SIZE AS NOTED. SEE DETAIL 18/AD1 FOR ATTACHMENT AT GABLE.
- EXTERIOR COACH LIGHT: MOUNT AT +84" AFF (JUNO)
- ADDRESS NUMBER: MOUNT AT +66" AFF (JUNO)
- UTILITY CONNECTIONS (TYPICAL), PER MUNICIPAL CODES REQUIRED AT ENHANCED ELEVATION ONLY

Sheet Revisions		
#	DATE	COMMENT
XX	XXXX	INITIAL PLAN CHECK SUBMITTAL

Attachment 3: Plan 1839, Floor Plan and Elevations

Sheet Revisions		
#	DATE	COMMENT
XX	XXXX	INITIAL PLAN CHECK SUBMITTAL

PLAN 1839
 Sheet Description:
 FIRST FLOOR PLAN

Sheet Number:

A3.1

4/12/2021 PERMIT SET

Sheet Notes:

- FIRE BLOCKING SHALL BE PROVIDED IN ALL CONCEALED SPACES. (CRC SECTION R302.1)
- ALL DIAGONAL WALLS TO BE 45 DEGREES (UNO)
- WINDOW "HEAD" HEIGHTS:
 - 1ST FLOOR = 7'-6" AFF (UNO)
 - 2ND FLOOR = 7'-6" AFF (UNO)
 - DOOR HEIGHTS AS NOTED ON FLOOR PLANS
- ALL DOORS TO BE CENTERED WITHIN ADJACENT WALLS, OR DOOR JAMB TO BE FRAMED AT 3" UNLESS OTHERWISE DIMENSIONED
- PROVIDE BACKING FOR ALL HARDWARE FIXTURES (TOWEL BARS, ETC.) TOWEL BARS SHALL BE INSTALLED NO HIGHER THAN 48" AFF.
- REFER TO BASE FLOOR PLAN FOR INFORMATION NOT SHOWN ON PARTIAL FLOOR PLANS. HATCHED WALLS ON PARTIAL FLOOR PLANS INDICATE FRAMING CHANGES FROM BASE FLOOR PLAN
- ALL JOINTS, PENETRATIONS AND OTHER OPENINGS IN THE BUILDING ENVELOPE THAT ARE POTENTIAL SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKET, WEATHER-STRIPPED OR OTHERWISE SEALED TO LIMIT INFILTRATION AND EXFILTRATION. (CENC SECTION 110.7)

Floor Plan Keynotes:

DWELLING/GARAGE FIRE SEPARATION: ALL SURFACES SHALL BE PROTECTED WITH MINIMUM ONE (1) LAYER 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. ALL HORIZONTAL SURFACES WITH HABITABLE SPACE ABOVE SHALL BE PROTECTED WITH MINIMUM ONE (1) LAYER 5/8" TYPE 'X' GYPSUM BOARD APPLIED TO THE GARAGE SIDE. (CRC SECTION R302.6 & TABLE R302.6)

OPENING PROTECTION: WHERE THE RESIDENCE AND PRIVATE GARAGE ARE PROTECTED BY AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM, DOOR OPENINGS BETWEEN THE HOUSE AND THE GARAGE NEED ONLY BE SELF-CLOSING AND SELF-LATCHING. (CRC SECTION R302.5.1 EXCEPTION)

EMERGENCY ESCAPE AND RESCUE OPENINGS: EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE (1) OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. EMERGENCY OPENING SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44" MEASURED FROM THE FLOOR AND A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24" AND THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20". (CRC SECTION R310.2) WINDOWS USED FOR EMERGENCY ESCAPE AND RESCUE OPENING SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44 INCHES MEASURED FROM THE FLOOR.

TANKLESS WATER HEATER: SPEC PER ENERGY CALCULATIONS.

ATTIC ACCESS: PROVIDE A MINIMUM 22"X30" OPENING OR LARGE ENOUGH TO REMOVE THE LARGEST PIECE OF EQUIPMENT. (CRC SECTION R807.1 & CMC SECTION 304.4) LOCATION APPROXIMATE. VERIFY/COORDINATE WITH TRUSS LAYOUT. ACCESS PANEL TO BE WEATHER-STRIPPED AND HAVE PERMANENTLY ATTACHED INSULATION USING ADHESIVE OR MECHANICAL FASTENERS EQUIVALENT TO THE SURROUNDING AREA REQUIREMENTS. (SECTION 150 OF CALIFORNIA ENERGY CODE)

A/C CONDENSER: PROVIDE MINIMUM 30"X30" CONCRETE PAD, MINIMUM 3" ABOVE GRADE. LOCATE PER PLOT PLAN.

TEMPERED SAFETY GLASS: PROVIDE TEMPERED GLASS AT HAZARDOUS LOCATIONS PER REQUIREMENTS. (CRC SECTION R308.4)

- GLAZING IN WALLS WITHIN 60 INCHES OF A WET SURFACE SHALL BE CONSIDERED A HAZARDOUS LOCATION. EXCEPTION: MORE THAN 60 INCHES AND IN A STRAIGHT LINE FROM THE WATER'S EDGE
- GLAZING WHERE THE BOTTOM EDGE IS LESS THAN 36" ABOVE AN ADJACENT WALKING SURFACE OF STAIRS, LANDINGS, AND RAMP'S SHALL BE CONSIDERED A HAZARDOUS LOCATION. EXCEPTION: GLAZING ADJACENT TO A WALKING SURFACE AND A HORIZONTAL RAIL INSTALLED 34 TO 38 INCHES ABOVE THE WALKING SURFACE
- GLAZING ADJACENT TO THE BOTTOM OF A STAIR LANDING IS LESS THAN 36 INCHES AND IS WITHIN 60 INCHES FROM THE BOTTOM TREAD NOSE SHALL BE CONSIDERED A HAZARDOUS LOCATION. EXCEPTION: WHERE GLAZING IS PROTECTED BY A GUARD COMPLYING WITH SECTION R312 AND THE GLASS IS MORE THAN 18 INCHES ABOVE THE GUARD.

DRYER: VENT DUCT SHALL BE OF A RIGID METALLIC MATERIAL AND SHALL HAVE SMOOTH INTERIOR SURFACES. EXTENDING TO EXTERIOR WITH BACKDRAFT DAMPER. TRANSITION DUCTS MUST BE IN ACCORDANCE WITH UL 2158A (CMC SECTION 504.4) SEE DETAIL 7/A/D3

WASHING MACHINE: PROVIDE PRE-FABRICATED CORROSION RESISTANT PAN UNDER WASHING MACHINE LOCATED ON UPPER FLOOR. DRAIN TO EXTERIOR.

UPPER CABINETS: WALL MOUNTED ABOVE 12" DEEP TYPICAL. 24" DEEP ABOVE REFRIGERATOR.

SHOWERS & TUB/SHOWER COMBINATIONS: FLOORS AND WALLS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR. (CRC SECTION R307.2)

MATERIALS USED AS BACKERS FOR WALL TILE IN TUB AND SHOWER AREAS SHALL BE OF MATERIALS LISTED IN TABLE R702.4.2 AND SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS' SPECS. (CRC SECTION R702.4.2) LOCATE SHOWER HEAD AT +84" AFF. GLAZING IN ALL FIXED AND OPERABLE PANELS OF A SWINGING, SLIDING, OR BI-FOLD DOOR SHALL BE CONSIDERED A HAZARDOUS LOCATION AND SHALL COMPLY WITH CRC SECTIONS R308.3 & R308.4.

COOKING APPLIANCES: 36" RANGE, MICRO/HOOD, LIGHT, EXHAUST FAN ABOVE. FAN: MIN 100 CFM FOR LOCAL EXHAUST VENTILATION. (BUILDING ENERGY EFFICIENCY STANDARDS)

PANTRY / LINEN: (5) SHELVES, EQUAL SPACING.

INTERIOR FLAT SOFFIT: FIRST FLOOR FRAME AT 8'-1" AFF (UNO). SECOND FLOOR FRAME AT 7'-1" AFF (UNO).

EXTERIOR SOFFIT OR ARCH: SEE EXTERIOR ELEVATIONS FOR DIMENSIONS.

DASHED LINE INDICATES OUTLINE OF FLOOR ABOVE.
 SOLID LINE INDICATES OUTLINE OF FLOOR BELOW.

LOW WALL: PROVIDE WITH DOUBLE TOP PLATE. HEIGHT AT +42" AFF. (UNO)

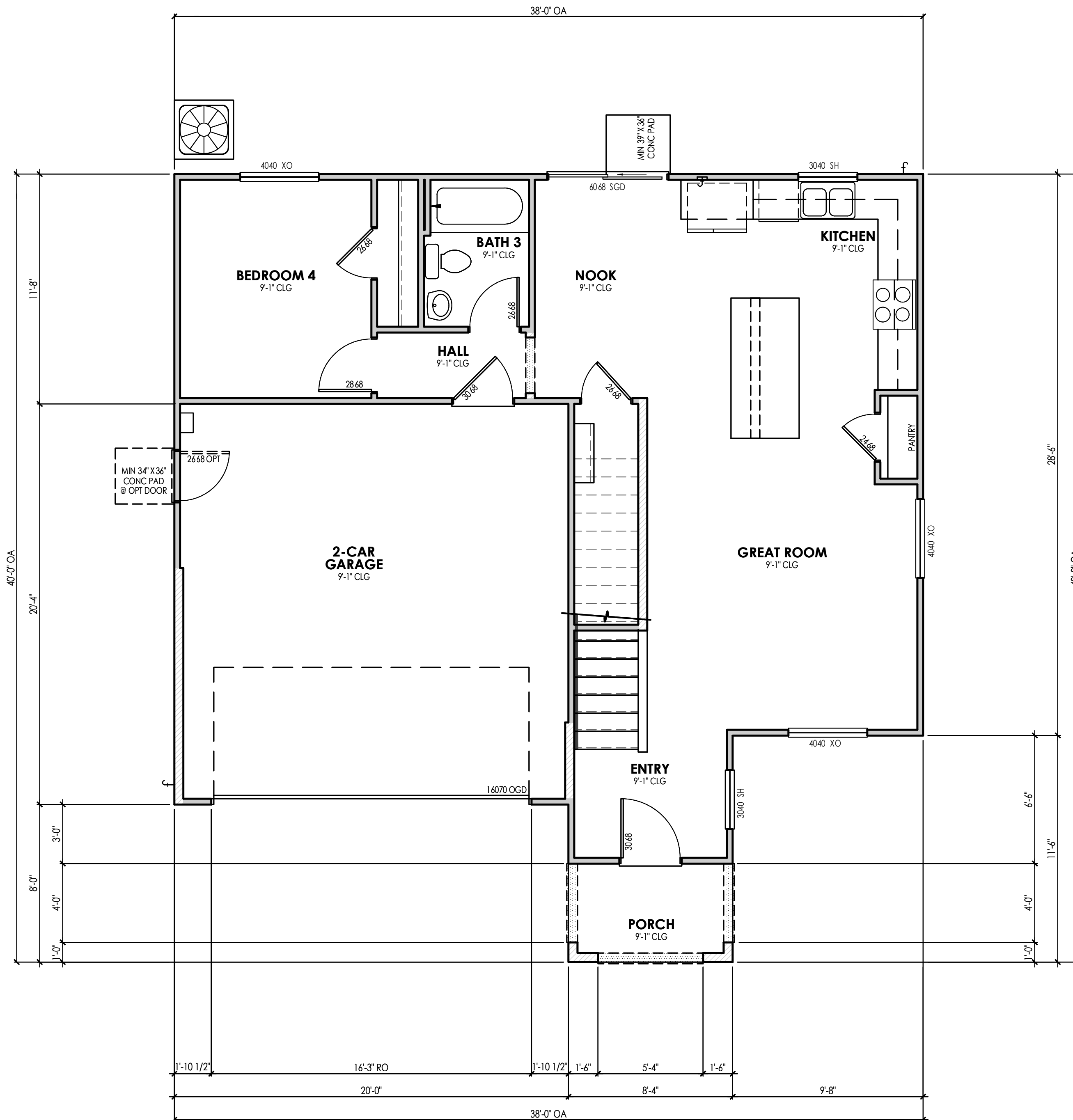
UNDER-STAIR PROTECTION: ENCLOSED SPACE UNDER STAIRS THAT IS ACCESSED BY A DOOR OR ACCESS PANEL SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" INCH GYPSUM BOARD (CRC SECTION R302.7)

STAIRWAYS: SHALL NOT BE LESS THAN 36" IN CLEAR WIDTH (AND NOT HAVE A VERTICAL RISE OF MORE THAN 151"). MINIMUM HEADROOM SHALL NOT BE LESS THAN 6'-8". MAXIMUM RISER HEIGHT SHALL BE 7-3/4". AND MINIMUM TREAD DEPTH SHALL BE 10". (CRC SECTION R311.7)

HANDRAILS (AND GUARDS WHERE THE TOP OF THE GUARD ALSO SERVES AS A HANDRAIL) SHALL BE PROVIDED ON NOT LESS THAN ONE SIDE OF EACH FLIGHT OF STAIRS WITH FOUR OR MORE RISERS. HEIGHT SHALL BE NOT LESS THAN 34" AND NOT MORE THAN 38". AND CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT. (CRC SECTION R311.7.8) SEE DETAIL 6/A/D3

GUARDS: SHALL BE NOT LESS THAN 42" IN HEIGHT VERTICALLY ABOVE THE WALKING SURFACE OR THE LINE CONNECTING THE NOSING. RAIL DESIGN TO COMPLY WITH CODE. (CRC SECTION R312) SEE DETAIL 5/A/D3

PROVIDE MINIMUM 30" WIDE CLEAR SPACE AT WATER CLOSET. THAT EXTENDS AT LEAST 24" IN FRONT OF THE WATER CLOSET.



ALL ELEVATIONS FIRST FLOOR PLAN

1/4" = 1'-0"

Floor Area	
LIVING AREA:	
FIRST FLOOR LIVING:	800.5 SQ. FT.
SECOND FLOOR LIVING:	1038.3 SQ. FT.
TOTAL LIVING AREA:	1839 SQ. FT.
OTHER AREAS:	
GARAGE:	407 SQ. FT.
COVERED PORCH:	42 SQ. FT.

#	DATE	COMMENT
XX	XXXX	INITIAL PLAN CHECK SUBMITTAL

PLAN 1839
 Sheet Description:
SECOND FLOOR PLAN

Sheet Number:

A3.2

4/12/2021 PERMIT SET

Sheet Notes:

- FIRE BLOCKING SHALL BE PROVIDED IN ALL CONCEALED SPACES. (CRC SECTION R302.1.1)
- ALL DIAGONAL WALLS TO BE 45 DEGREES (UNO)
- WINDOW "HEAD" HEIGHTS:
 - 1ST FLOOR = 7'-6" AFF (UNO)
 - 2ND FLOOR = 7'-6" AFF (UNO)
 - DOOR HEIGHTS AS NOTED ON FLOOR PLANS
- ALL DOORS TO BE CENTERED WITHIN ADJACENT WALLS, OR DOOR JAMB TO BE FRAMED AT 3" UNLESS OTHERWISE DIMENSIONED
- PROVIDE BACKING FOR ALL HARDWARE FIXTURES (TOWEL BARS, ETC.) TOWEL BARS SHALL BE INSTALLED NO HIGHER THAN 48" AFF.
- REFER TO BASE FLOOR PLAN FOR INFORMATION NOT SHOWN ON PARTIAL FLOOR PLANS. HATCHED WALLS ON PARTIAL FLOOR PLANS INDICATE FRAMING CHANGES FROM BASE FLOOR PLAN
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Floor Plan Keynotes:

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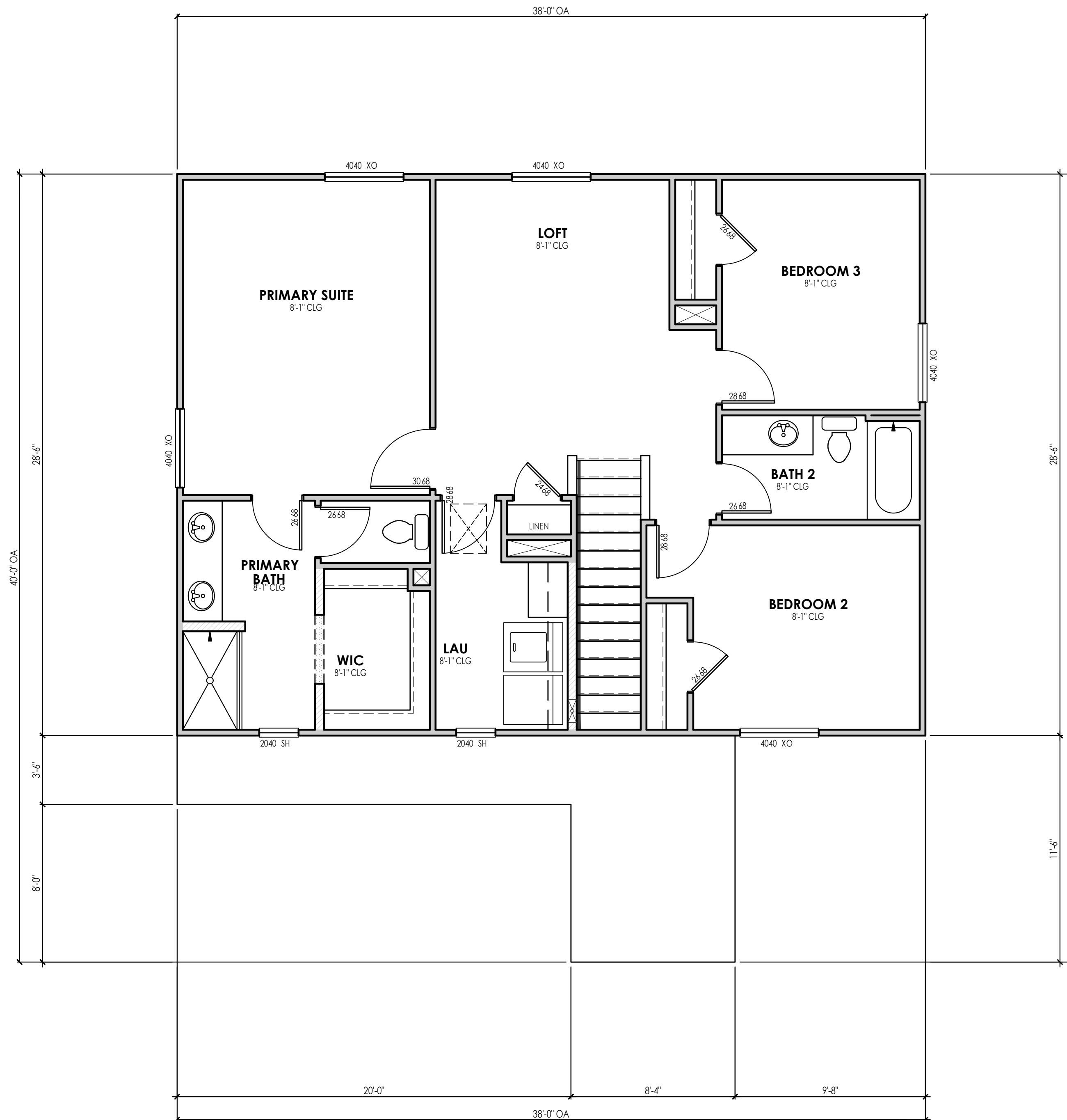
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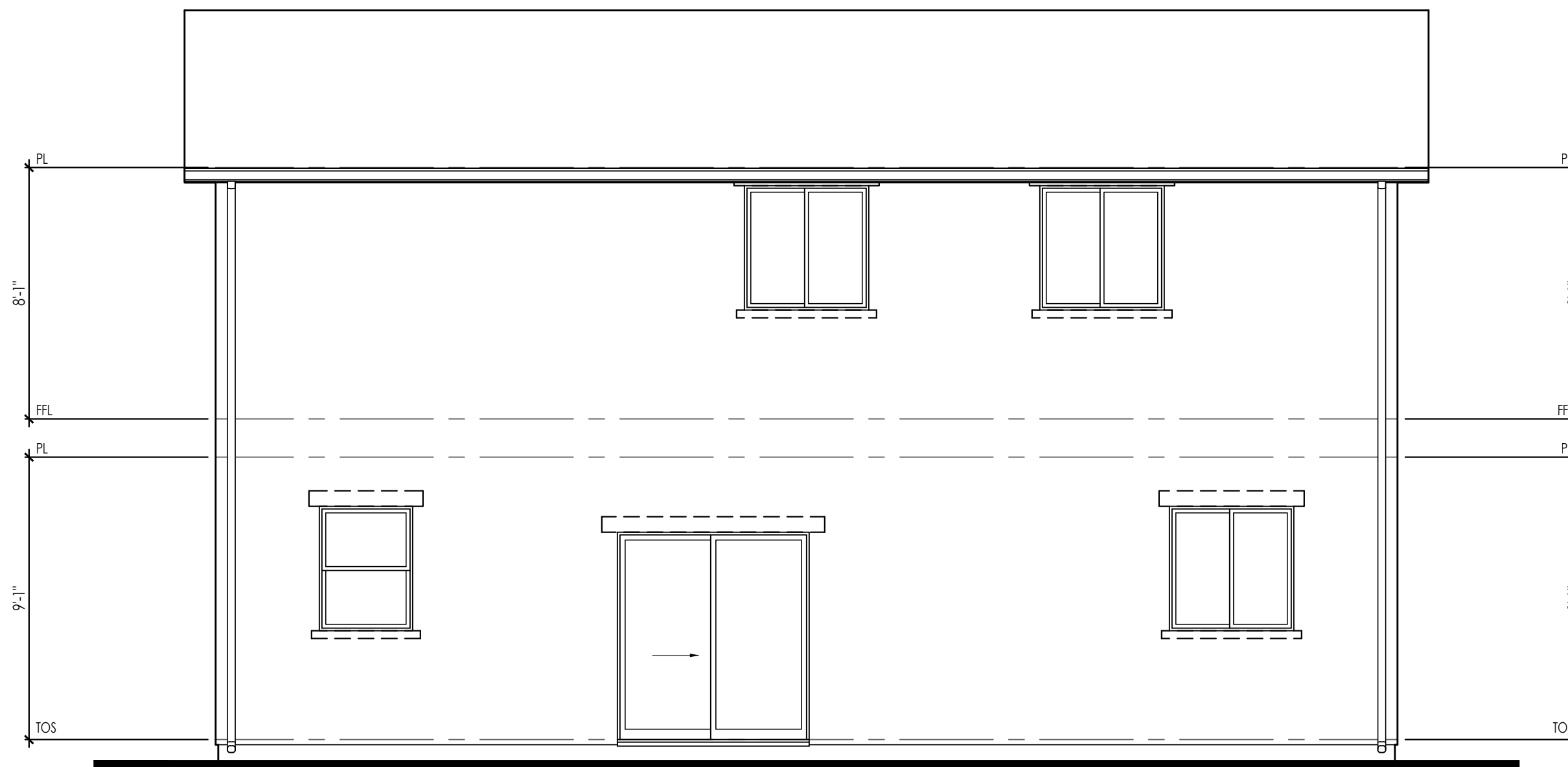
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Floor Area	
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SECOND FLOOR LIVING:	1038.3 SQ. FT.
TOTAL LIVING AREA:	1839 SQ. FT.
OTHER AREAS:	
GARAGE:	407 SQ. FT.
COVERED PORCH:	42 SQ. FT.



**ALL ELEVATIONS
 SECOND FLOOR PLAN**

1/4" = 1'-0"



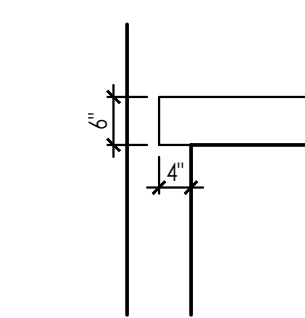
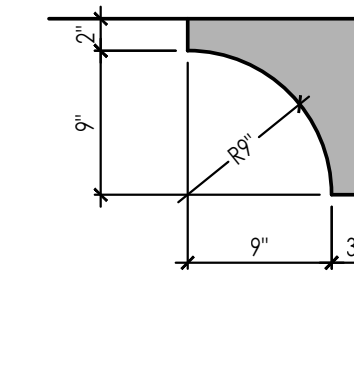
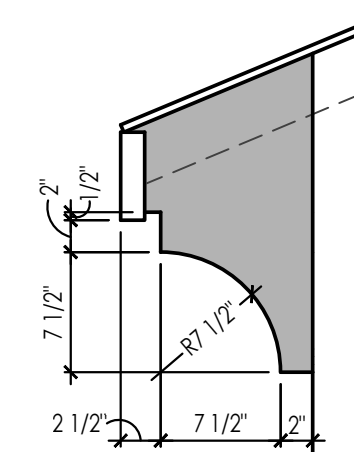
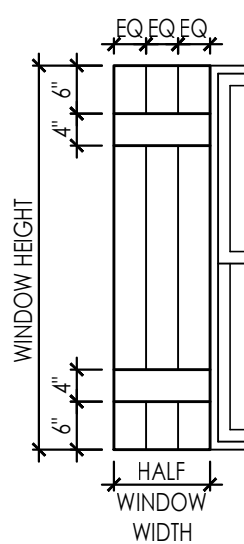
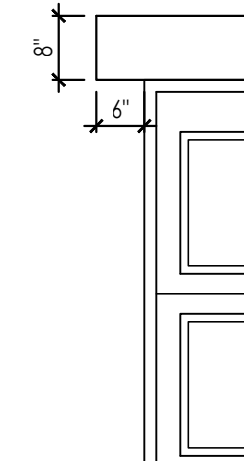
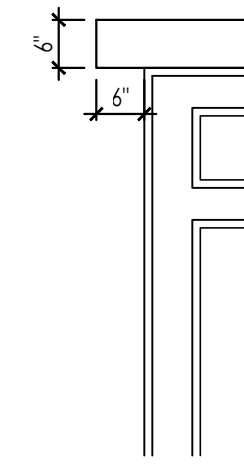
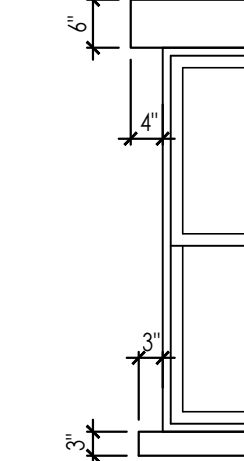
'EARLY CALIFORNIA' (COMPOSITION SHINGLE)
REAR ELEVATION "A"
 1/4" = 1'-0"



'EARLY CALIFORNIA' (COMPOSITION SHINGLE)
FRONT ELEVATION "A"
 1/4" = 1'-0"

Elevation Design Details:

THE FOLLOWING DETAILS CONVEY DESIGN INTENT. REFER TO ARCHITECTURAL DETAILS FOR SPECIFIC CONSTRUCTION ASSEMBLIES.



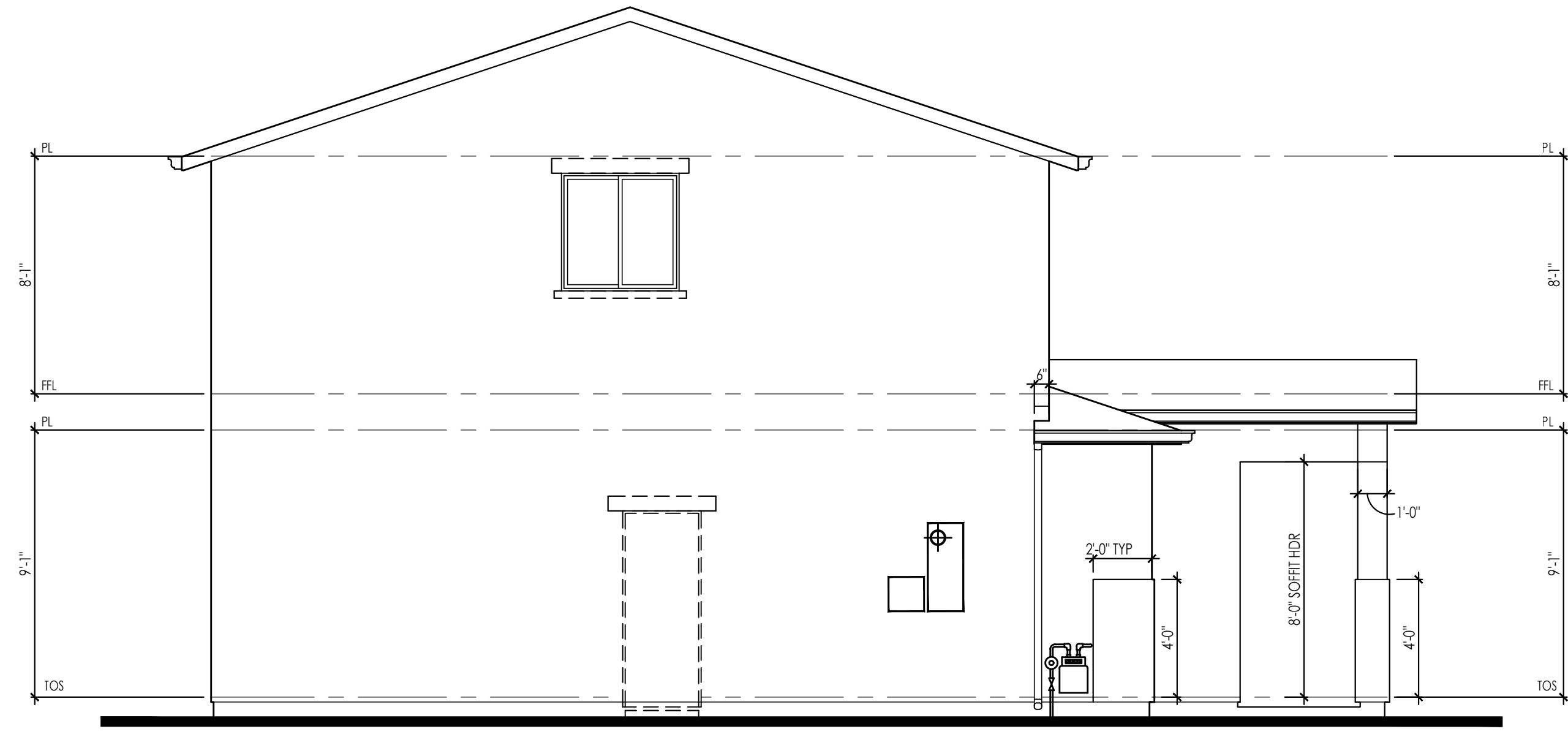
Sheet Notes:

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 - 1ST FLOOR = 7'-6" AFF (JUNO)
 - 2ND FLOOR = 7'-5" AFF (JUNO)
 - DOOR HEIGHTS AS NOTED ON FLOOR PLANS
3. EXTERIOR WALLS (PER MFG INSTALLATION INSTRUCTIONS):
 - OMEGA DIAMOND WALL 1-COAT STUCCO SYSTEM: OVER MIN 1" FOAM INSULATION, OVER ONE LAYER OF 40-MINUTE GRADE D PAPER OR EQUAL, OVER STUDS OR WOOD-BASED SHEATHING. STUCCO CONTROL JOINT LOCATIONS SHALL BE COORDINATED WITH THE ARCHITECT PRIOR TO INSTALLATION; IF NOT SPECIFIED ON PLANS, (ESR 1194)
 - FIBER CEMENT SIDING: OVER ONE LAYER OF APPROVED WATER-RESISTIVE BARRIER, OVER STUDS OR SHEATHING.
4. ROOFING: REFER TO ROOF PLAN SHEET NOTES
5. WINDOWS: VINYL, SPEC PER BUILDER
6. ENTRY DOORS: RAISED PANEL, SPEC PER BUILDER
7. OVER HEAD GARAGE DOORS:
 STEEL SECTIONAL, SPEC PER BUILDER
 RAISED PANEL AND GLASS INSERTS AS SHOWN.
8. FASCIA BOARDS: 2X6, UNLESS NOTED OTHERWISE REFER TO ELEVATION KEYNOTES
 BARGE RAFTER: 2X6, UNLESS NOTED OTHERWISE REFER TO ELEVATION KEYNOTES
9. ADDRESS NUMBERS: PLACE IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONTING PROPERTY (CRC R319.1)
 A. NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND AND BE LEGIBLE.
 B. NUMBERS SHALL BE A MINIMUM 4" HIGH WITH A MINIMUM STROKE WIDTH OF 1/2"
10. ROOF HEELS: LABELED AS
 STANDARD HEEL: +0"
 RAISED HEEL: INCREASED HEEL TO PLANE FASCIA. REFER TO TRUSS LAYOUTS
11. ATTACHMENT PENETRATIONS MADE THROUGH EXTERIOR FINISHES SHALL BE PRE-DRILLED AND FILLED WITH MASTIC AND, WHENEVER POSSIBLE, MADE OVER SELF-ADHERED FLASHING MEMBRANE LAPPED INTO WEATHER RESISTIVE BARRIER AND INTO SOLID BACKING.

Elevation Keynotes:

- MINIMUM CLASS 'A' ROOFING. REFER TO ROOF PLAN SHEET NOTES
- 2X6 FASCIA / BARGE RAFTER:
- GUTTER, STYLE SPEC PER BUILDER
- DOWNSPOUT, STYLE SPEC PER BUILDER
- CORROSION RESISTANT ROOF TO WALL FLASHING REFER TO ROOF DETAILS
- EXTERIOR STUCCO, TYPICAL +0" (JUNO), STANDARD FINISH
- EXTERIOR SIDING MATERIAL, COMPOSITE WOOD:
 A. LAP WITH 6" REVEAL
 B. 1X2 BOARD & BATTEN (BATTEN AT 16" OC)
- TRIM, SIZE AS NOTED (HEIGHT X DEPTH) OR SEE DETAIL:
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- EXTERIOR COACH LIGHT: MOUNT AT +84" AFF (JUNO)
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- UTILITY CONNECTIONS (TYPICAL), PER MUNICIPAL CODES REQUIRED AT ENHANCED ELEVATION ONLY

Sheet Revisions		
#	DATE	COMMENT
XX.XXXX		INITIAL PLAN CHECK SUBMITTAL



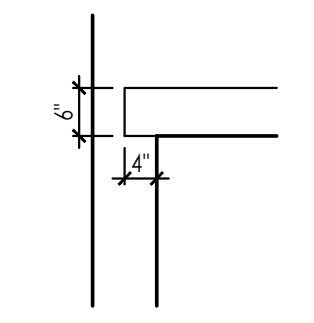
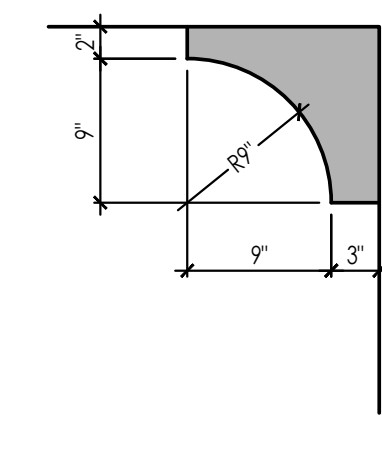
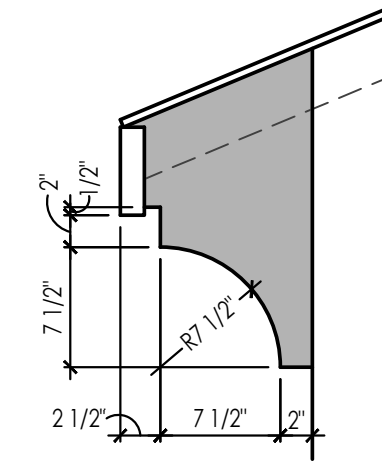
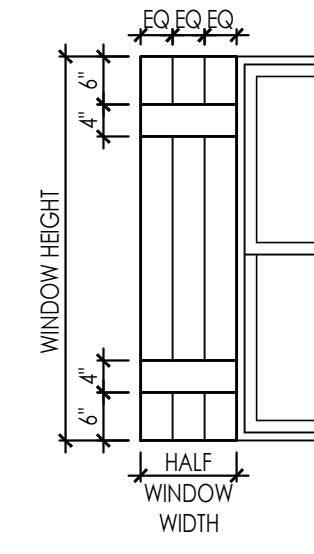
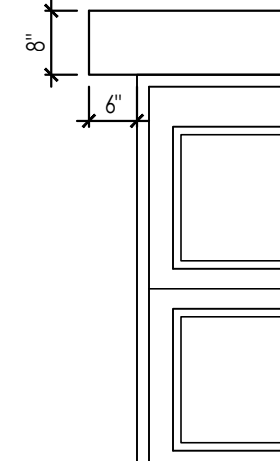
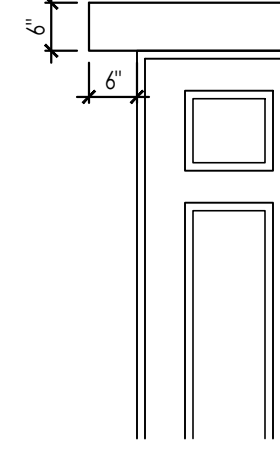
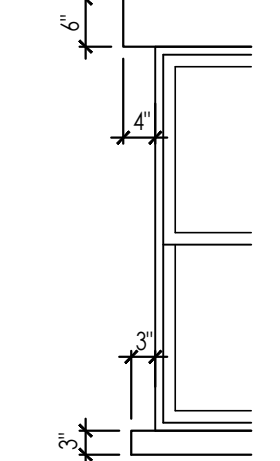
'EARLY CALIFORNIA' (COMPOSITION SHINGLE)
LEFT ELEVATION "A"
1/4" = 1'-0"



'EARLY CALIFORNIA' (COMPOSITION SHINGLE)
RIGHT ELEVATION "A"
1/4" = 1'-0"

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Elevation Keynotes:

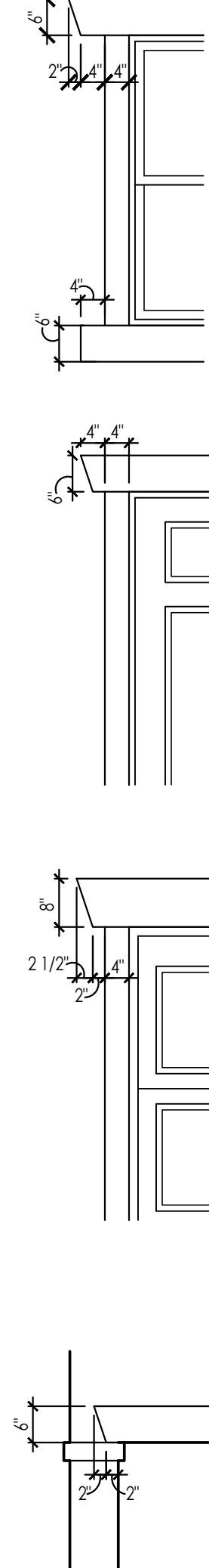
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4/12/2021 PERMIT SET

Sheet Revisions		
#	DATE	COMMENT
XX	XXXX	INITIAL PLAN CHECK SUBMITAL

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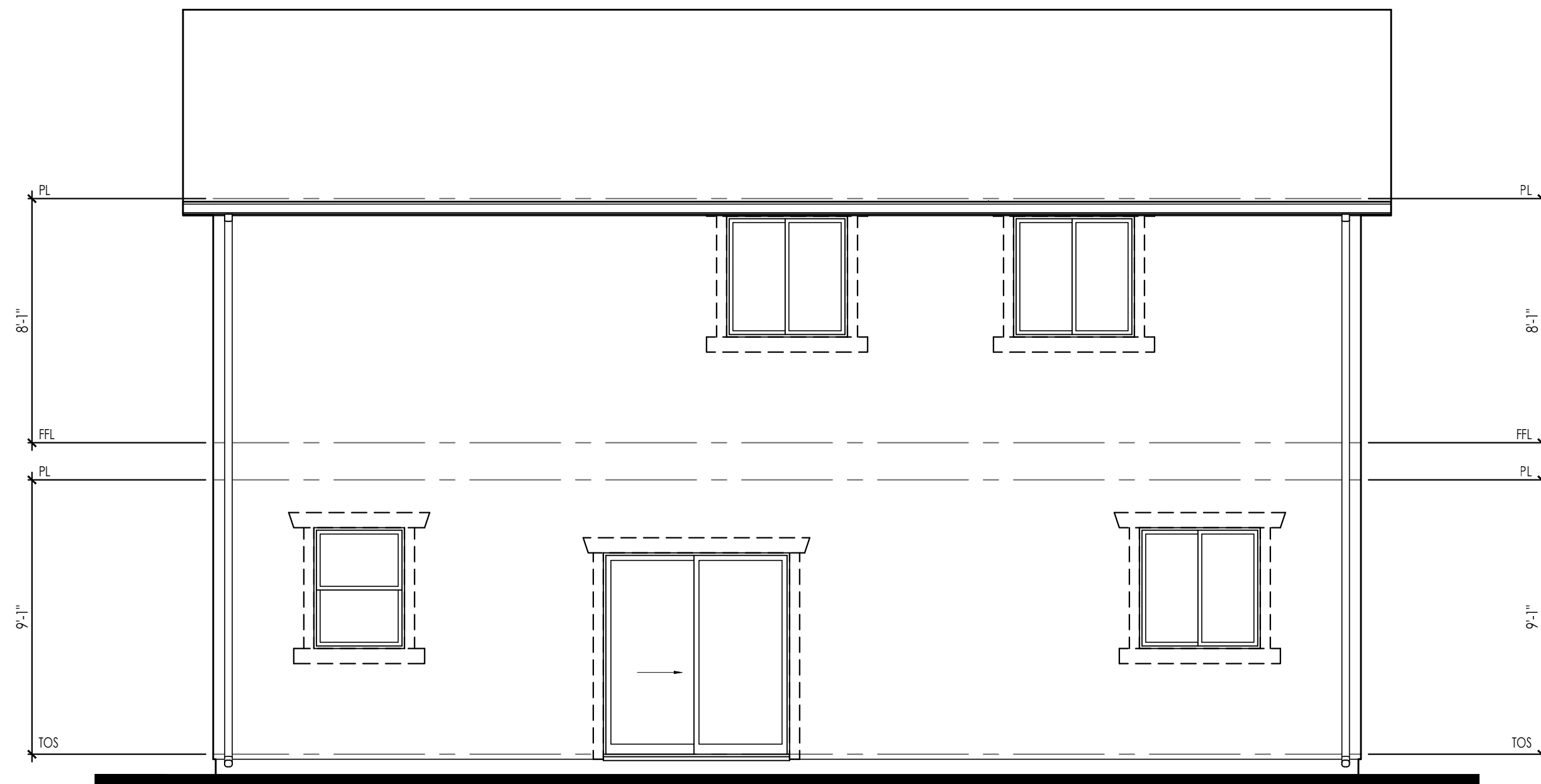
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'BUNGALOW' (COMPOSITION SHINGLE)
REAR ELEVATION "B"

1/4" = 1'-0"



'BUNGALOW' (COMPOSITION SHINGLE)
FRONT ELEVATION "B"

1/4" = 1'-0"

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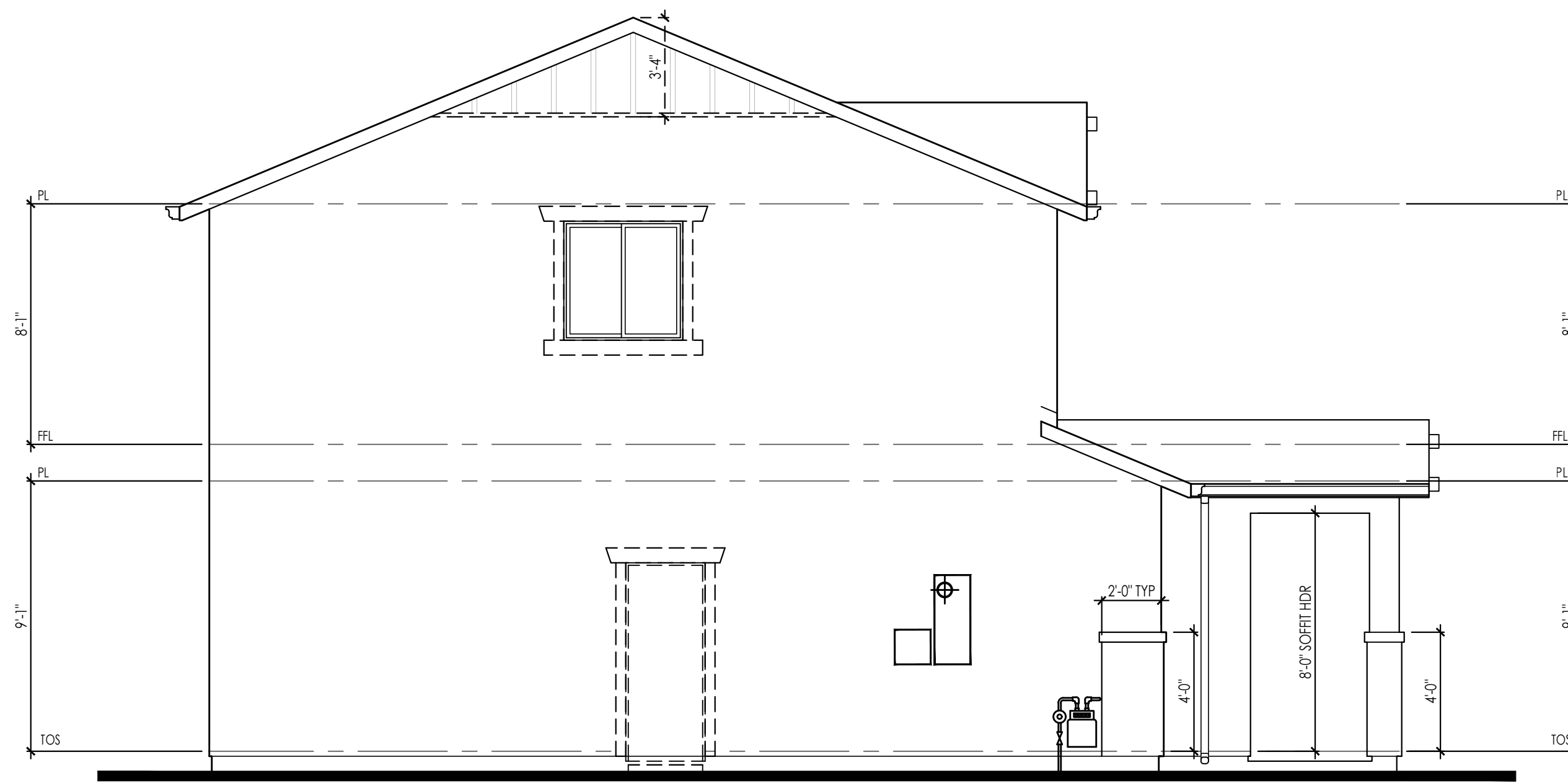
JD+A Project Number: 21033

Sheet Revisions

#	DATE	COMMENT
	XX.XXX	INITIAL PLAN CHECK SUBMITTAL

PLAN 1839
Sheet Description:
EXTERIOR ELEVATIONS
"B" (FRONT / REAR)

Sheet Number:
A6.1



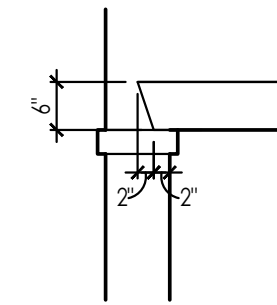
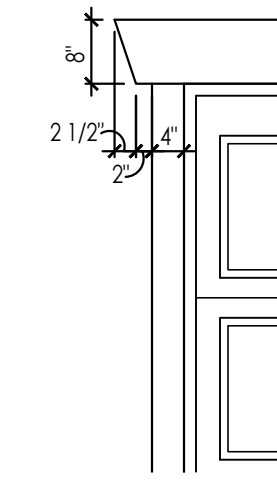
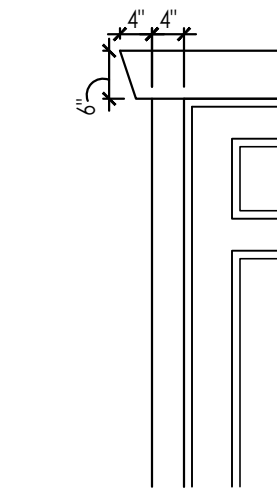
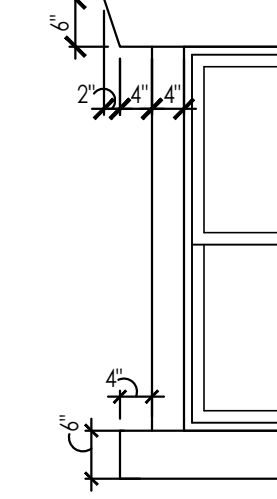
'BUNGALOW' (COMPOSITION SHINGLE)
LEFT ELEVATION "B"
 1/4" = 1'-0"



'BUNGALOW' (COMPOSITION SHINGLE)
RIGHT ELEVATION "B"
 1/4" = 1'-0"

Elevation Design Details: Sheet Notes:

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Elevation Keynotes:

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Sheet Revisions		
#	DATE	COMMENT
XX	XXXX	INITIAL PLAN CHECK SUBMITTAL

PLAN 1839
 Sheet Description:
EXTERIOR ELEVATIONS "B" (RIGHT/LEFT)

Sheet Number:
A6.2

Sheet Revisions		
#	DATE	COMMENT
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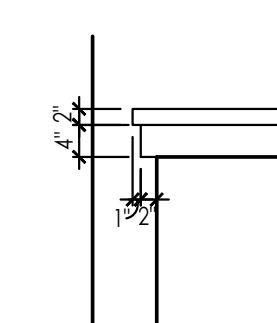
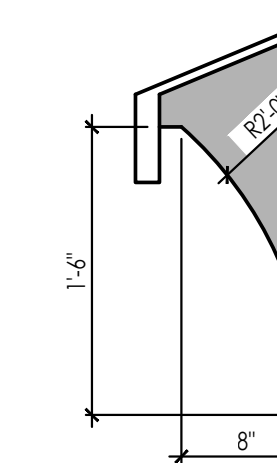
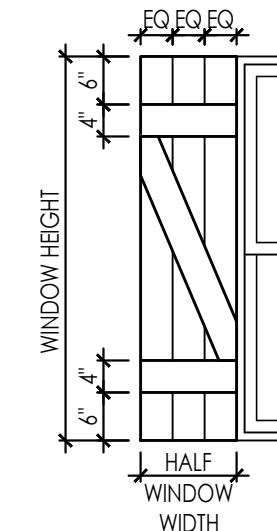
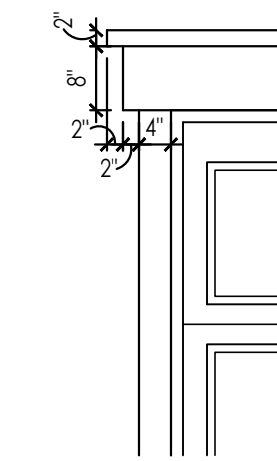
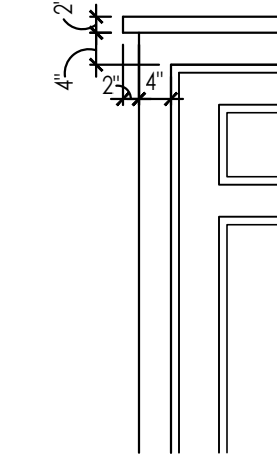
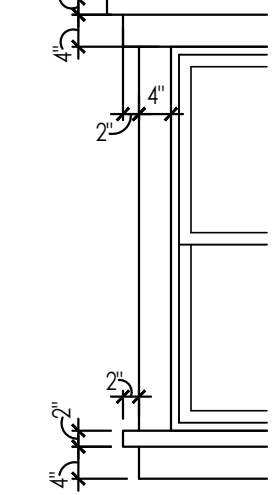
PLAN 1839
 Sheet Description:
 EXTERIOR ELEVATIONS
 "C" (FRONT / REAR)

Sheet Number:
A7.1

4/12/2021 PERMIT SET

Elevation Design Details: Sheet Notes:

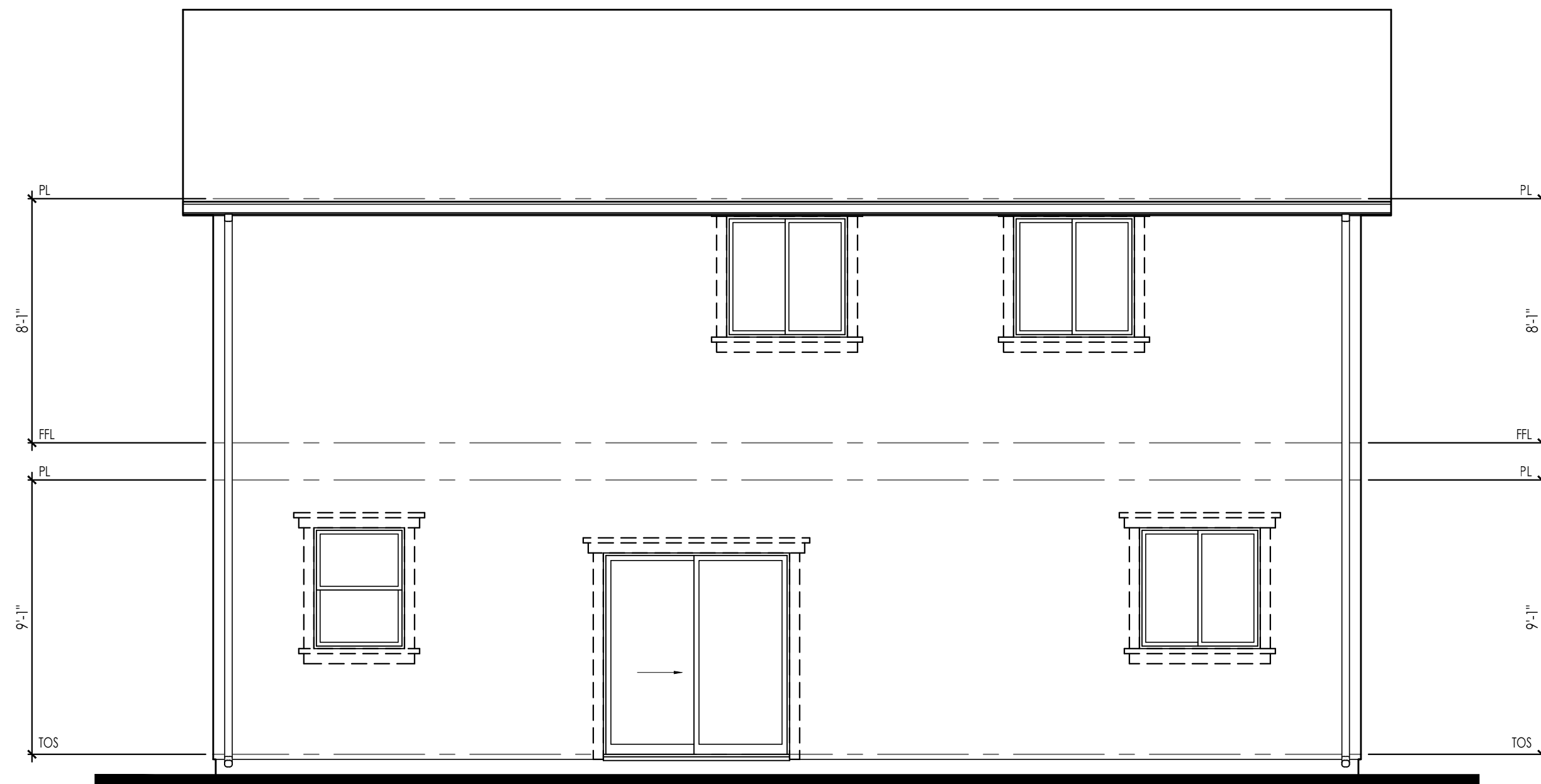
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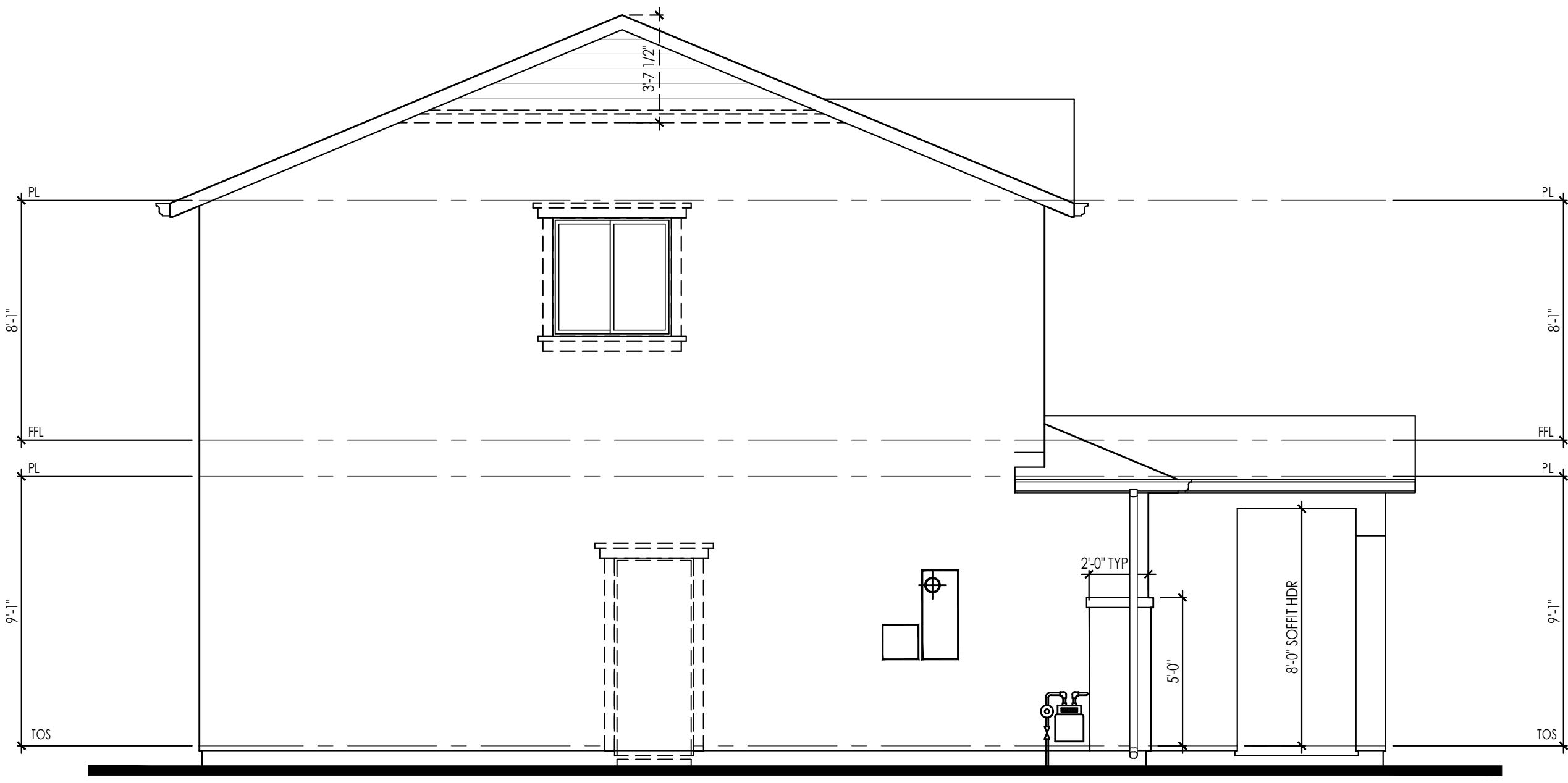
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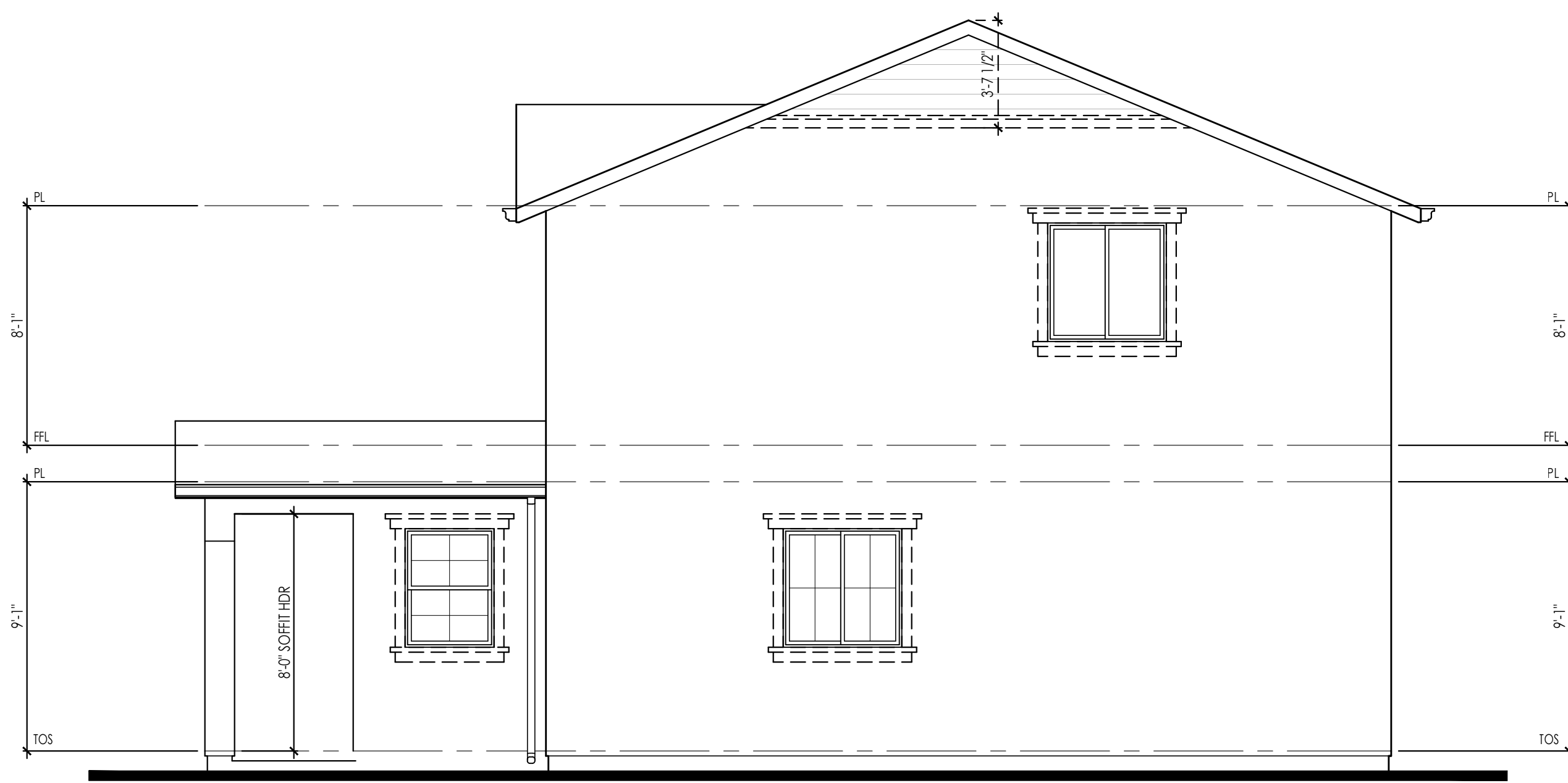
'COTTAGE' (COMPOSITION SHINGLE)
 REAR ELEVATION "C"
 1/4" = 1'-0"



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 FRONT ELEVATION "C"
 1/4" = 1'-0"

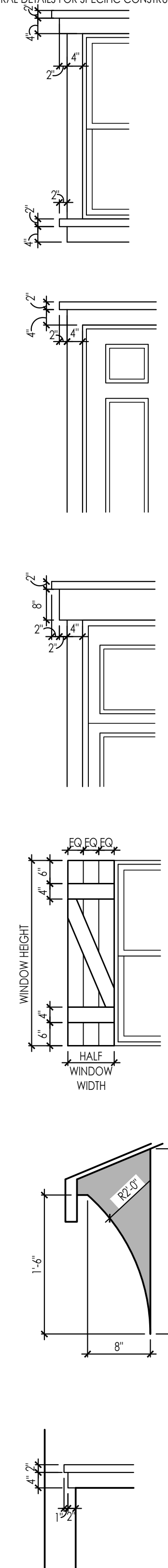


**'COTTAGE' (COMPOSITION SHINGLE)
LEFT ELEVATION "C"**
1/4" = 1'-0"



**'COTTAGE' (COMPOSITION SHINGLE)
RIGHT ELEVATION "C"**
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 - ROOFING: REFER TO ROOF PLAN SHEET NOTES
 - WINDOWS: VINYL, SPEC PER BUILDER
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- Elevation Keynotes:**
- MINIMUM CLASS 'A' ROOFING. REFER TO ROOF PLAN SHEET NOTES
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 - EXTERIOR STUCCO, TYPICAL +0" (LINO), STANDARD FINISH
 - EXTERIOR SIDING MATERIAL, COMPOSITE WOOD:
 - A. LAP WITH 6" REVEAL
 - B. 1X2 BOARD & BATTEN (BATTEN AT 16" OC)
 - TRIM, SIZE AS NOTED (HEIGHT X DEPTH) OR SEE DETAIL:
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 - FAUX WOOD SHUTTER, ATTACHMENT PER MFG RECOMMENDATION (STYLE PER DESIGN DETAIL)
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 - WOOD KNEE BRACE ATTACHMENT PER DETAIL 17/AD1
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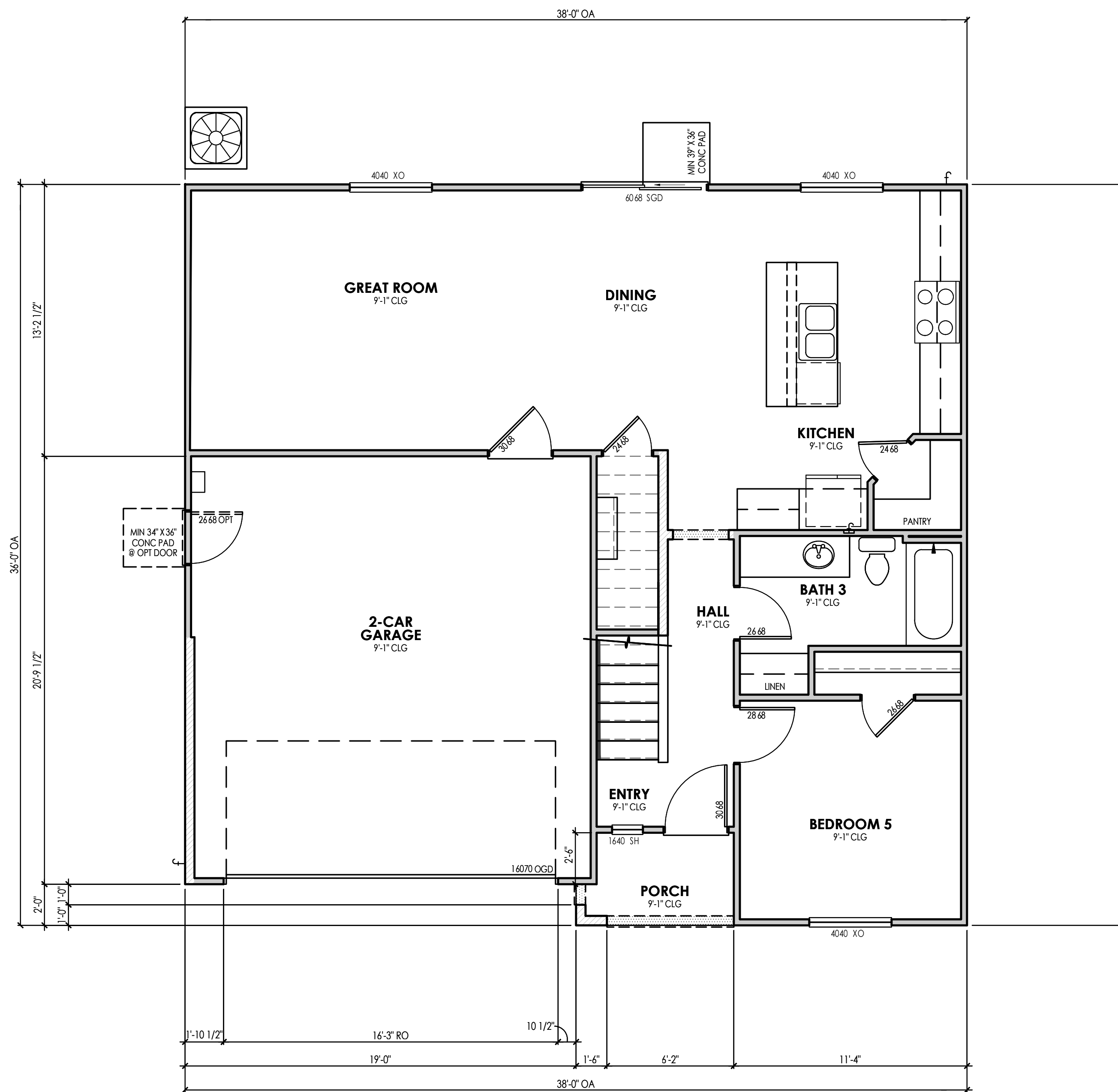
4/12/2021 PERMIT SET

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JD+A Project Number: 21033

Sheet Revisions		
#	DATE	COMMENT
XX.XXX		INITIAL PLAN CHECK SUBMITAL

Attachment 4: Plan 2096, Floor Plan and Elevations



ALL ELEVATIONS
FIRST FLOOR PLAN

1/4" = 1'-0"

Sheet Notes:

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- ALL JOINTS, PENETRATIONS AND OTHER OPENINGS IN THE BUILDING ENVELOPE THAT ARE POTENTIAL SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKET, WEATHER-STRIPPED OR OTHERWISE SEALED TO LIMIT INFILTRATION AND EXFILTRATION. (CNC SECTION 110.7)

Floor Plan Keynotes:

DWELLING/GARAGE FIRE SEPARATION: ALL SURFACES SHALL BE PROTECTED WITH MINIMUM ONE (1) LAYER 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. ALL HORIZONTAL SURFACES WITH HABITABLE SPACE ABOVE SHALL BE PROTECTED WITH MINIMUM ONE (1) LAYER 5/8" TYPE 'X' GYPSUM BOARD APPLIED TO THE GARAGE SIDE. (CRC SECTION R302.6 & TABLE R302.6)

OPENING PROTECTION: WHERE THE RESIDENCE AND PRIVATE GARAGE ARE PROTECTED BY AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM, DOOR OPENINGS BETWEEN THE HOUSE AND THE GARAGE NEED ONLY BE SELF-CLOSING AND SELF-LATCHING. (CRC SECTION R302.5.1 EXCEPTION)

EMERGENCY ESCAPE AND RESCUE OPENINGS: EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE (1) OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. EMERGENCY OPENING SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44" MEASURED FROM THE FLOOR AND A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24" AND THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20". (CRC SECTION R310.2) WINDOWS USED FOR EMERGENCY ESCAPE AND RESCUE OPENING SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44 INCHES MEASURED FROM THE FLOOR.

TANKLESS WATER HEATER: SPEC PER ENERGY CALCULATIONS.

ATTIC ACCESS: PROVIDE A MINIMUM 22"X30" OPENING OR LARGE ENOUGH TO REMOVE THE LARGEST PIECE OF EQUIPMENT. (CRC SECTION R807.1 & CMC SECTION 304.4) LOCATION APPROXIMATE. VERIFY/COORDINATE WITH TRUSS LAYOUT. ACCESS PANEL TO BE WEATHER-STRIPPED AND HAVE PERMANENTLY ATTACHED INSULATION USING ADHESIVE OR MECHANICAL FASTENERS EQUIVALENT TO THE SURROUNDING AREA REQUIREMENTS. (SECTION 150 OF CALIFORNIA ENERGY CODE)

A/C CONDENSER: PROVIDE MINIMUM 30"X30" CONCRETE PAD, MINIMUM 3" ABOVE GRADE. LOCATE PER PLOT PLAN.

TEMPERED SAFETY GLASS: PROVIDE TEMPERED GLASS AT HAZARDOUS LOCATIONS PER REQUIREMENTS. (CRC SECTION R308.4)

- GLAZING IN WALLS WITHIN 60 INCHES OF A WET SURFACE SHALL BE CONSIDERED A HAZARDOUS LOCATION. EXCEPTION: MORE THAN 60 INCHES AND IN A STRAIGHT LINE FROM THE WATER'S EDGE.
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- GLAZING ADJACENT TO THE BOTTOM OF A STAIR LANDING IS LESS THAN 36 INCHES AND IS WITHIN 60 INCHES FROM THE BOTTOM TREAD NOSE SHALL BE CONSIDERED A HAZARDOUS LOCATION. EXCEPTION: WHERE GLAZING IS PROTECTED BY A GUARD COMPLYING WITH SECTION R312 AND THE GLASS IS MORE THAN 18 INCHES ABOVE THE GUARD.

DRYER: VENT DUCT SHALL BE OF A RIGID METALLIC MATERIAL AND SHALL HAVE SMOOTH INTERIOR SURFACES, EXTENDING TO EXTERIOR WITH BACKDRAFT DAMPER. TRANSITION DUCTS MUST BE IN ACCORDANCE WITH UL 2158A (CMC SECTION 504.4) SEE DETAIL 7/A/D3

WASHING MACHINE: PROVIDE PRE-FABRICATED CORROSION RESISTANT PAN UNDER WASHING MACHINE LOCATED ON UPPER FLOOR. DRAIN TO EXTERIOR.

UPPER CABINETS: WALL MOUNTED ABOVE. 12" DEEP TYPICAL. 24" DEEP ABOVE REFRIGERATOR.

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COOKING APPLIANCES: 36" RANGE, MICRO/HOOD, LIGHT, EXHAUST FAN ABOVE. FAN: MIN 100 CFM FOR LOCAL EXHAUST VENTILATION. (BUILDING ENERGY EFFICIENCY STANDARDS)

PANTRY / LINEN: (5) SHELVES, EQUAL SPACING.

INTERIOR FLAT SOFFIT: FIRST FLOOR FRAME AT 8'-1" AFF (UNO), SECOND FLOOR FRAME AT 7'-1" AFF (UNO).

EXTERIOR SOFFIT OR ARCH: SEE EXTERIOR ELEVATIONS FOR DIMENSIONS.

DASHED LINE INDICATES OUTLINE OF FLOOR ABOVE. SOLID LINE INDICATES OUTLINE OF FLOOR BELOW.

LOW WALL: PROVIDE WITH DOUBLE TOP PLATE. HEIGHT AT +42" AFF. (UNO)

UNDER-STAIR PROTECTION: ENCLOSED SPACE UNDER STAIRS THAT IS ACCESSED BY A DOOR OR ACCESS PANEL SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" INCH GYPSUM BOARD. (CRC SECTION R302.7)

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PROVIDE MINIMUM 30" WIDE CLEAR SPACE AT WATER CLOSET, THAT EXTENDS AT LEAST 24" IN FRONT OF THE WATER CLOSET.

Floor Area	
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TOTAL LIVING AREA:	2096 SQ. FT.
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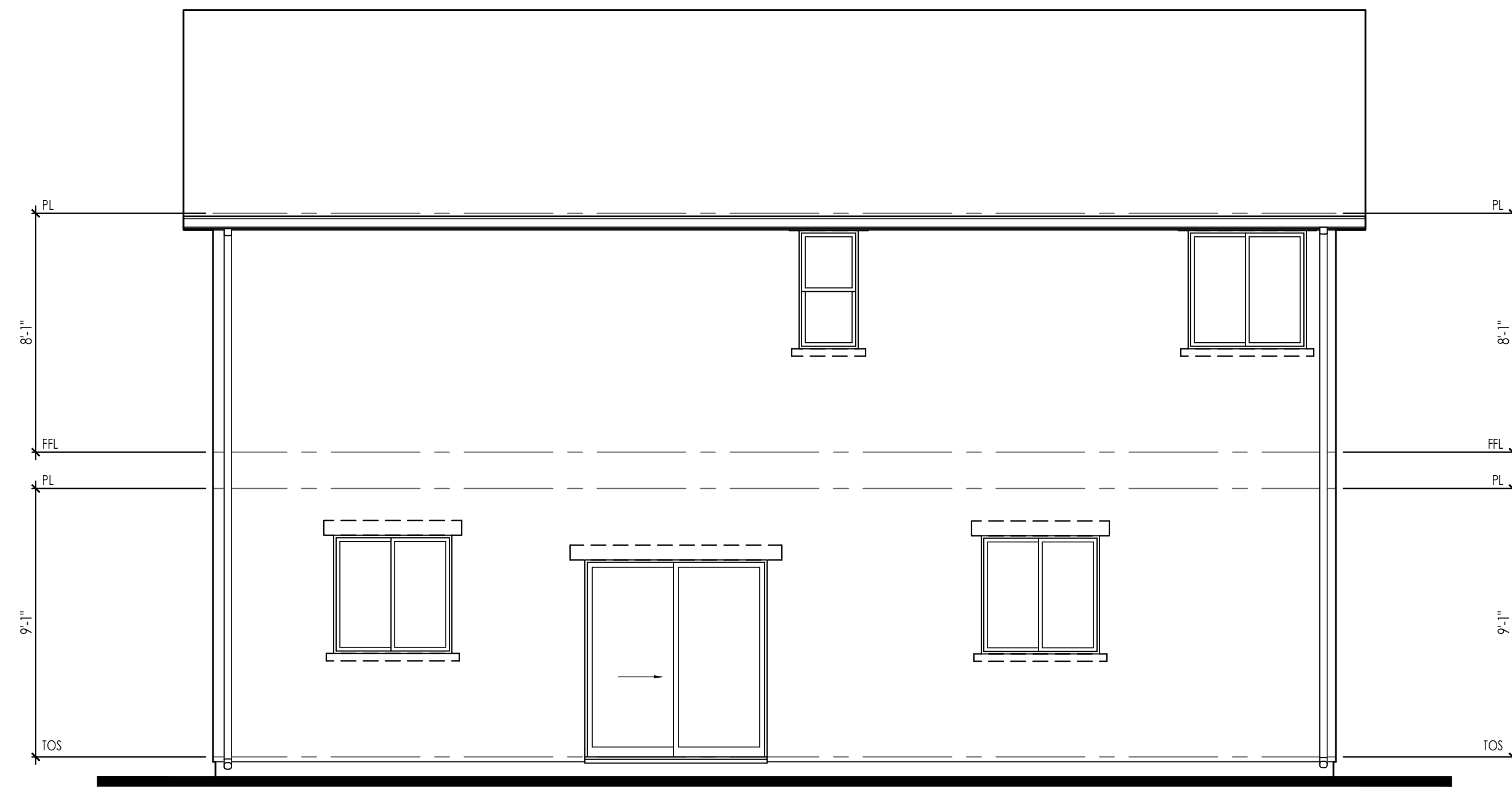
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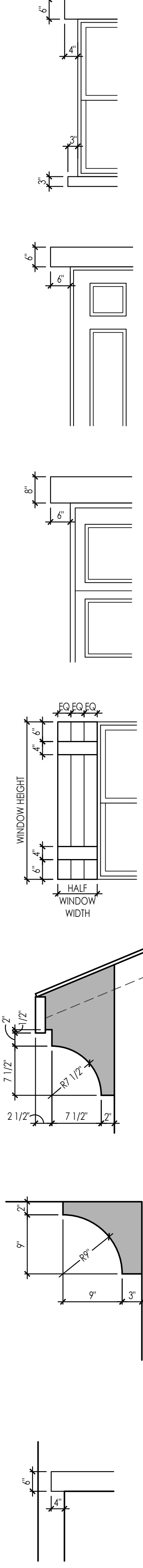


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 - UTILITY CONNECTIONS (TYPICAL), PER MUNICIPAL CODES REQUIRED AT ENHANCED ELEVATION ONLY

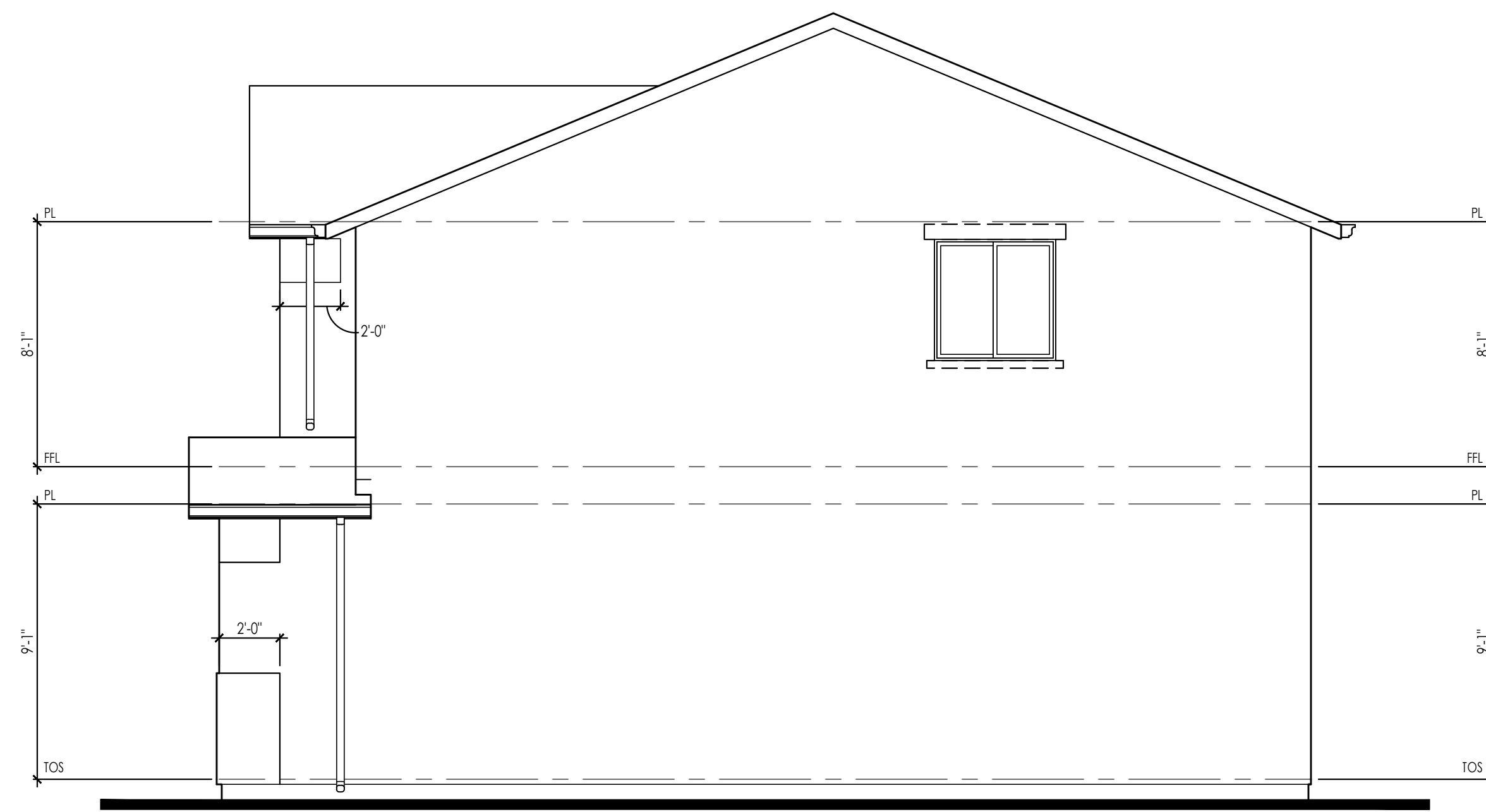
4/12/2021 PERMIT SET

Sheet Revisions		
#	DATE	COMMENT
XX.XXX		INITIAL PLAN CHECK SUBMITAL

PLAN 2096
 Sheet Description:
EXTERIOR ELEVATIONS "A" (FRONT / REAR)
 Sheet Number:
A5.1



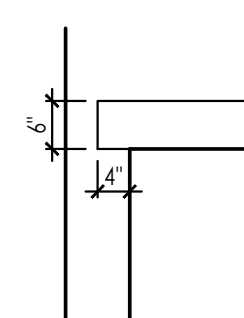
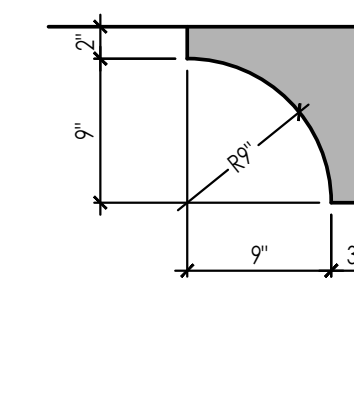
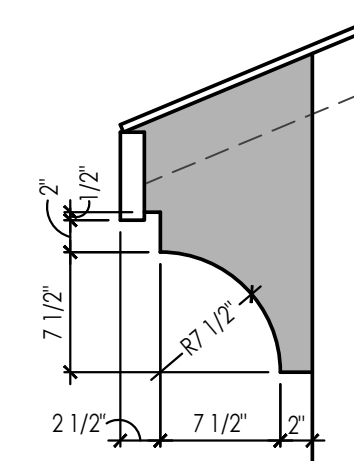
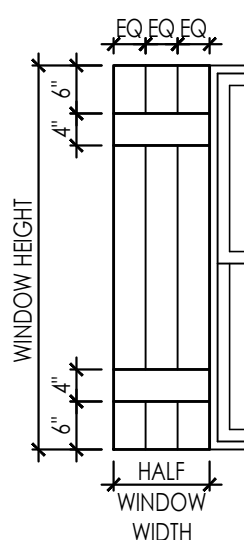
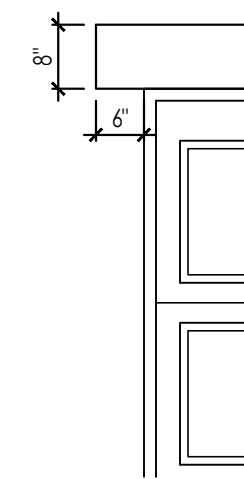
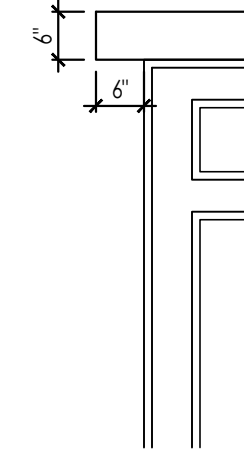
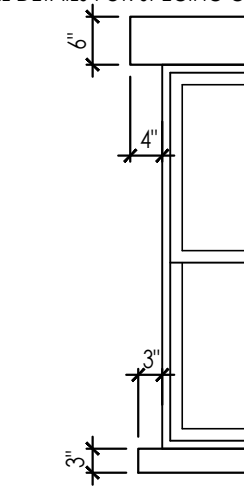
'EARLY CALIFORNIA' (COMPOSITION SHINGLE)
LEFT ELEVATION "A"
 1/4" = 1'-0"



'EARLY CALIFORNIA' (COMPOSITION SHINGLE)
RIGHT ELEVATION "A"
 1/4" = 1'-0"

Elevation Design Details: Sheet Notes:

THE FOLLOWING DETAILS CONVEY DESIGN INTENT. REFER TO ARCHITECTURAL DETAILS FOR SPECIFIC CONSTRUCTION ASSEMBLIES.



1. PARTIAL AND OPTION ELEVATIONS SHOW ONLY THE ATTRIBUTES AND DETAILS UNIQUE TO THE PARTIAL OR OPTION ELEVATION. REFER TO BASE ELEVATION FOR INFORMATION NOT SHOWN.
2. WINDOW HEAD HEIGHTS:
 - 1ST FLOOR = 7'-4" AFF (LINO)
 - 2ND FLOOR = 7'-5" AFF (LINO)
 - DOOR HEIGHTS AS NOTED ON FLOOR PLANS
3. EXTERIOR WALLS (PER MFG INSTALLATION INSTRUCTIONS):
 - OMEGA DIAMOND WALL 1-COAT STUCCO SYSTEM: OVER MIN 1" FOAM INSULATION. OVER ONE LAYER OF 40-MINUTE GRADE D PAPER OR EQUAL. OVER STUDS OR WOOD-BASED SHEATHING. STUCCO CONTROL JOINT LOCATIONS SHALL BE COORDINATED WITH THE ARCHITECT PRIOR TO INSTALLATION. IF NOT SPECIFIED ON PLANS, (ESR 1194)
 - FIBER CEMENT SIDING: OVER ONE LAYER OF APPROVED WATER-RESISTIVE BARRIER. OVER STUDS OR SHEATHING.
4. ROOFING: REFER TO ROOF PLAN SHEET NOTES
5. WINDOWS: VINYL, SPEC PER BUILDER
6. ENTRY DOORS: RAISED PANEL, SPEC PER BUILDER
7. OVER HEAD GARAGE DOORS:
 - STEEL SECTIONAL, SPEC PER BUILDER
 - RAISED PANEL AND GLASS INSERTS AS SHOWN.
8. FASCIA BOARD: 2X6, UNLESS NOTED OTHERWISE. REFER TO ELEVATION KEYNOTES
9. BARGE RAFTER: 2X6, UNLESS NOTED OTHERWISE. REFER TO ELEVATION KEYNOTES
10. ADDRESS NUMBERS: PLACE IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONTING PROPERTY (CRC R319.1)
 - A. NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND AND BE LEGIBLE.
 - B. NUMBERS SHALL BE A MINIMUM 4" HIGH WITH A MINIMUM STROKE WIDTH OF 1/2"
11. ROOF HEELS: LABELED AS
 - STANDARD HEEL: +0"
 - RAISED HEEL: INCREASED HEEL TO PLANE FASCIA. REFER TO TRUSS LAYOUTS
12. ATTACHMENT PENETRATIONS MADE THROUGH EXTERIOR FINISHES SHALL BE PRE-DRILLED AND FILLED WITH MASTIC AND, WHENEVER POSSIBLE; MADE OVER SELF-ADHERED FLASHING MEMBRANE LAPPED INTO WEATHER RESISTIVE BARRIER AND INTO SOLID BACKING.

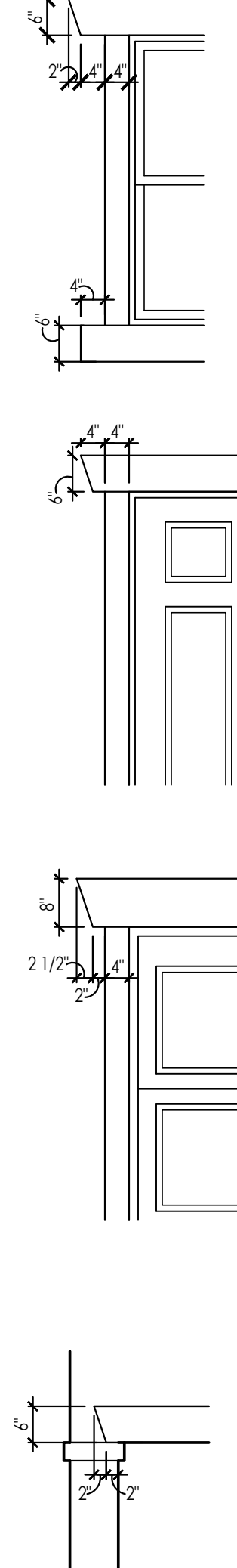
Elevation Keynotes:

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- 2X6 FASCIA / BARGE RAFTER:
- GUTTER, STYLE SPEC PER BUILDER
- DOWNSPOUT, STYLE SPEC PER BUILDER
- CORROSION RESISTANT ROOF TO WALL FLASHING REFER TO ROOF DETAILS
- EXTERIOR STUCCO, TYPICAL +0" (LINO), STANDARD FINISH
- EXTERIOR SIDING MATERIAL, COMPOSITE WOOD:
 - A. LAP WITH 6" REVEAL
 - B. 1X2 BOARD & BATTEN (BATTEN AT 16" OC)
- TRIM, SIZE AS NOTED (HEIGHT X DEPTH) OR SEE DETAIL:
 - A. STUCCO OVER FOAM, LIGHT SAND FINISH.
 - B. COMPOSITE WOOD (NOMINAL SIZE)
- FAUX WOOD SHUTTER, ATTACHMENT PER MFG RECOMMENDATION (STYLE PER DESIGN DETAIL).
- DECORATIVE SHAPED STUCCO CORBEL, PER DESIGN DETAIL.
- WOOD KNEE BRACE ATTACHMENT PER DETAIL 17/AD1
- DECORATIVE WOOD BEAM, SIZE AS NOTED, SEE DETAIL 18/AD1 FOR ATTACHMENT AT GABLE.
- EXTERIOR COACH LIGHT: MOUNT AT +84" AFF (LINO)
- ADDRESS NUMBER: MOUNT AT +66" AFF (LINO)
- UTILITY CONNECTIONS (TYPICAL), PER MUNICIPAL CODES REQUIRED AT ENHANCED ELEVATION ONLY

4/12/2021 PERMIT SET

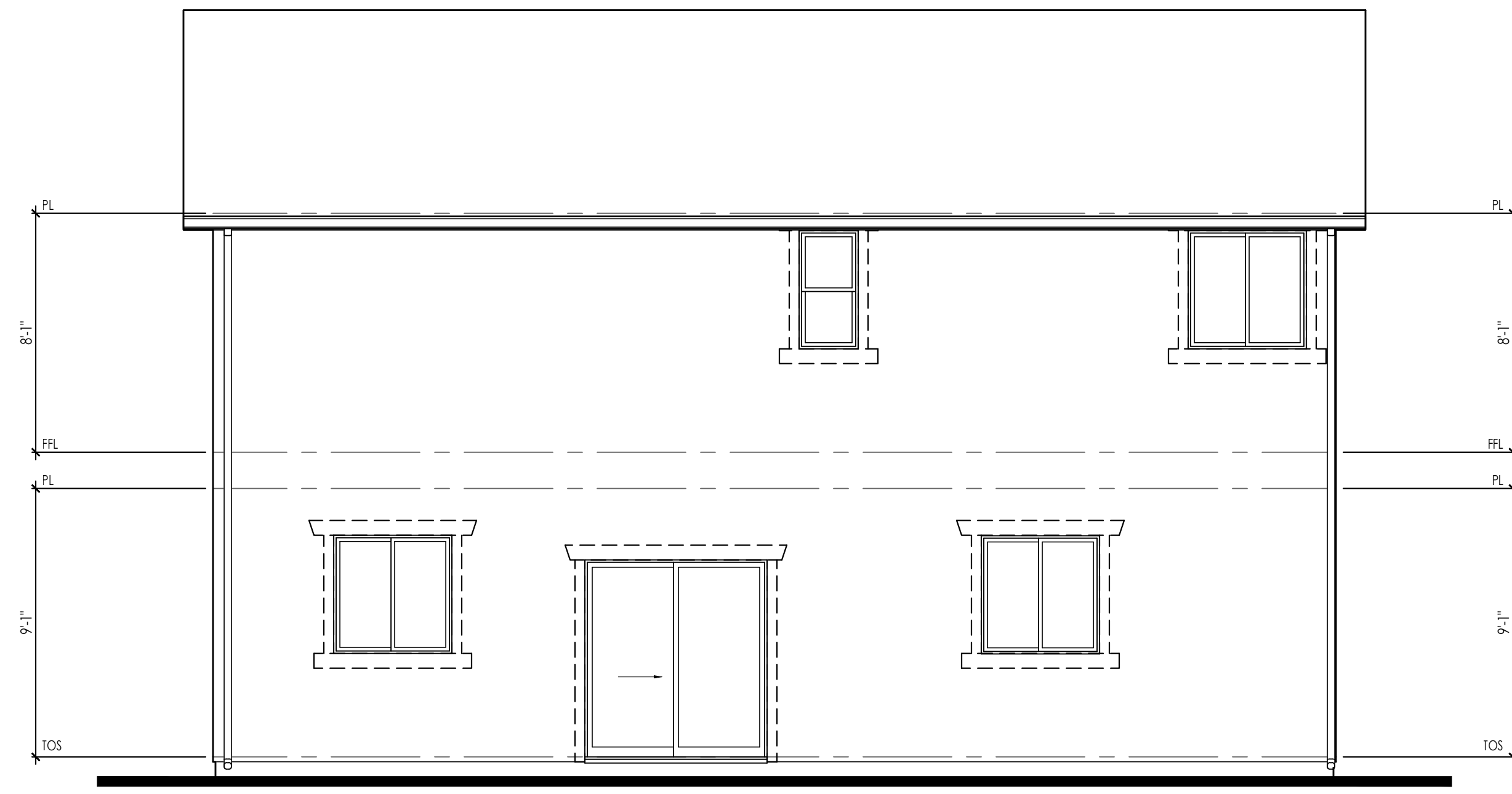
Sheet Revisions		
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 - ROOFING: REFER TO ROOF PLAN SHEET NOTES
 - WINDOWS: VINYL, SPEC PER BUILDER
 - ENTRY DOORS: RAISED PANEL, SPEC PER BUILDER
 - OVER HEAD GARAGE DOORS:
 - STEEL SECTIONAL, SPEC PER BUILDER
 - RAISED PANEL AND GLASS INSERTS AS SHOWN.
 - FASCIA BOARDS: 2X6, UNLESS NOTED OTHERWISE REFER TO ELEVATION KEYNOTES
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 - UTILITY CONNECTIONS (TYPICAL), PER MUNICIPAL CODES REQUIRED AT ENHANCED ELEVATION ONLY

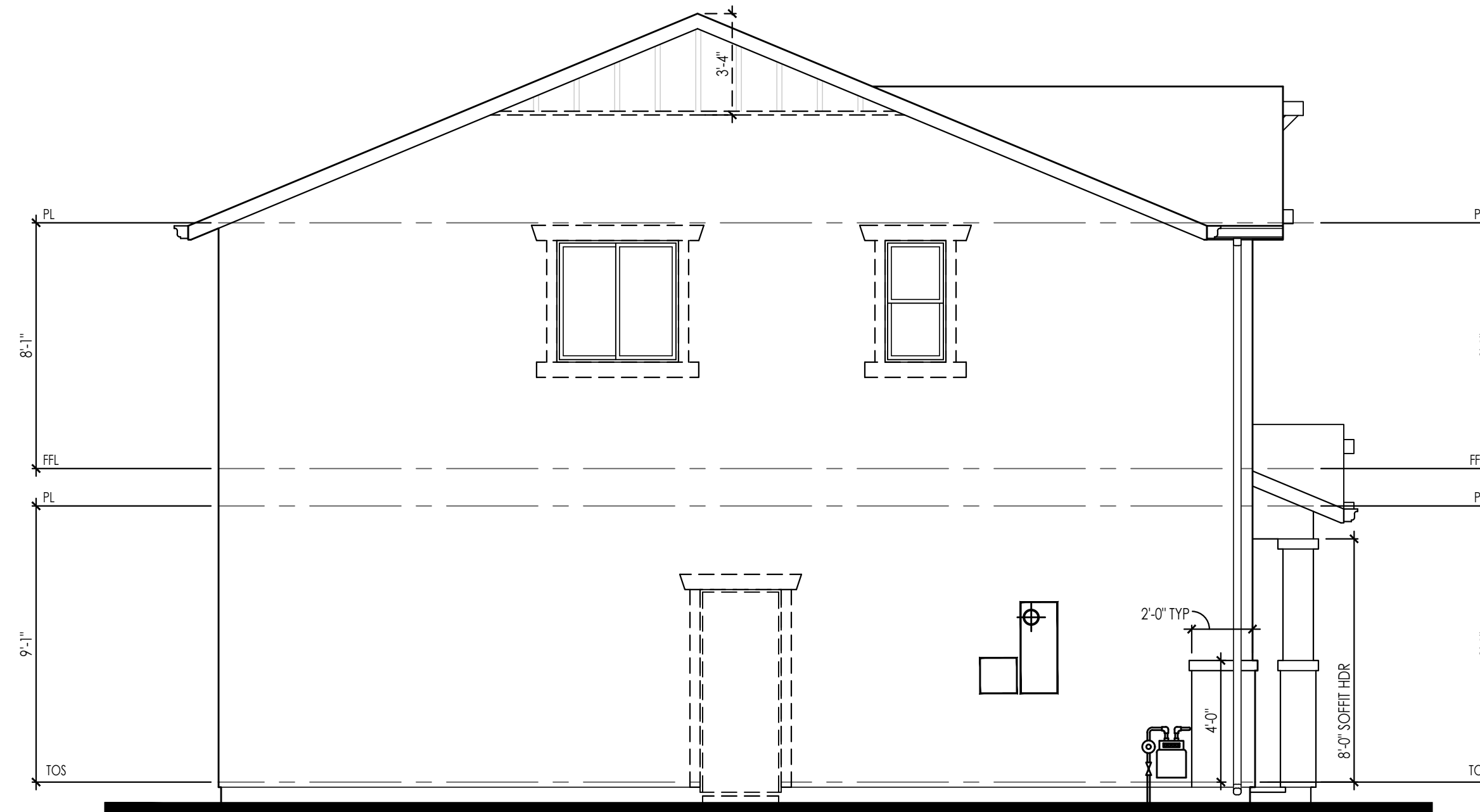


**'BUNGALOW' (COMPOSITION SHINGLE)
REAR ELEVATION "B"**
1/4" = 1'-0"

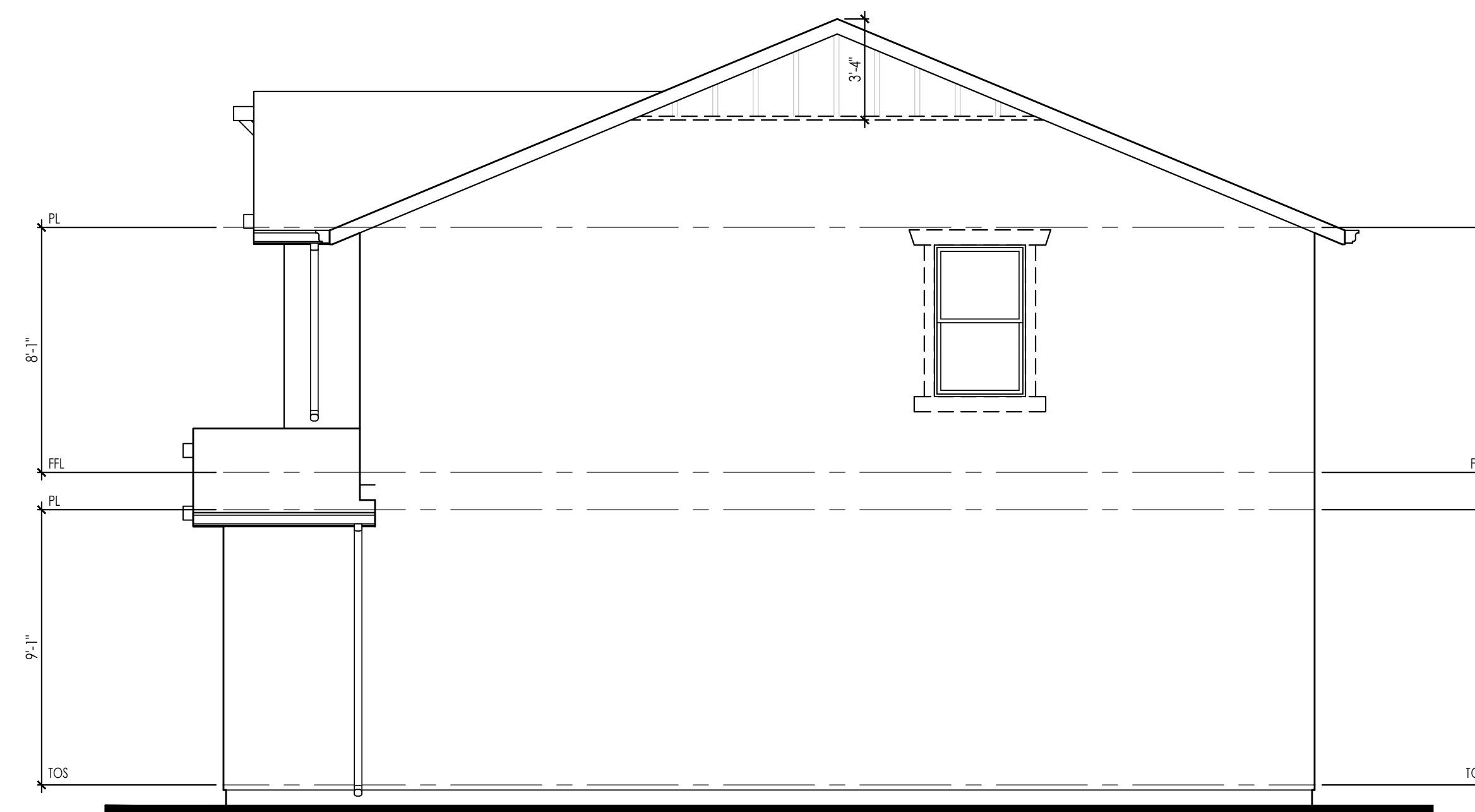


**'BUNGALOW' (COMPOSITION SHINGLE)
FRONT ELEVATION "B"**
1/4" = 1'-0"

Sheet Revisions		
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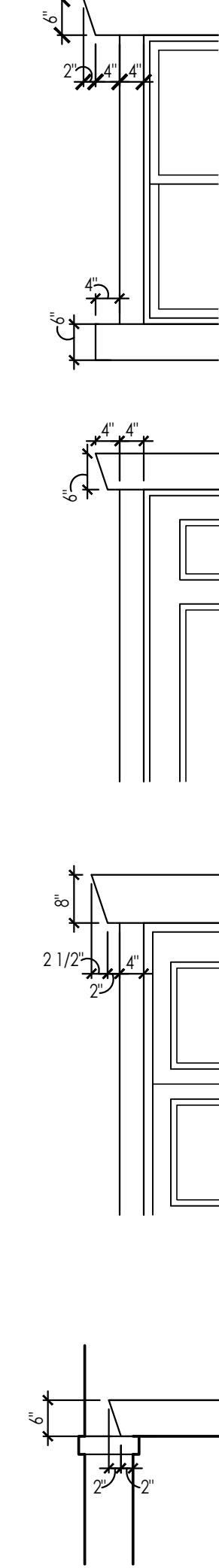


'BUNGALOW' (COMPOSITION SHINGLE)
LEFT ELEVATION "B"
 1/4" = 1'-0"



'BUNGALOW' (COMPOSITION SHINGLE)
RIGHT ELEVATION "B"
 1/4" = 1'-0"

Elevation Design Details:
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 - GRIDS / DIVIDED LITES AS SHOWN
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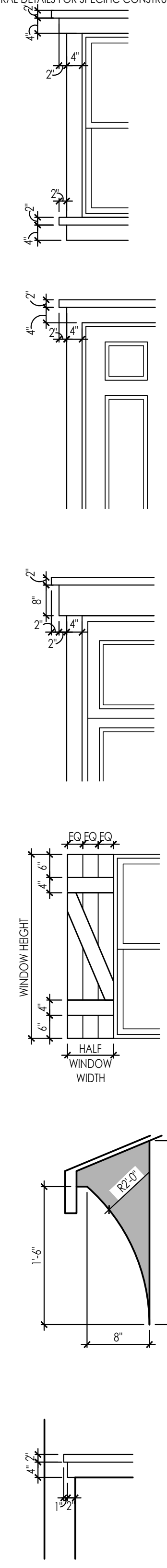
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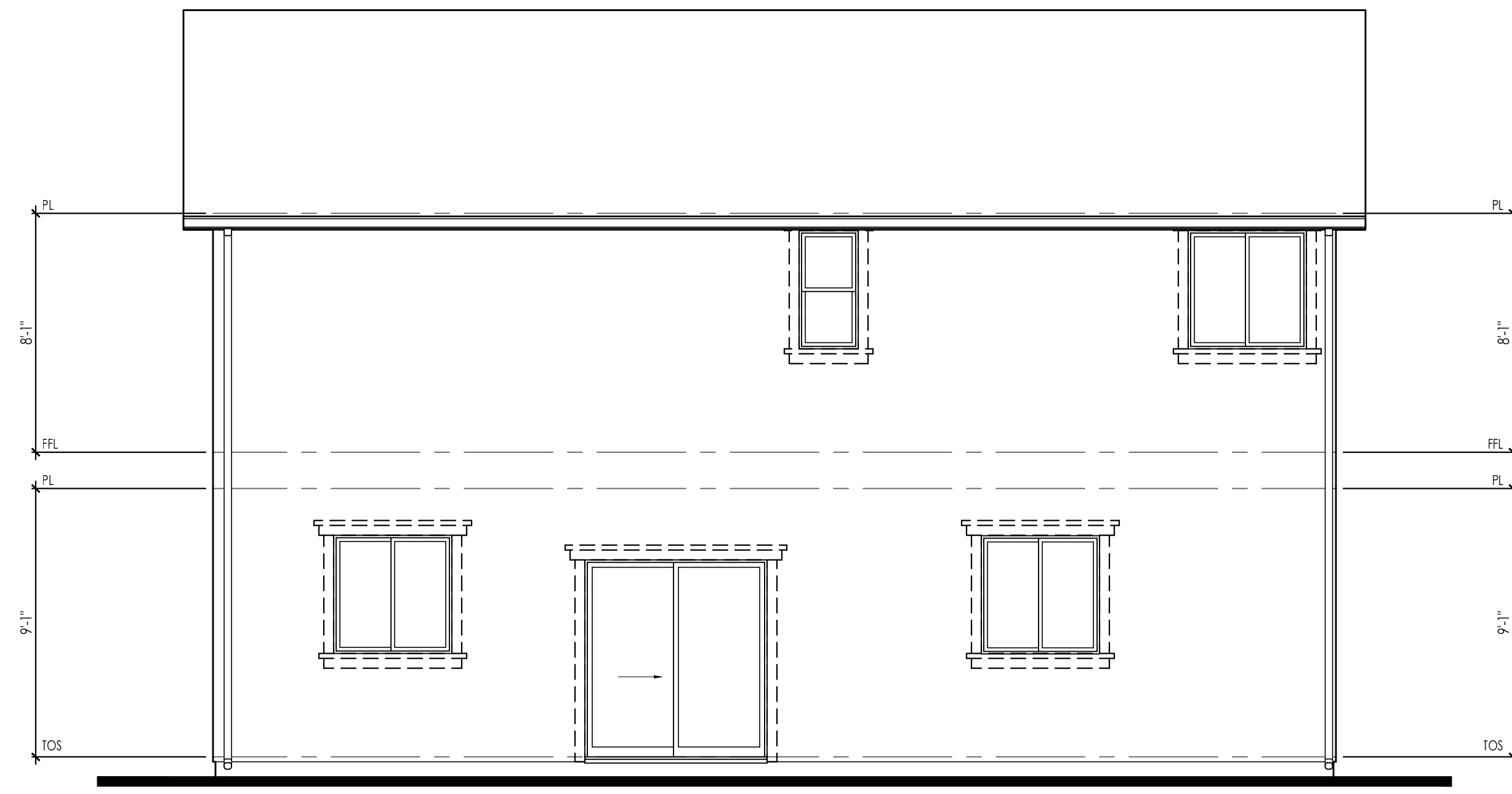
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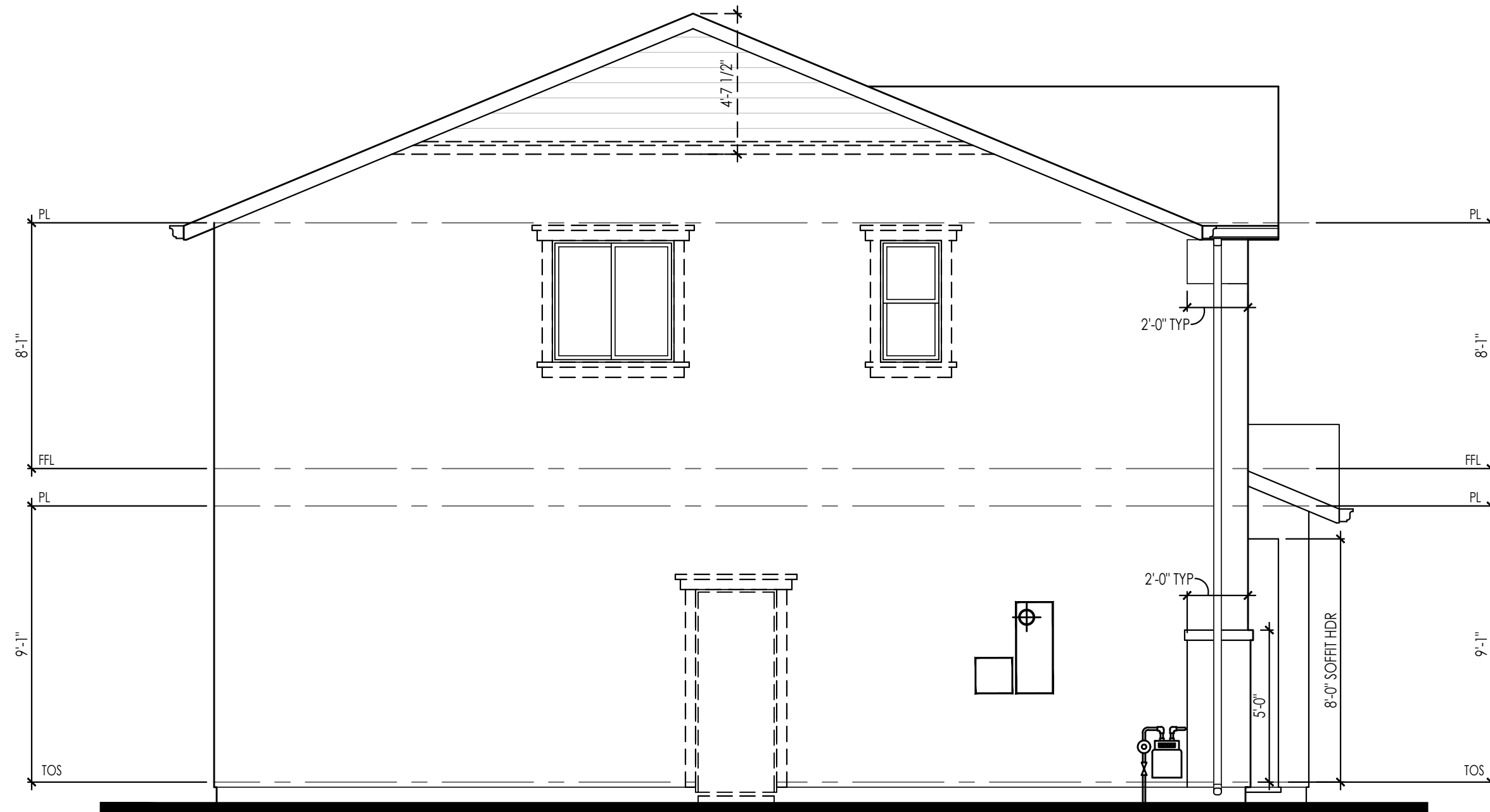
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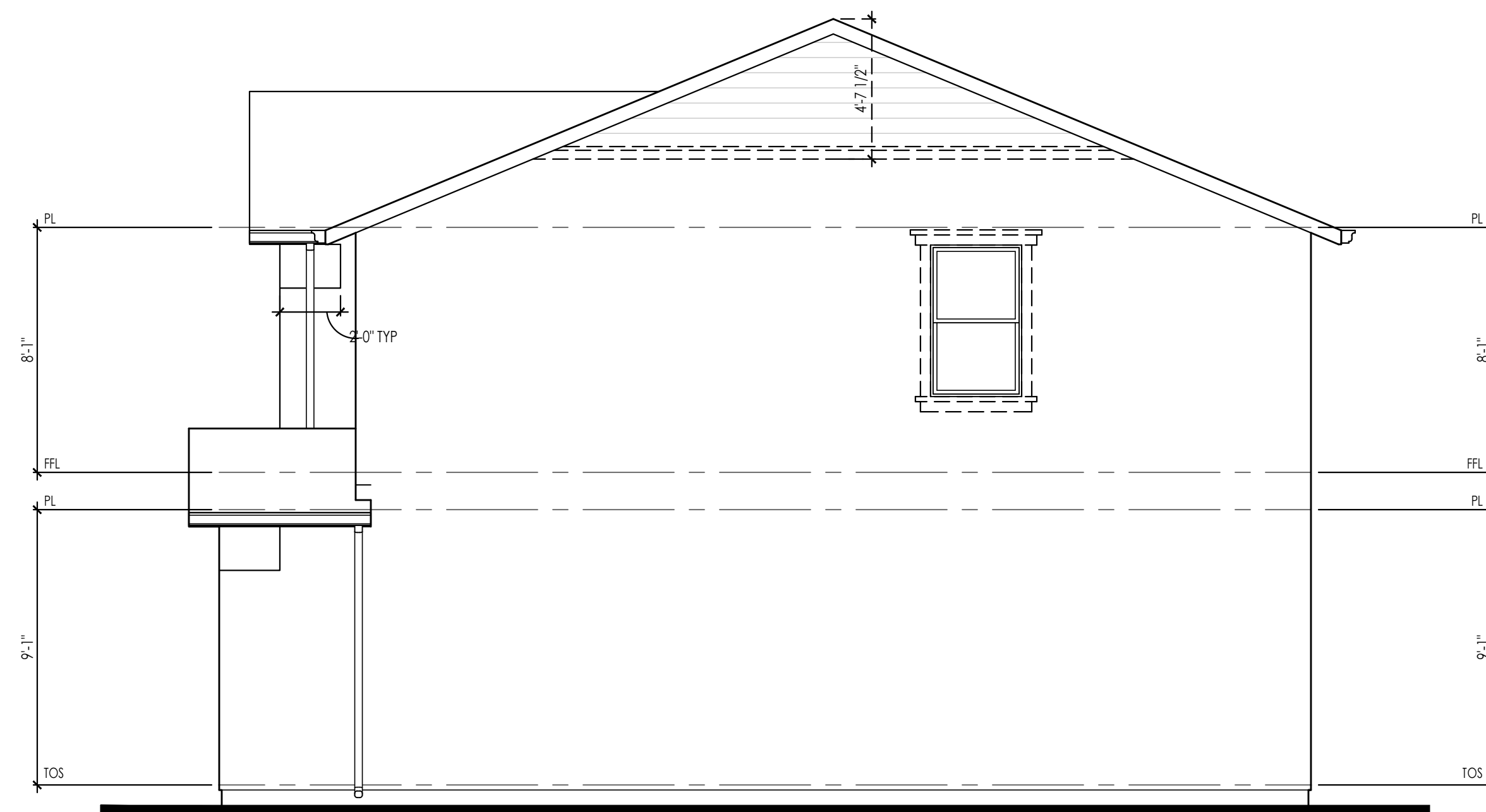
'COTTAGE' (COMPOSITION SHINGLE)
REAR ELEVATION "C"
 1/4" = 1'-0"



'COTTAGE' (COMPOSITION SHINGLE)
FRONT ELEVATION "C"
 1/4" = 1'-0"

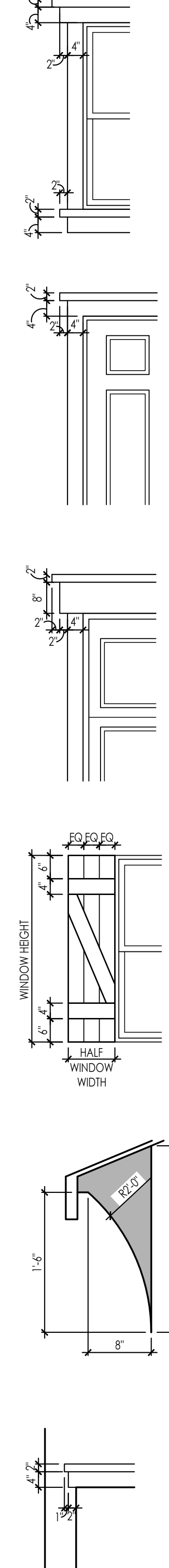


'COTTAGE' (COMPOSITION SHINGLE)
LEFT ELEVATION "C"
 1/4" = 1'-0"



'COTTAGE' (COMPOSITION SHINGLE)
RIGHT ELEVATION "C"
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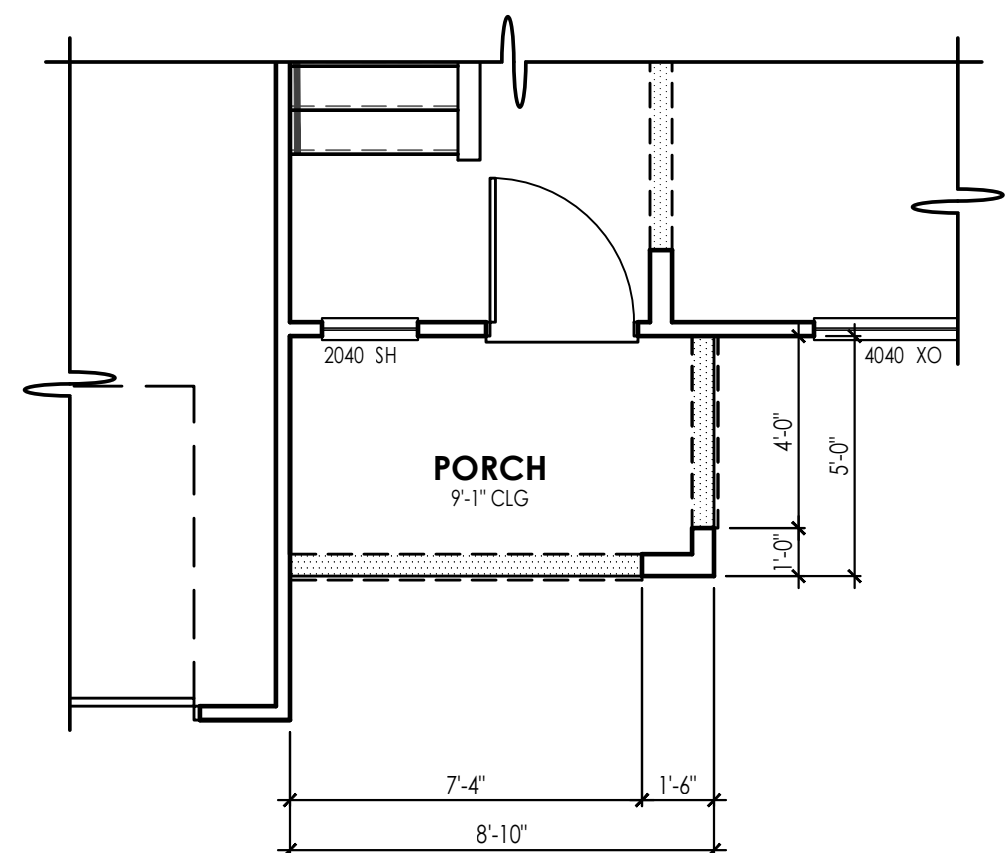


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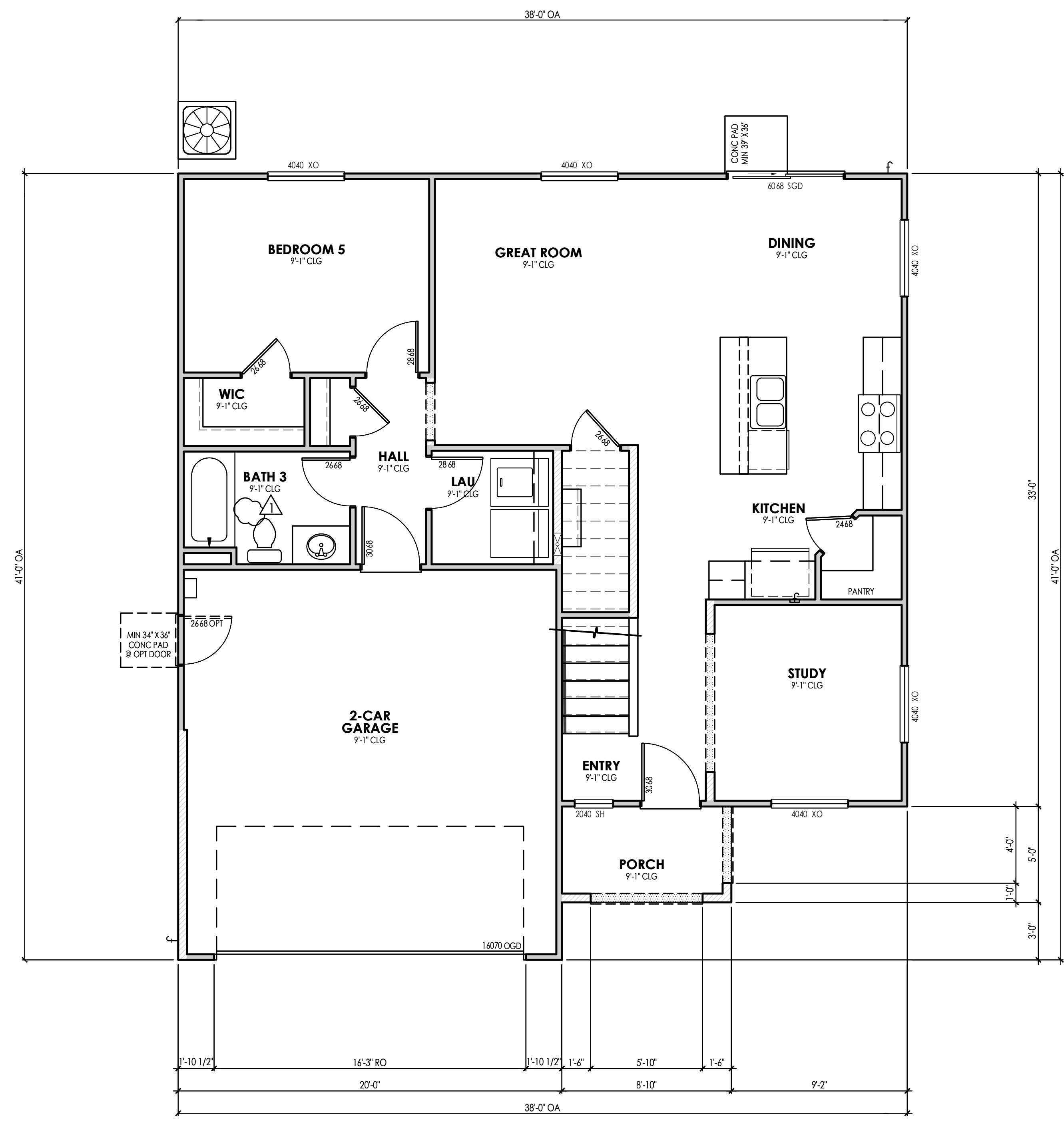
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1	XX.XXXX	INITIAL PLAN CHECK SUBMITTAL

Attachment 5: Plan 2222, Floor Plan and Elevations



ELEVATION "C"
PARTIAL FIRST FLOOR PLAN
1/4" = 1'-0"



ELEVATIONS "A" & "B"
FIRST FLOOR PLAN
1/4" = 1'-0"

Sheet Notes:

- FIRE BLOCKING SHALL BE PROVIDED IN ALL CONCEALED SPACES. (CRC SECTION R302.1)
- ALL DIAGONAL WALLS TO BE 45 DEGREES (UNO)
- WINDOW "HEAD" HEIGHTS:
 - 1ST FLOOR = 7'-6" AFF (UNO)
 - 2ND FLOOR = 7'-6" AFF (UNO)
 - DOOR HEIGHTS AS NOTED ON FLOOR PLANS
- ALL DOORS TO BE CENTERED WITHIN ADJACENT WALLS, OR DOOR JAMB TO BE FRAMED AT 3" UNLESS OTHERWISE DIMENSIONED
- PROVIDE BACKING FOR ALL HARDWARE FIXTURES (TOWEL BARS, ETC.) TOWEL BARS SHALL BE INSTALLED NO HIGHER THAN 48" AFF.
- REFER TO BASE FLOOR PLAN FOR INFORMATION NOT SHOWN ON PARTIAL FLOOR PLANS. HATCHED WALLS ON PARTIAL FLOOR PLANS INDICATE FRAMING CHANGES FROM BASE FLOOR PLAN
- ALL JOINTS, PENETRATIONS AND OTHER OPENINGS IN THE BUILDING ENVELOPE THAT ARE POTENTIAL SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKET, WEATHER-STRIPPED OR OTHERWISE SEALED TO LIMIT INFILTRATION AND EXFILTRATION. (CENC SECTION 110.7)

Floor Plan Keynotes:

DWELLING/GARAGE FIRE SEPARATION: ALL SURFACES SHALL BE PROTECTED WITH MINIMUM ONE (1) LAYER 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. ALL HORIZONTAL SURFACES WITH HABITABLE SPACE ABOVE SHALL BE PROTECTED WITH MINIMUM ONE (1) LAYER 5/8" TYPE 'X' GYPSUM BOARD APPLIED TO THE GARAGE SIDE. (CRC SECTION R302.6 & TABLE R302.6)

OPENING PROTECTION: WHERE THE RESIDENCE AND PRIVATE GARAGE ARE PROTECTED BY AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM, DOOR OPENINGS BETWEEN THE HOUSE AND THE GARAGE NEED ONLY BE SELF-CLOSING AND SELF-LATCHING. (CRC SECTION R302.5.1 EXCEPTION)

EMERGENCY ESCAPE AND RESCUE OPENINGS: EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE (1) OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. EMERGENCY OPENING SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44" MEASURED FROM THE FLOOR AND A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24" AND THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20". (CRC SECTION R310.2) WINDOWS USED FOR EMERGENCY ESCAPE AND RESCUE OPENING SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44 INCHES MEASURED FROM THE FLOOR.

TANKLESS WATER HEATER: SPEC PER ENERGY CALCULATIONS.

ATTIC ACCESS: PROVIDE A MINIMUM 22"X30" OPENING OR LARGE ENOUGH TO REMOVE THE LARGEST PIECE OF EQUIPMENT. (CRC SECTION R807.1 & CMC SECTION 304.4) LOCATION APPROXIMATE. VERIFY/COORDINATE WITH TRUSS LAYOUT. ACCESS PANEL TO BE WEATHER-STRIPPED AND HAVE PERMANENTLY ATTACHED INSULATION USING ADHESIVE OR MECHANICAL FASTENERS EQUIVALENT TO THE SURROUNDING AREA REQUIREMENTS. (SECTION 150 OF CALIFORNIA ENERGY CODE)

A/C CONDENSER: PROVIDE MINIMUM 30"X30" CONCRETE PAD, MINIMUM 3" ABOVE GRADE. LOCATE PER PLOT PLAN.

TEMPERED SAFETY GLASS: PROVIDE TEMPERED GLASS AT HAZARDOUS LOCATIONS PER REQUIREMENTS. (CRC SECTION R308.4)

- GLAZING IN WALLS WITHIN 60 INCHES OF A WET SURFACE SHALL BE CONSIDERED A HAZARDOUS LOCATION. EXCEPTION: MORE THAN 60 INCHES AND IN A STRAIGHT LINE FROM THE WATER'S EDGE.
- GLAZING WHERE THE BOTTOM EDGE IS LESS THAN 36" ABOVE AN ADJACENT WALKING SURFACE OF STAIRS, LANDINGS, AND RAMPS SHALL BE CONSIDERED A HAZARDOUS LOCATION. EXCEPTION: GLAZING ADJACENT TO A WALKING SURFACE AND A HORIZONTAL RAIL INSTALLED 34 TO 38 INCHES ABOVE THE WALKING SURFACE.
- GLAZING ADJACENT TO THE BOTTOM OF A STAIR LANDING IS LESS THAN 36 INCHES AND IS WITHIN 60 INCHES FROM THE BOTTOM TREAD NOSE SHALL BE CONSIDERED A HAZARDOUS LOCATION. EXCEPTION: WHERE GLAZING IS PROTECTED BY A GUARD COMPLYING WITH SECTION R312 AND THE GLASS IS MORE THAN 18 INCHES ABOVE THE GUARD.

DRYER: VENT DUCT SHALL BE OF A RIGID METALLIC MATERIAL AND SHALL HAVE SMOOTH INTERIOR SURFACES. EXTENDING TO EXTERIOR WITH BACKDRAFT DAMPER. TRANSITION DUCTS MUST BE IN ACCORDANCE WITH UL 2158A (CMC SECTION 504.4) SEE DETAIL 7/A/D3

WASHING MACHINE: PROVIDE PRE-FABRICATED CORROSION RESISTANT PAN UNDER WASHING MACHINE LOCATED ON UPPER FLOOR. DRAIN TO EXTERIOR.

UPPER CABINETS: WALL MOUNTED ABOVE. 12" DEEP TYPICAL. 24" DEEP ABOVE REFRIGERATOR.

SHOWERS & TUB/SHOWER COMBINATIONS: FLOORS AND WALLS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR. (CRC SECTION R307.2) MATERIALS USED AS BACKERS FOR WALL TILE IN TUB AND SHOWER AREAS SHALL BE OF MATERIALS LISTED IN TABLE R702.2 AND SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECS. (CRC SECTION R702.4.2) LOCATE SHOWER HEAD AT 8'4" AFF. GLAZING IN ALL FIXED AND OPERABLE PANELS OF A SWINGING, SLIDING, OR BI-FOLD DOOR SHALL BE CONSIDERED A HAZARDOUS LOCATION AND SHALL COMPLY WITH CRC SECTIONS R308.3 & R308.4.

COOKING APPLIANCES: 36" RANGE, MICRO/HOOD, LIGHT, EXHAUST FAN ABOVE. FAN: MIN 100 CFM FOR LOCAL EXHAUST VENTILATION. (BUILDING ENERGY EFFICIENCY STANDARDS)

PANTRY / LINEN: (5) SHELVES, EQUAL SPACING.

INTERIOR FLAT SOFFIT: FIRST FLOOR FRAME AT 8'-1" AFF (UNO). SECOND FLOOR FRAME AT 7'-1" AFF (UNO).

EXTERIOR SOFFIT OR ARCH: SEE EXTERIOR ELEVATIONS FOR DIMENSIONS.

DASHED LINE INDICATES OUTLINE OF FLOOR ABOVE. SOLID LINE INDICATES OUTLINE OF FLOOR BELOW.

LOW WALL: PROVIDE WITH DOUBLE TOP PLATE. HEIGHT AT +42" AFF. (UNO)

UNDER-STAIR PROTECTION: ENCLOSED SPACE UNDER STAIRS THAT IS ACCESSED BY A DOOR OR ACCESS PANEL SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" INCH GYPSUM BOARD (CRC SECTION R302.7)

STAIRWAYS: SHALL NOT BE LESS THAN 36" IN CLEAR WIDTH (AND NOT HAVE A VERTICAL RISE OF MORE THAN 15:1). MINIMUM HEADROOM SHALL NOT BE LESS THAN 6'-8". MAXIMUM RISER HEIGHT SHALL BE 7-3/4". AND MINIMUM TREAD DEPTH SHALL BE 10". (CRC SECTION R311.7)

HANDRAILS (AND GUARDS WHERE THE TOP OF THE GUARD ALSO SERVES AS A HANDRAIL) SHALL BE PROVIDED ON NOT LESS THAN ONE SIDE OF EACH FLIGHT OF STAIRS WITH FOUR OR MORE RISERS. HEIGHT SHALL BE NOT LESS THAN 34" AND NOT MORE THAN 38". AND CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT. (CRC SECTION R311.7.8) SEE DETAIL 6/A/D3

GUARDS: SHALL BE NOT LESS THAN 42" IN HEIGHT VERTICALLY ABOVE THE WALKING SURFACE OR THE LINE CONNECTING THE NOSING. RAIL DESIGN TO COMPLY WITH CODE. (CRC SECTION R312) SEE DETAIL 5/A/D3

PROVIDE MINIMUM 30" WIDE CLEAR SPACE AT WATER CLOSET, THAT EXTENDS AT LEAST 24" IN FRONT OF THE WATER CLOSET.

Floor Area	
LIVING AREA:	
FIRST FLOOR LIVING:	1011.0 SQ. FT.
SECOND FLOOR LIVING:	1210.8 SQ. FT.
TOTAL LIVING AREA:	2222 SQ. FT.
OTHER AREAS:	
GARAGE:	403 SQ. FT.
COVERED PORCH:	44 SQ. FT.

Sheet Revisions		
#	DATE	COMMENT
01	27.21	INITIAL PLAN CHECK SUBMITTAL
03	25.21	PC 1 REVISION

Sheet Revisions		
#	DATE	COMMENT
01	27.21	INITIAL PLAN CHECK SUBMITAL
03	25.21	PC 1 REVISION

PLAN 2222
 Sheet Description:
 SECOND FLOOR PLAN

Sheet Number:

A3.2

4/12/2021 PERMIT SET

Sheet Notes:

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Floor Plan Keynotes:

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EXTERIOR SOFFIT OR ARCH: SEE EXTERIOR ELEVATIONS FOR DIMENSIONS.

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 SOLID LINE INDICATES OUTLINE OF FLOOR BELOW.

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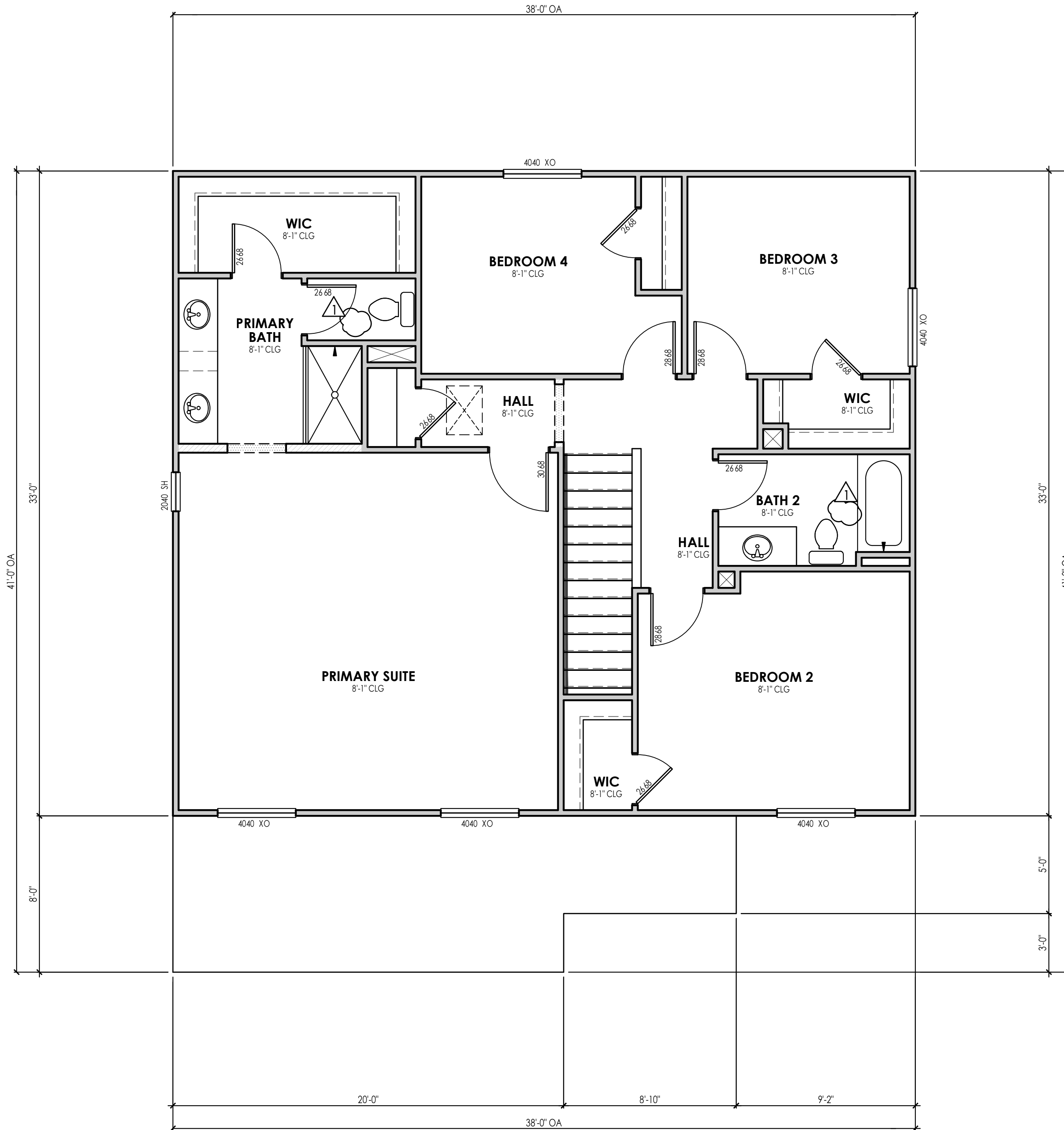
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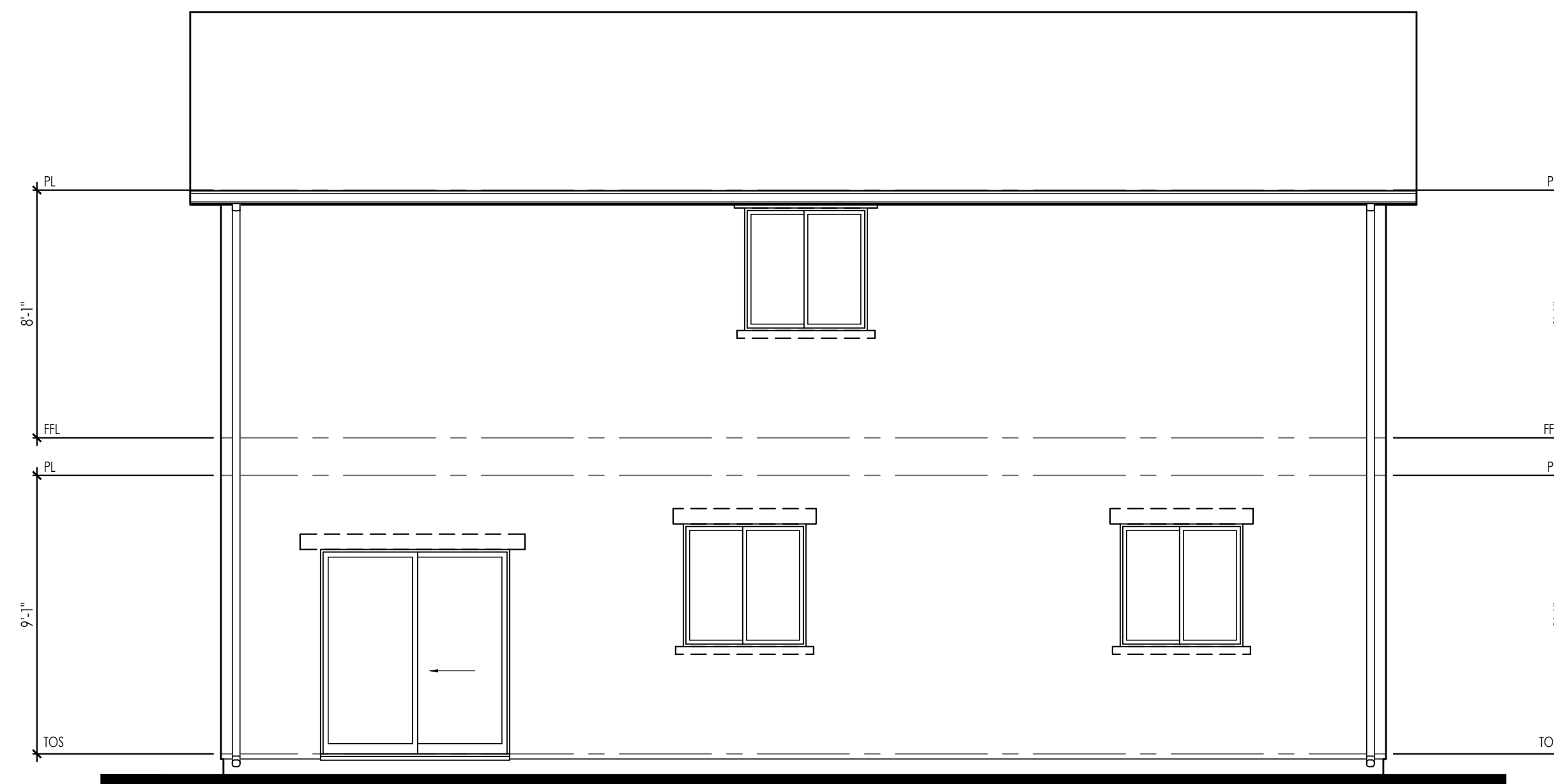
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PROVIDE MINIMUM 30" WIDE CLEAR SPACE AT WATER CLOSET, THAT EXTENDS AT LEAST 24" IN FRONT OF THE WATER CLOSET.



**ALL ELEVATIONS
 SECOND FLOOR PLAN**
 1/4" = 1'-0"

Floor Area	
LIVING AREA:	
FIRST FLOOR LIVING:	1011.0 SQ. FT.
SECOND FLOOR LIVING:	1210.8 SQ. FT.
TOTAL LIVING AREA:	2222 SQ. FT.
OTHER AREAS:	
GARAGE:	403 SQ. FT.
COVERED PORCH:	44 SQ. FT.



'EARLY CALIFORNIA' (COMPOSITION SHINGLE)
REAR ELEVATION "A"

1/4" = 1'-0"

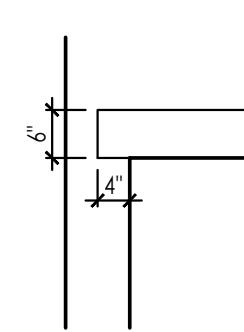
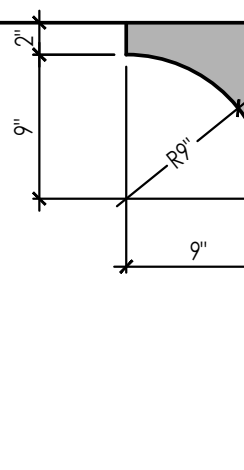
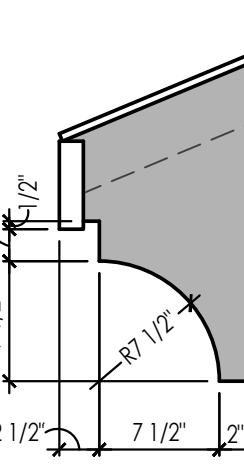
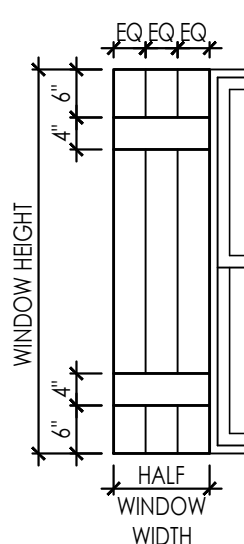
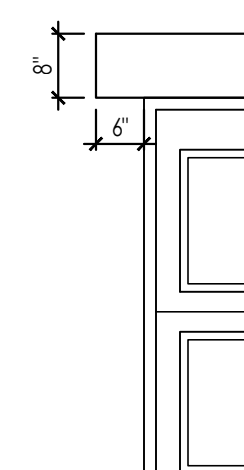
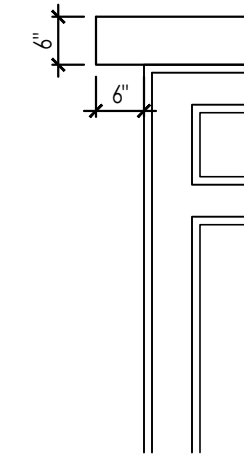
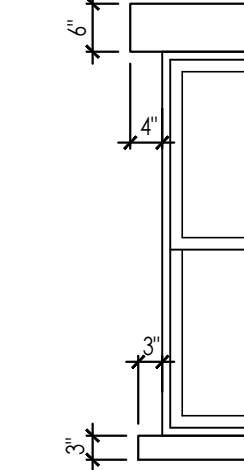


'EARLY CALIFORNIA' (COMPOSITION SHINGLE)
FRONT ELEVATION "A"

1/4" = 1'-0"

Elevation Design Details:

THE FOLLOWING DETAILS CONVEY DESIGN INTENT. REFER TO ARCHITECTURAL DETAILS FOR SPECIFIC CONSTRUCTION ASSEMBLIES.



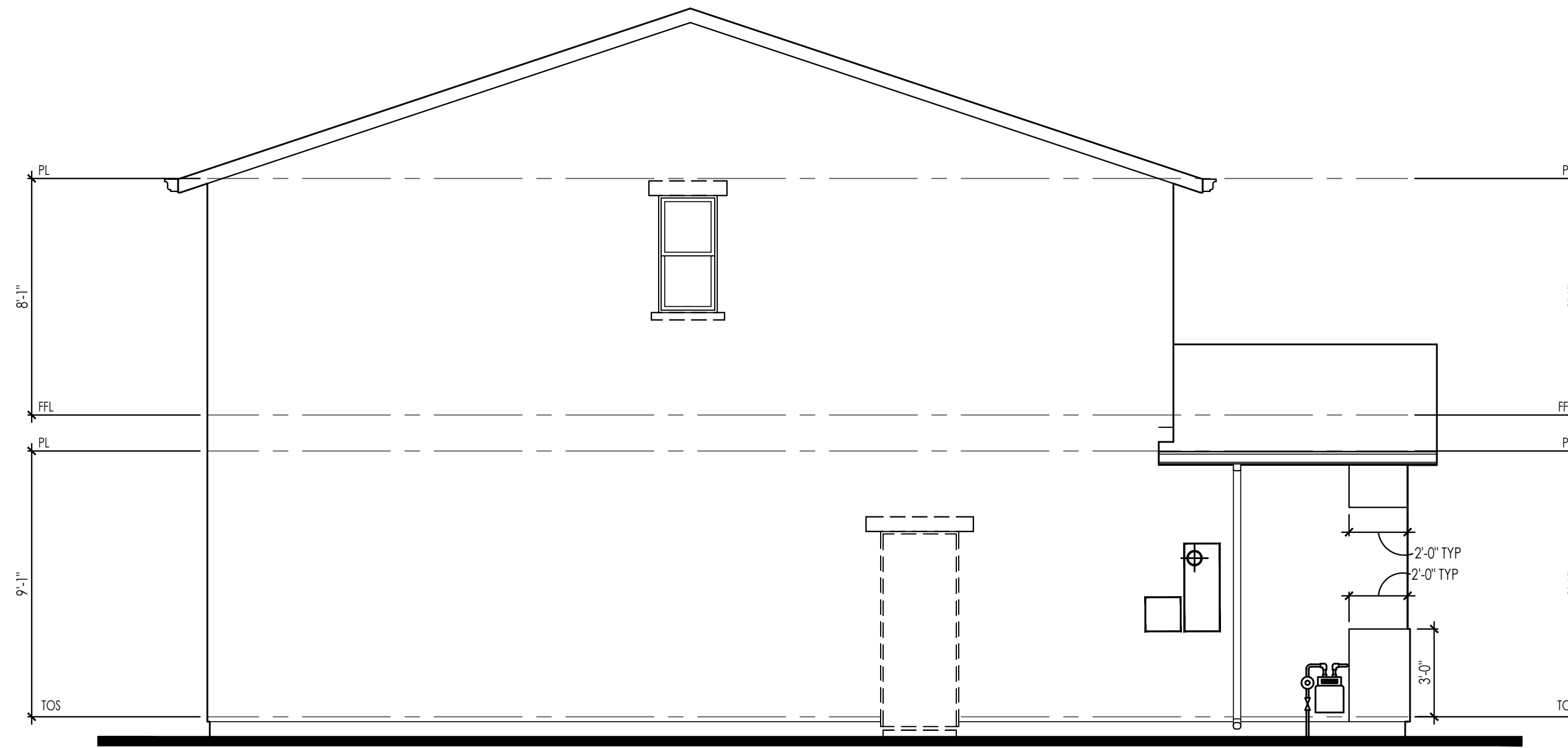
Sheet Notes:

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- WINDOW HEAD HEIGHTS:
 - 1ST FLOOR = 7'-6" AFF (LINO)
 - 2ND FLOOR = 7'-6" AFF (LINO)
 - DOOR HEIGHTS AS NOTED ON FLOOR PLANS
- EXTERIOR WALLS (PER MFG INSTALLATION INSTRUCTIONS):
 - OMEGA DIAMOND WALL T-COAT STUCCO SYSTEM; OVER MIN 1" FOAM INSULATION; OVER ONE LAYER OF 40-MINUTE GRADE D PAPER OR EQUAL; OVER STUDS OR WOOD-BASED SHEATHING. STUCCO CONTROL JOINT LOCATIONS SHALL BE COORDINATED WITH THE ARCHITECT PRIOR TO INSTALLATION; IF NOT SPECIFIED ON PLANS, (S&B 1194)
 - FIBER CEMENT SIDING; OVER ONE LAYER OF APPROVED WATER-RESISTIVE BARRIER; OVER STUDS OR SHEATHING.
- ROOFING: REFER TO ROOF PLAN SHEET NOTES
- WINDOWS: VINYL, SPEC PER BUILDER
- GRIDS / DIVIDED LITES AS SHOWN
- ENTRY DOORS: RAISED PANEL, SPEC PER BUILDER
- OVER HEAD GARAGE DOORS:
 - STEEL SECTIONAL, SPEC PER BUILDER
 - RAISED PANEL AND GLASS INSERTS AS SHOWN.
- FASCIA BOARDS: 2X6, UNLESS NOTED OTHERWISE REFER TO ELEVATION KEYNOTES
- BARGE RAFTER: 2X6, UNLESS NOTED OTHERWISE REFER TO ELEVATION KEYNOTES
- ADDRESS NUMBERS: PLACE IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONTING PROPERTY (CRC R319.1)
 - NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND AND BE LEGIBLE.
 - NUMBERS SHALL BE A MINIMUM 4" HIGH WITH A MINIMUM STROKE WIDTH OF 1/2"
- ROOF HEELS: LABELED AS
 - STANDARD HEEL: +0"
 - RAISED HEEL: INCREASED HEEL TO PLANE FASCIA. REFER TO TRUSS LAYOUTS
- ATTACHMENT PENETRATIONS MADE THROUGH EXTERIOR FINISHES SHALL BE PRE-DRILLED AND FILLED WITH MASTIC AND, WHENEVER POSSIBLE; MADE OVER SELF-ADHERED FLASHING MEMBRANE LAPPED INTO WEATHER RESISTIVE BARRIER AND INTO SOLID BACKING.

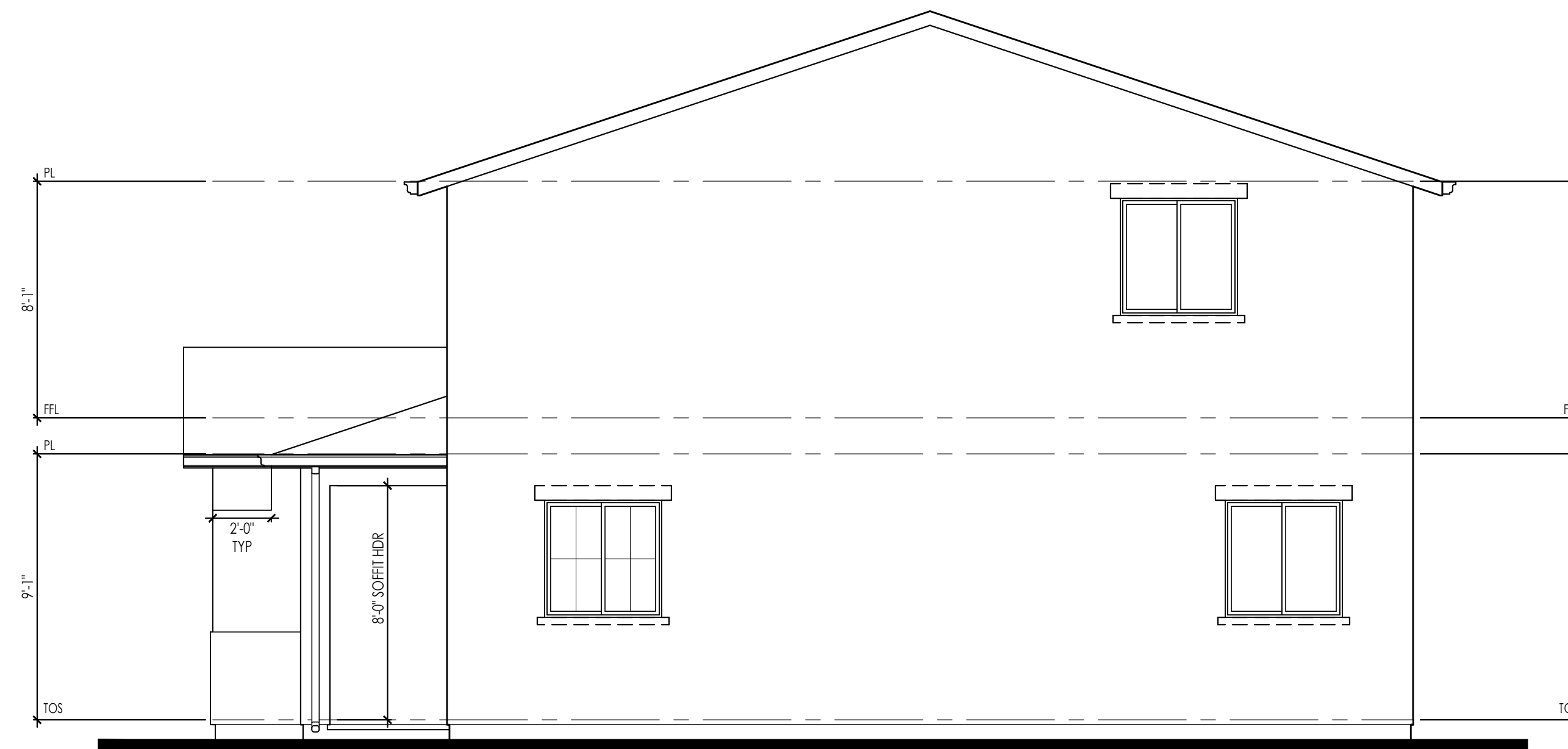
Elevation Keynotes:

- MINIMUM CLASS 'A' ROOFING. REFER TO ROOF PLAN SHEET NOTES
- 2X6 FASCIA / BARGE RAFTER:
- GUTTER, STYLE SPEC PER BUILDER
- DOWNSPOUT, STYLE SPEC PER BUILDER
- CORROSION RESISTANT ROOF TO WALL FLASHING REFER TO ROOF DETAILS
- EXTERIOR STUCCO, TYPICAL +0" (LINO), STANDARD FINISH
- EXTERIOR SIDING MATERIAL, COMPOSITE WOOD:
 - LAP WITH 6" REVEAL
 - 1X2 BOARD & BATTEN (BATTEN AT 16" OC)
- TRIM, SIZE AS NOTED (HEIGHT X DEPTH) OR SEE DETAIL:
 - STUCCO OVER FOAM, LIGHT SAND FINISH.
 - COMPOSITE WOOD (NOMINAL SIZE)
- FAUX WOOD SHUTTER, ATTACHMENT PER MFG RECOMMENDATION (STYLE PER DESIGN DETAIL).
- DECORATIVE SHAPED STUCCO CORBEL, PER DESIGN DETAIL.
- WOOD KNEE BRACE ATTACHMENT PER DETAIL 17/AD1
- DECORATIVE WOOD BEAM, SIZE AS NOTED, SEE DETAIL 18/AD1 FOR ATTACHMENT AT GABLE.
- EXTERIOR COACH LIGHT; MOUNT AT +84" AFF (LINO)
- ADDRESS NUMBER: MOUNT AT +66" AFF (LINO)
- UTILITY CONNECTIONS (TYPICAL), PER MUNICIPAL CODES REQUIRED AT ENHANCED ELEVATION ONLY

Sheet Revisions		
#	DATE	COMMENT
01	01.27.21	INITIAL PLAN CHECK SUBMITAL
2	03.25.21	PC 1 REVISION

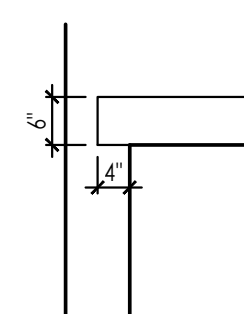
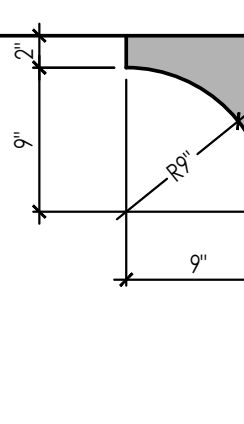
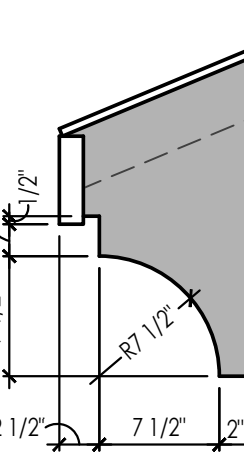
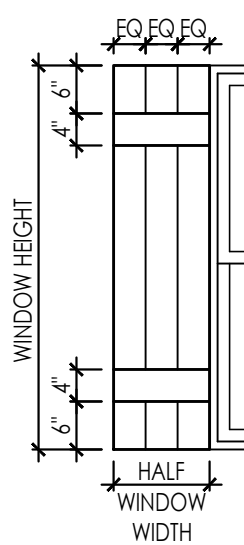
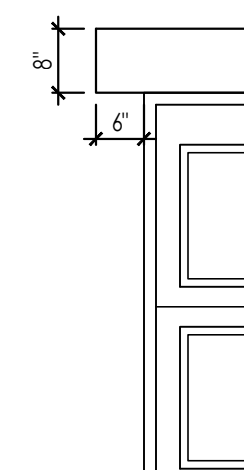
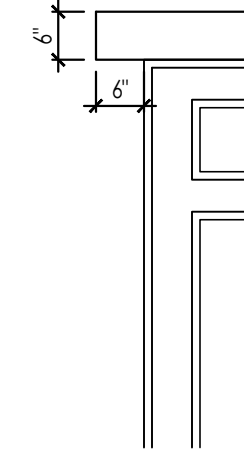
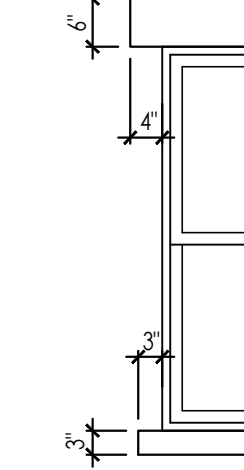


'EARLY CALIFORNIA' (COMPOSITION SHINGLE)
LEFT ELEVATION "A"
 1/4" = 1'-0"



'EARLY CALIFORNIA' (COMPOSITION SHINGLE)
RIGHT ELEVATION "A"
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 - DOOR HEIGHTS AS NOTED ON FLOOR PLANS
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 - FIBER CEMENT SIDING; OVER ONE LAYER OF APPROVED WATER-RESISTIVE BARRIER; OVER STUDS OR SHEATHING.
 - ROOFING: REFER TO ROOF PLAN SHEET NOTES
 - WINDOWS: VINYL, SPEC PER BUILDER
 - GRIDS / DIVIDED LITES AS SHOWN
 - ENTRY DOORS: RAISED PANEL, SPEC PER BUILDER
 - OVER HEAD GARAGE DOORS:
 - STEEL SECTIONAL, SPEC PER BUILDER
 - RAISED PANEL AND GLASS INSERTS AS SHOWN.
 - FASCIA BOARD: 2X6, UNLESS NOTED OTHERWISE. REFER TO ELEVATION KEYNOTES
 - BARGE RAFTER: 2X6, UNLESS NOTED OTHERWISE. REFER TO ELEVATION KEYNOTES
 - ADDRESS NUMBERS: PLACE IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONTING PROPERTY (CRC R319.1)
 - NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND AND BE LEGIBLE.
 - NUMBERS SHALL BE A MINIMUM 4" HIGH WITH A MINIMUM STROKE WIDTH OF 1/2"
 - ROOF HEELS: LABELED AS
 - STANDARD HEEL: +0"
 - RAISED HEEL: INCREASED HEEL TO PLANE FASCIA. REFER TO TRUSS LAYOUTS
 - ATTACHMENT PENETRATIONS MADE THROUGH EXTERIOR FINISHES SHALL BE PRE-DRILLED AND FILLED WITH MASTIC AND, WHENEVER POSSIBLE; MADE OVER SELF-ADHERED FLASHING MEMBRANE LAPPED INTO WEATHER RESISTIVE BARRIER AND INTO SOLID BACKING.

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 - UTILITY CONNECTIONS (TYPICAL), PER MUNICIPAL CODES REQUIRED AT ENHANCED ELEVATION ONLY

Omni
 Madera, California

CENTURY COMMUNITIES
 7815 N. PALM AVE., SUITE 101
 FRESNO, CA 93711
 (559) 439-4464

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JD+A Project Number: 21033

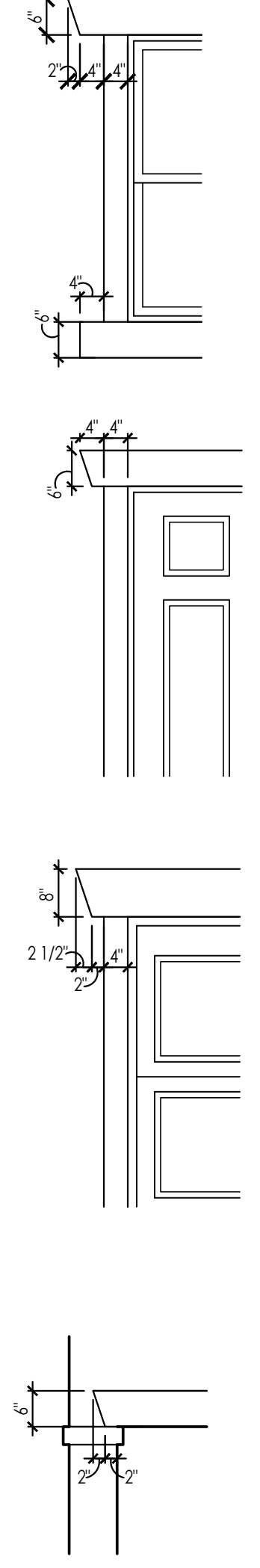
Sheet Revisions		
#	DATE	COMMENT
01	27.21	INITIAL PLAN CHECK SUBMITTAL
03	25.21	PC 1 REVISION

PLAN 2222
 Sheet Description:
EXTERIOR ELEVATIONS "A" (RIGHT/LEFT)

Sheet Number:
A5.2

4/12/2021 PERMIT SET

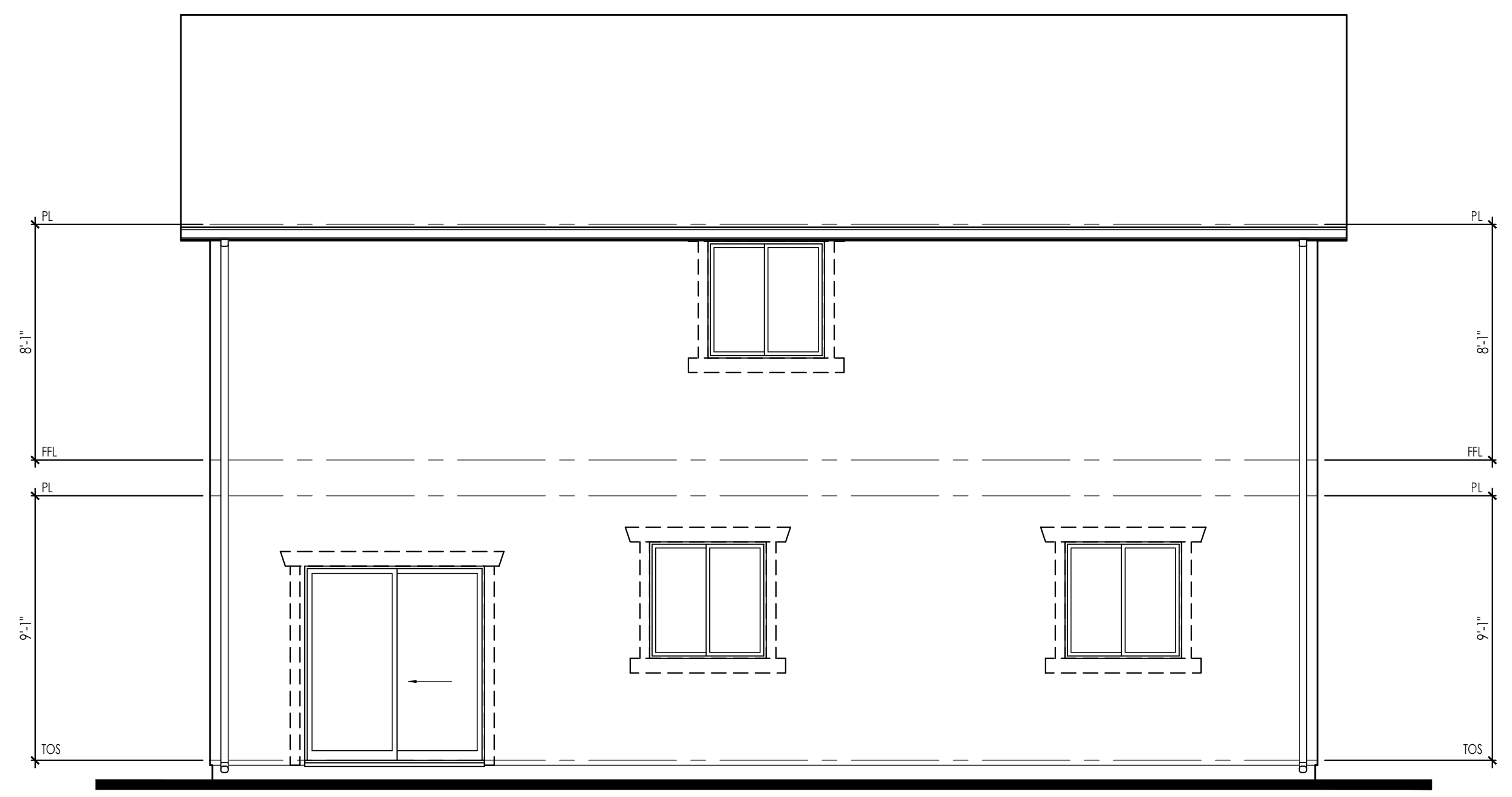
Elevation Design Details:
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Elevation Keynotes:

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'BUNGALOW' (COMPOSITION SHINGLE)
REAR ELEVATION "B"
1/4" = 1'-0"



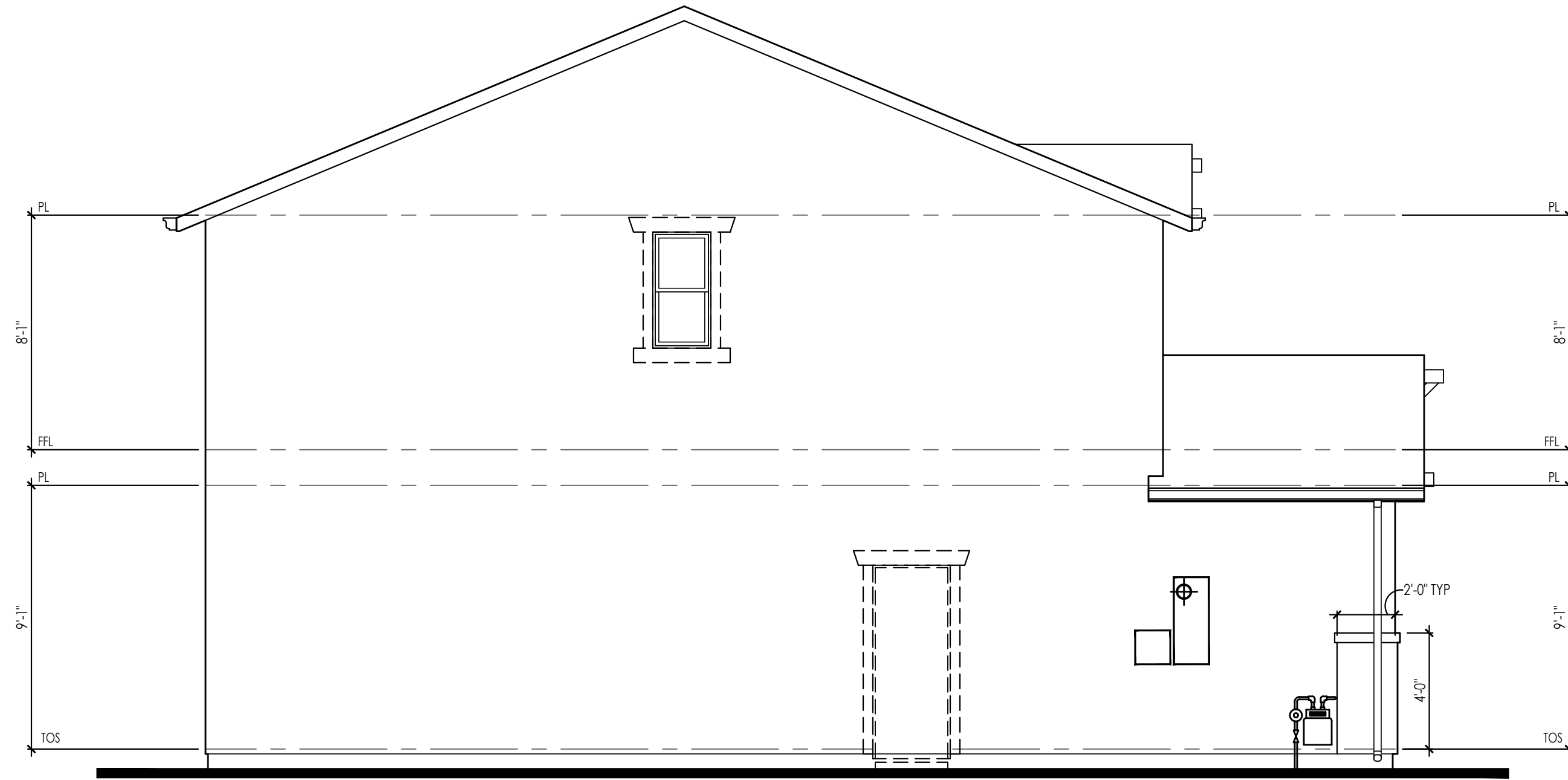
'BUNGALOW' (COMPOSITION SHINGLE)
FRONT ELEVATION "B"
1/4" = 1'-0"

Sheet Revisions		
#	DATE	COMMENT
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03	25.21	PC 1 REVISION

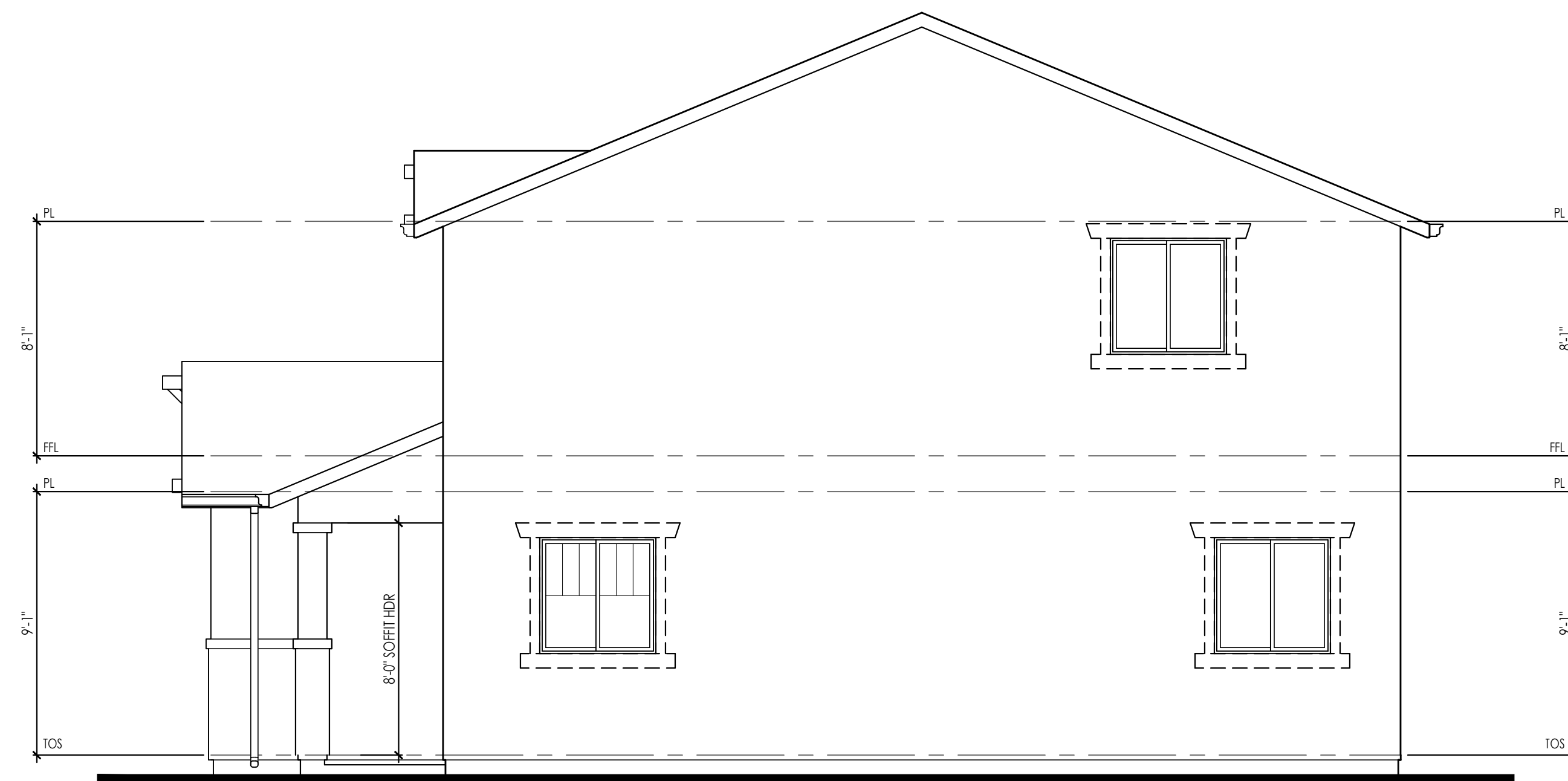
4/12/2021 PERMIT SET

PLAN 2222
Sheet Description:
EXTERIOR ELEVATIONS "B" (FRONT / REAR)

Sheet Number:
A6.1

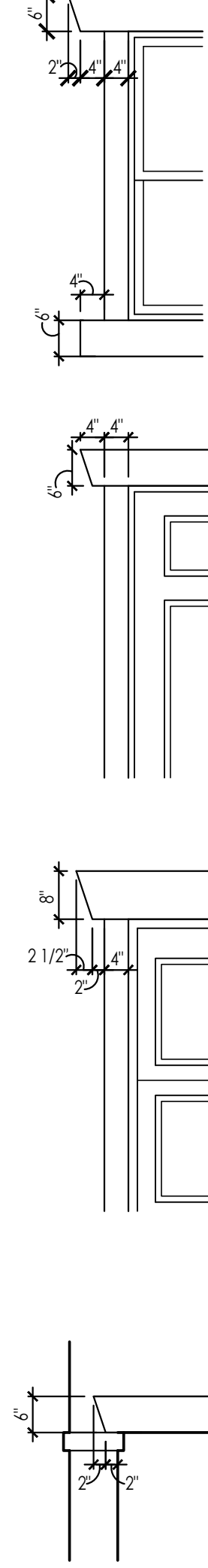


'BUNGALOW' (COMPOSITION SHINGLE)
LEFT ELEVATION "B"
 1/4" = 1'-0"



'BUNGALOW' (COMPOSITION SHINGLE)
RIGHT ELEVATION "B"
 1/4" = 1'-0"

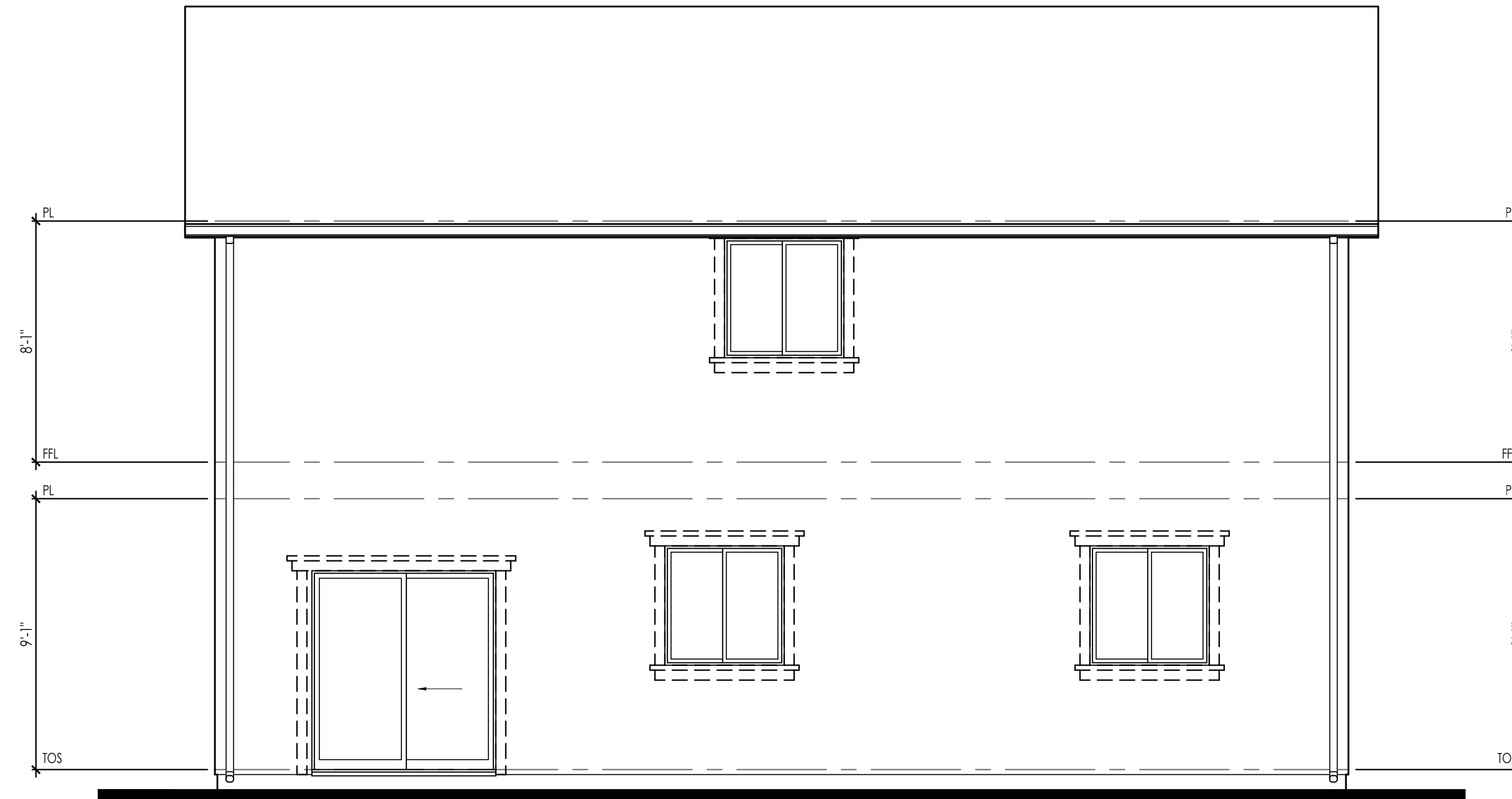
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03	25.21	PC 1 REVISION

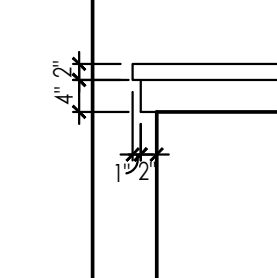
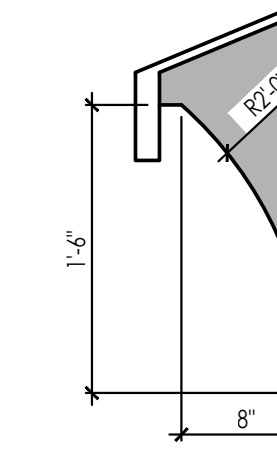
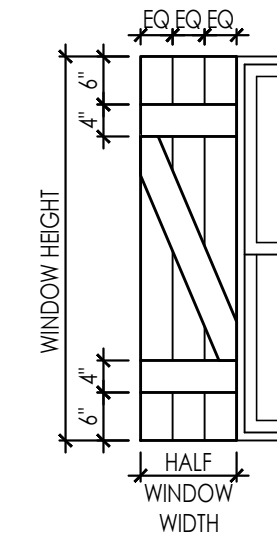
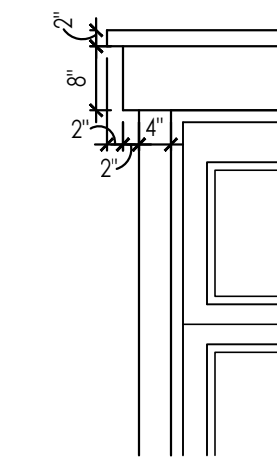
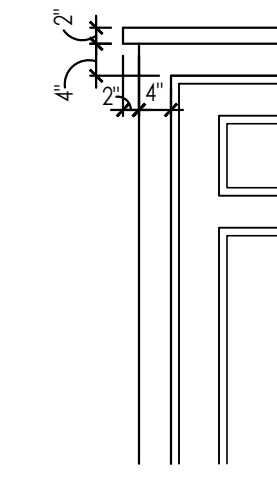
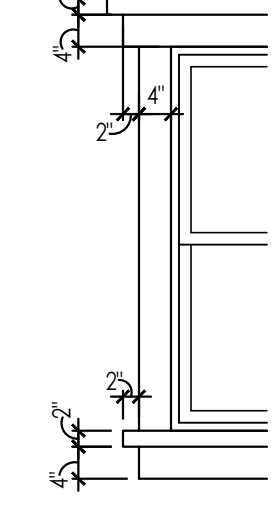


'COTTAGE' (COMPOSITION SHINGLE)
REAR ELEVATION "C"
 1/4" = 1'-0"



'COTTAGE' (COMPOSITION SHINGLE)
FRONT ELEVATION "C"
 1/4" = 1'-0"

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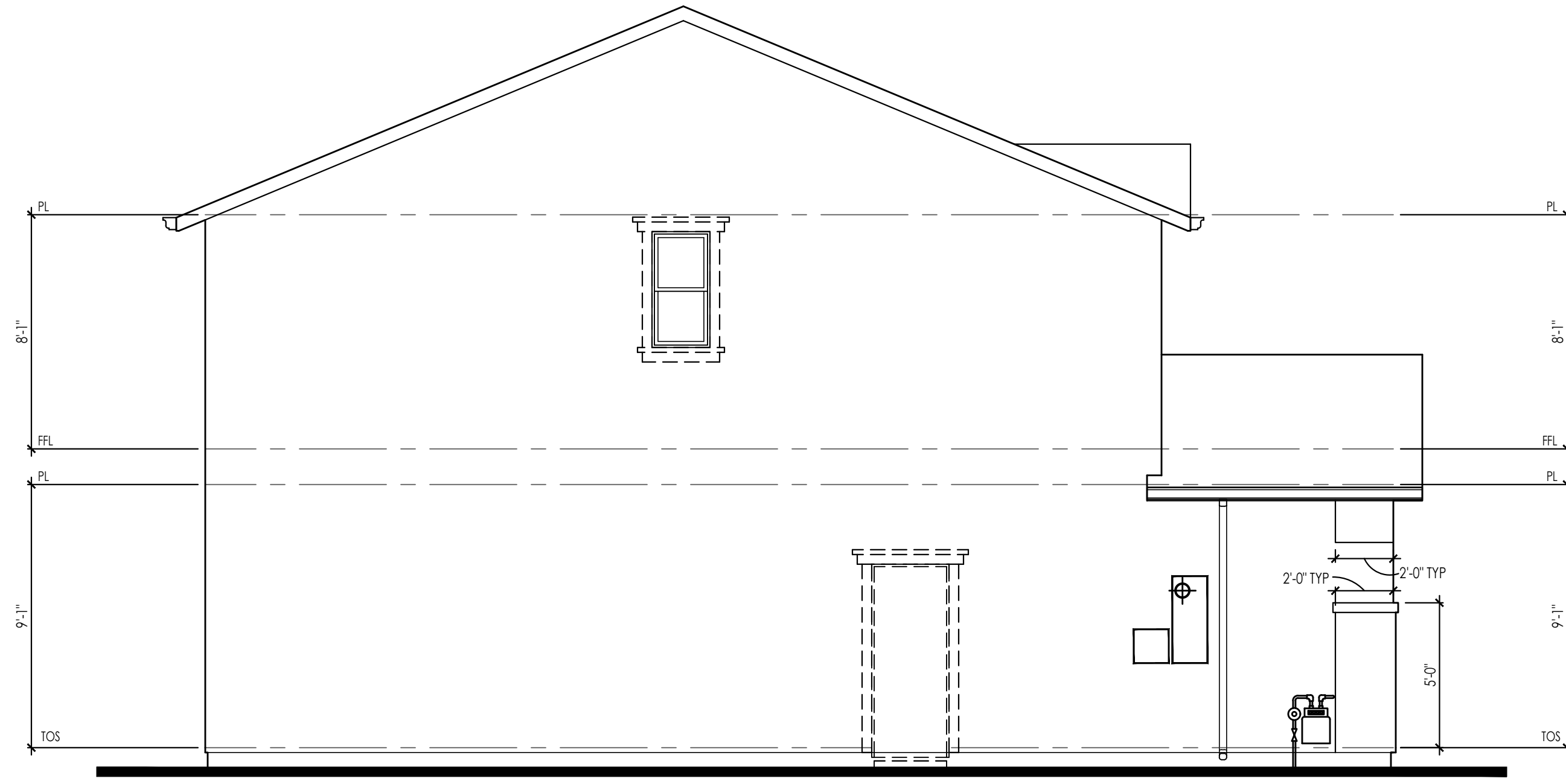


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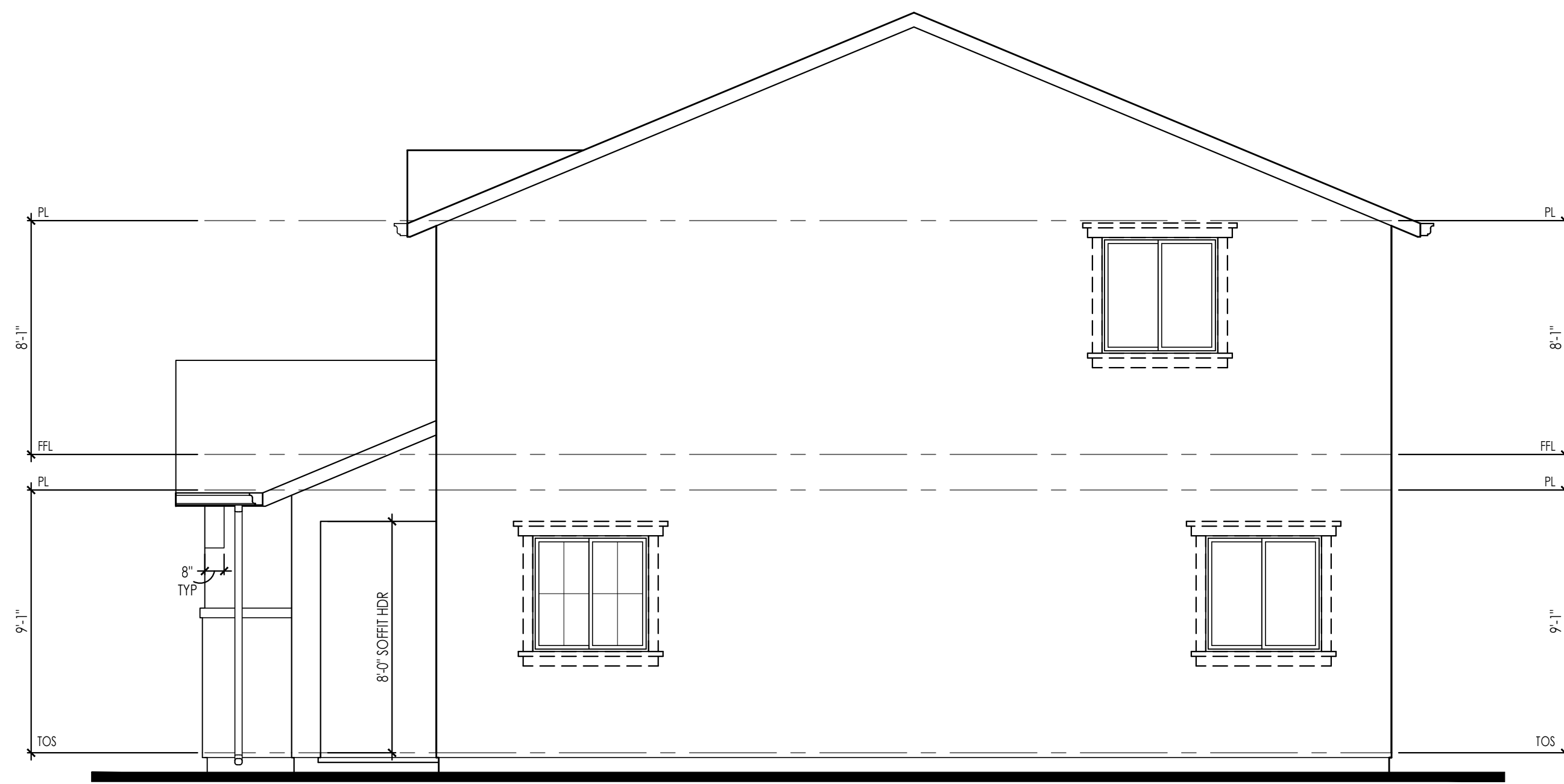
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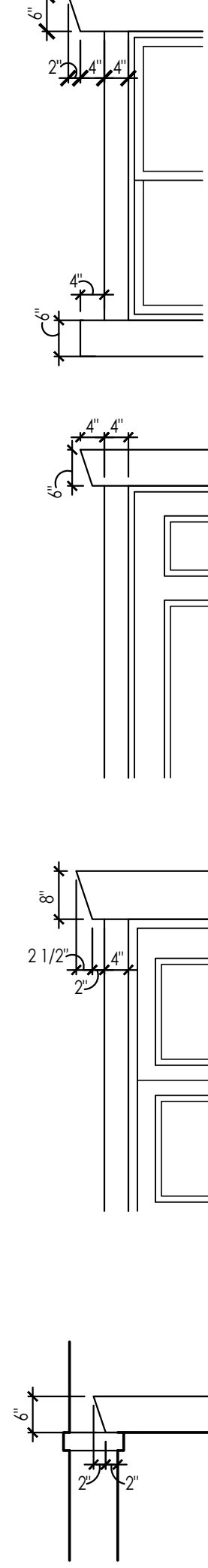


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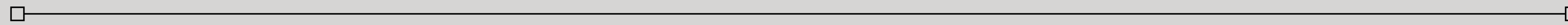
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Attachment 6: Color and Material Selections

OMNI

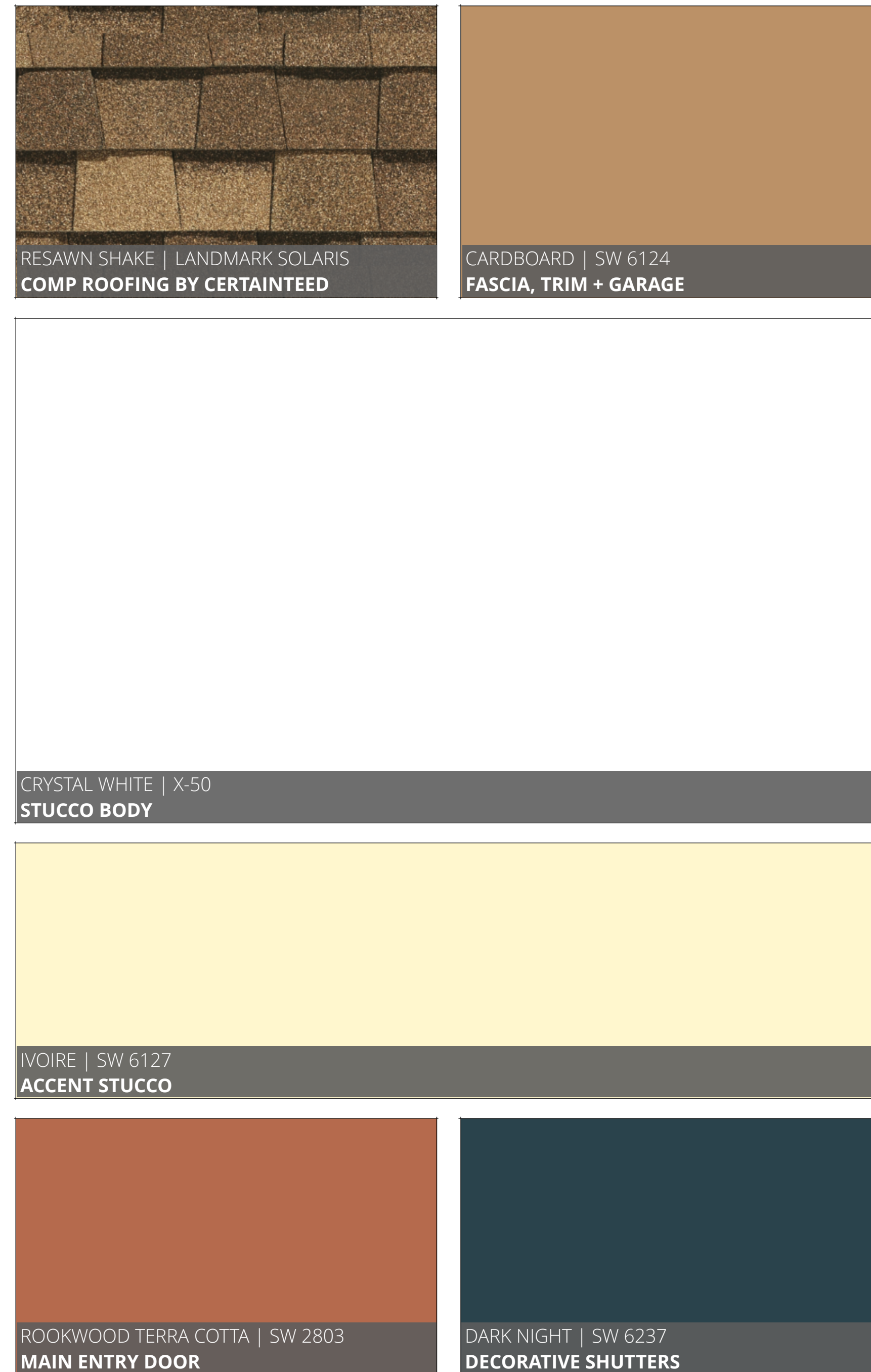


COLOR + MATERIAL SELECTIONS

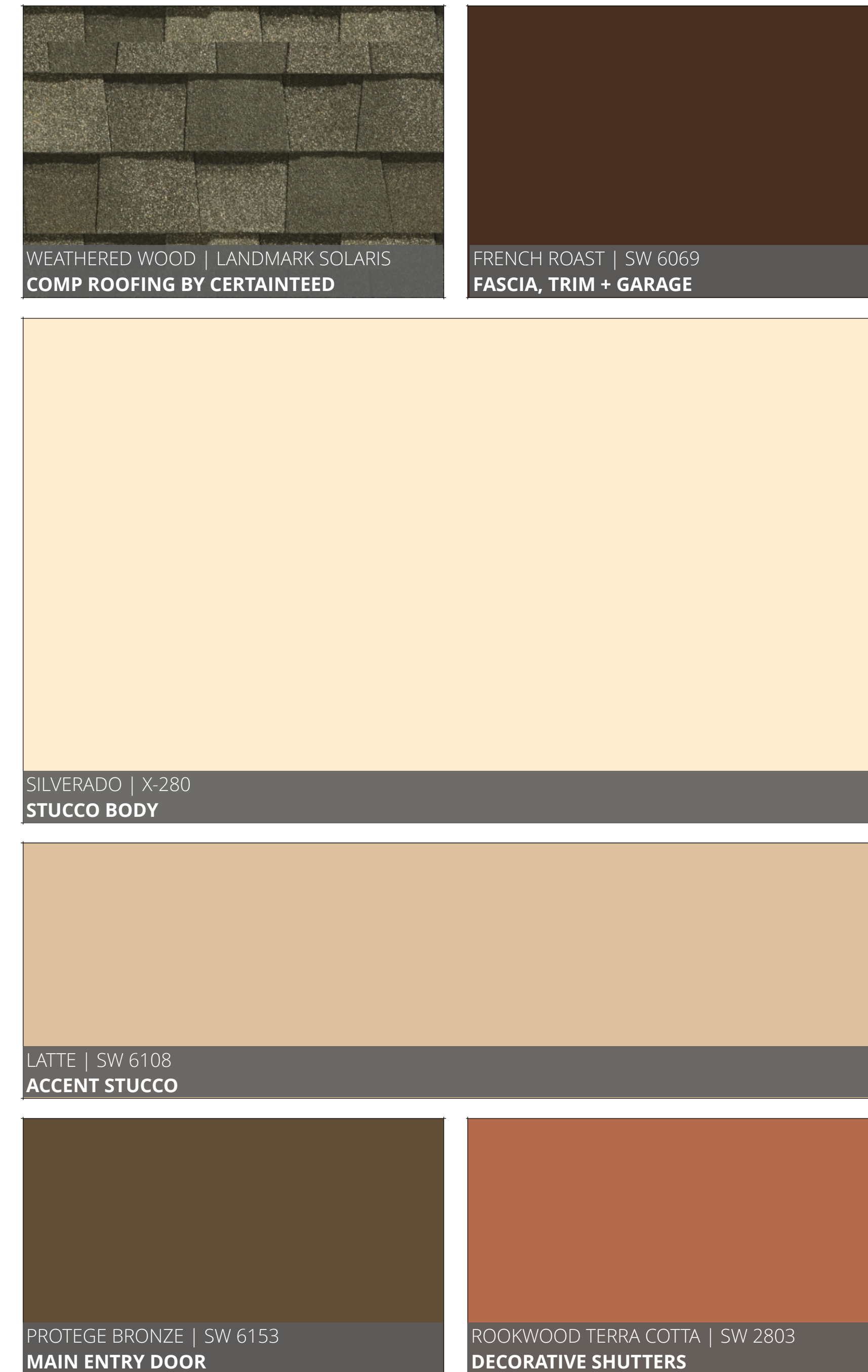


Madera, California
04.09.2021

SCHEME 1

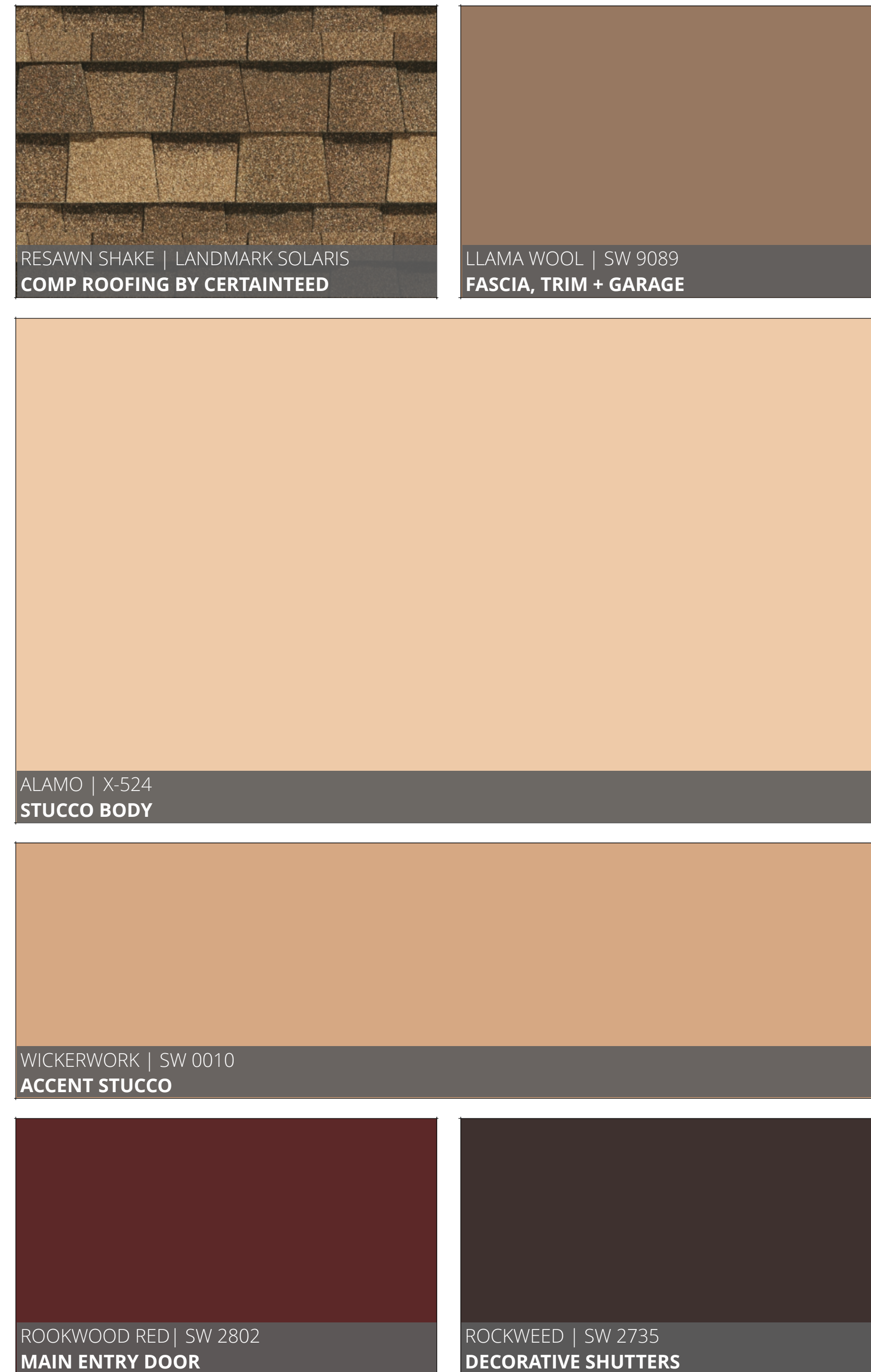


SCHEME 2

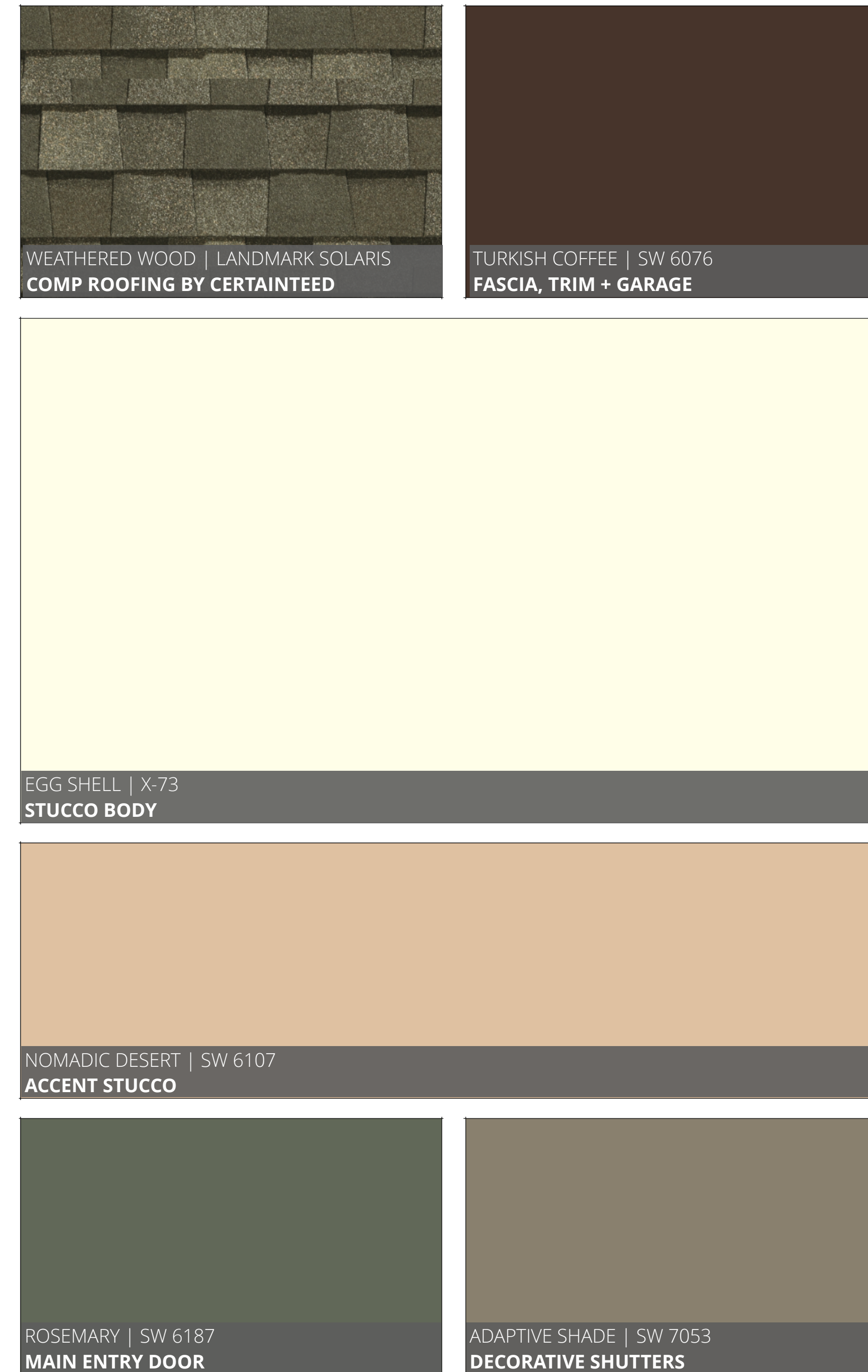


COLOR + MATERIALS | Early California

SCHEME 3

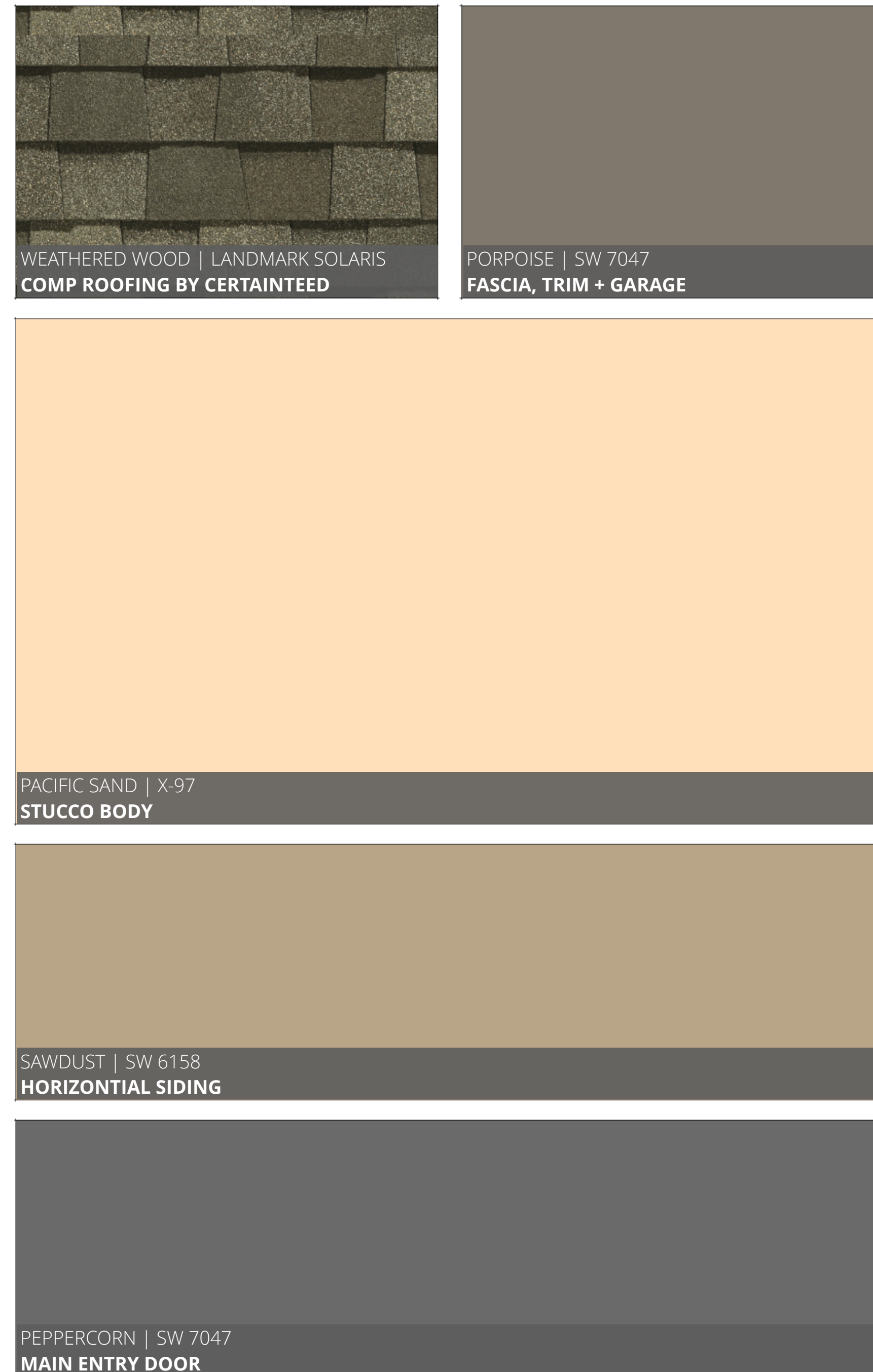


SCHEME 4

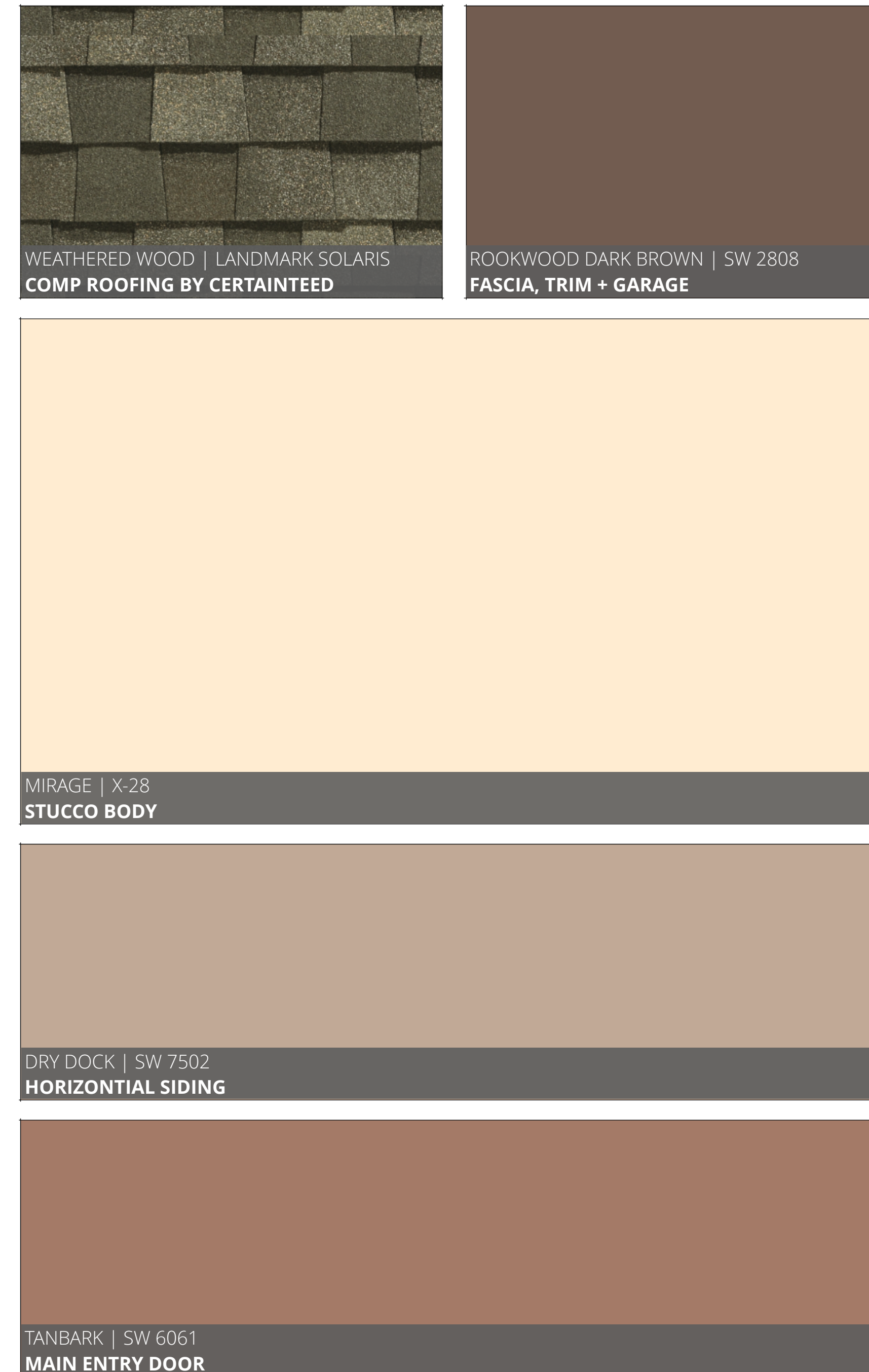


COLOR + MATERIALS | Early California

SCHEME 5



SCHEME 6



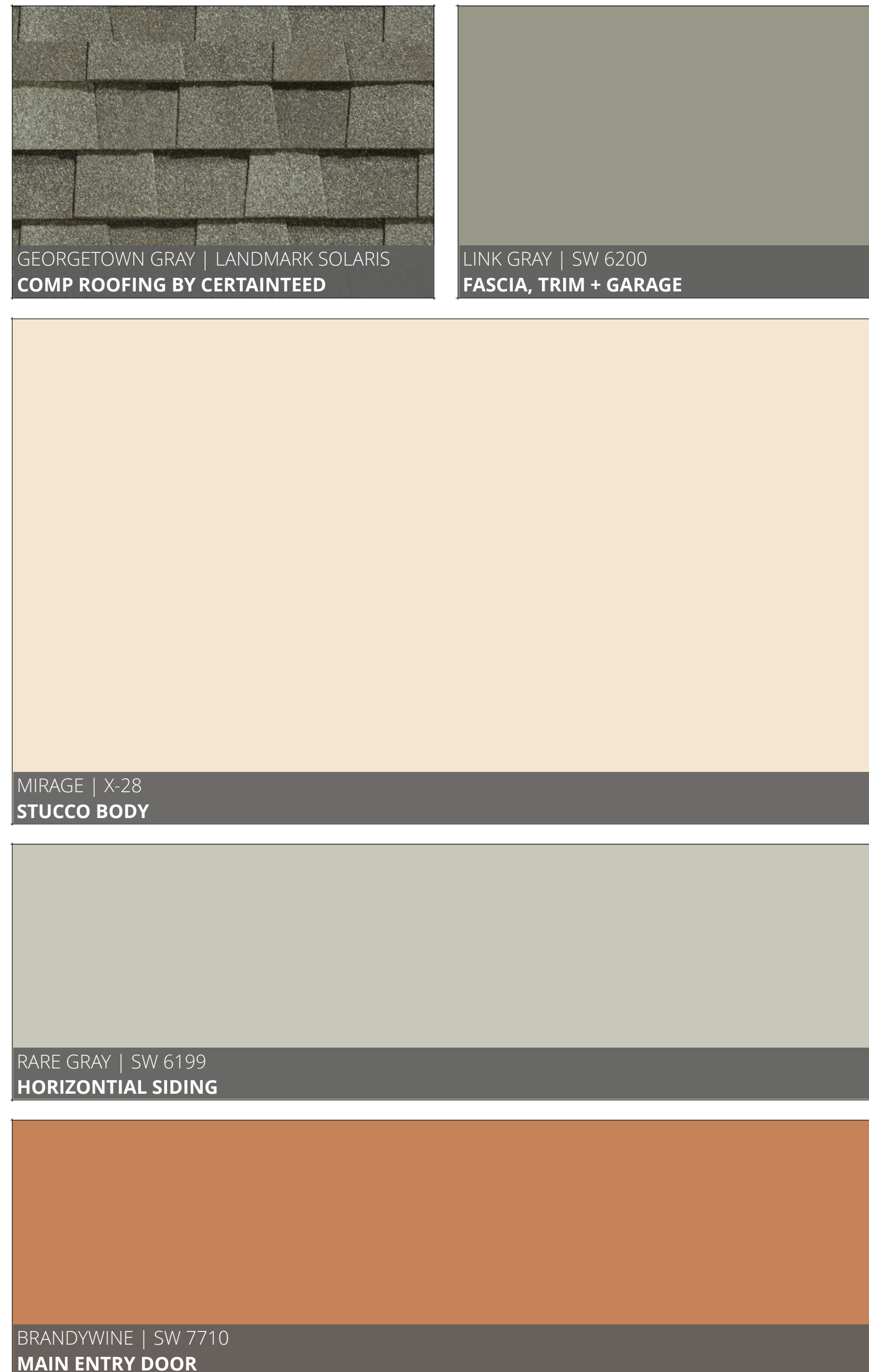
COLOR + MATERIALS | Bungalow



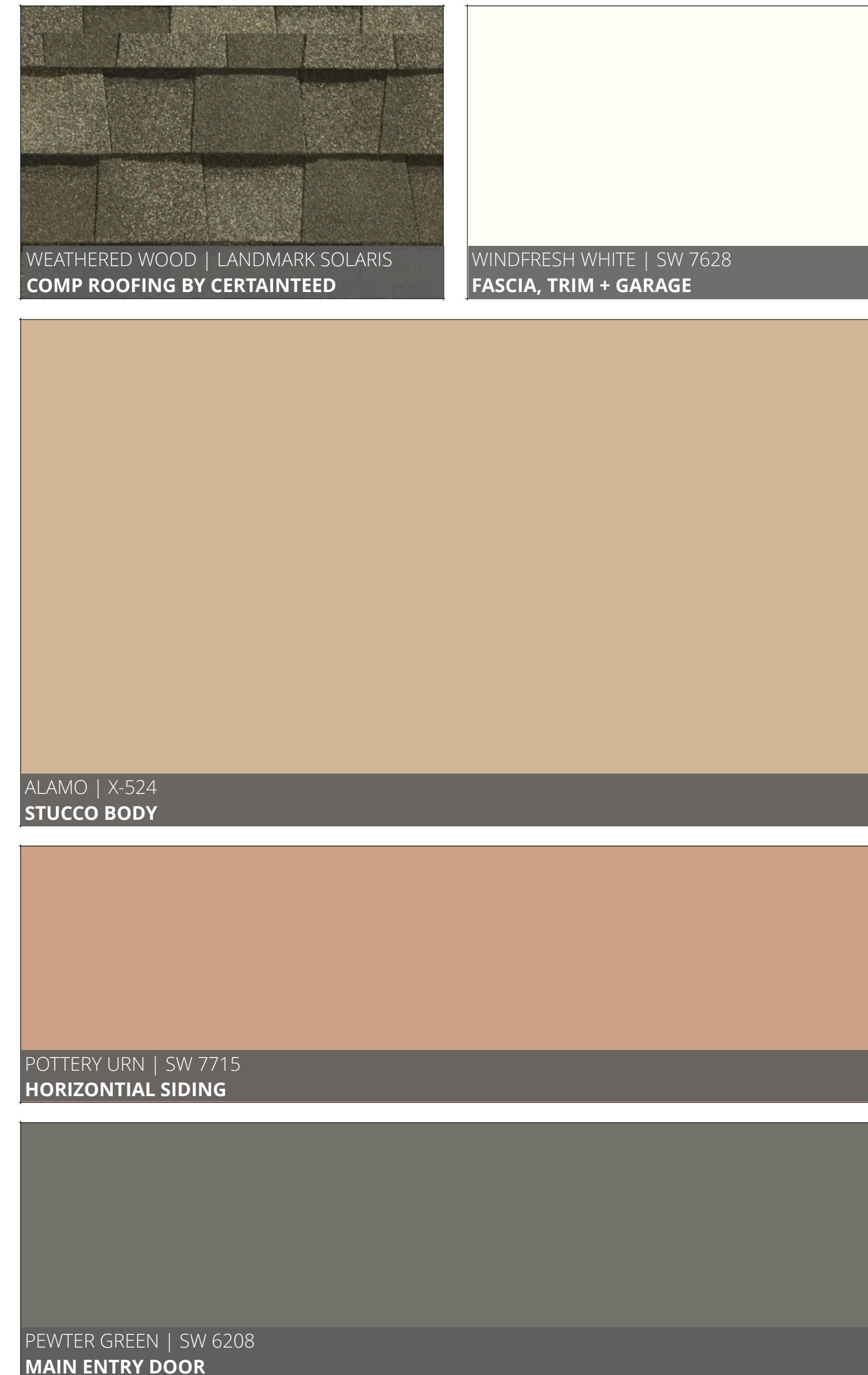
JD+A JOB NUMBER: 21033
DATE: 04.09.2021

A1.3


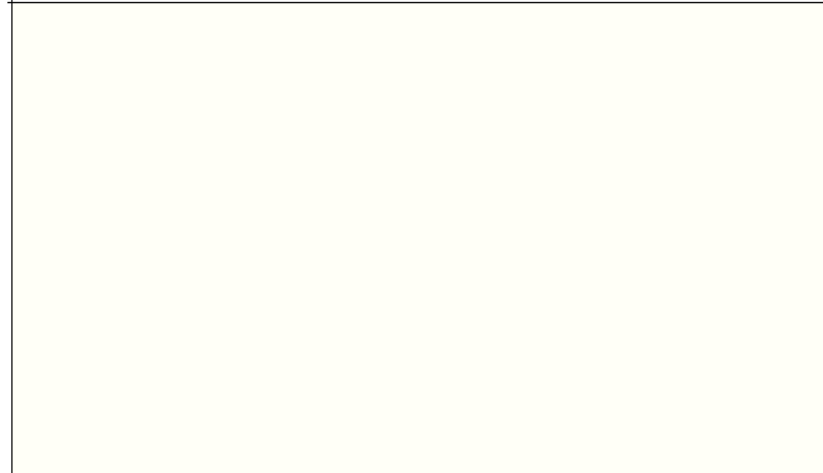
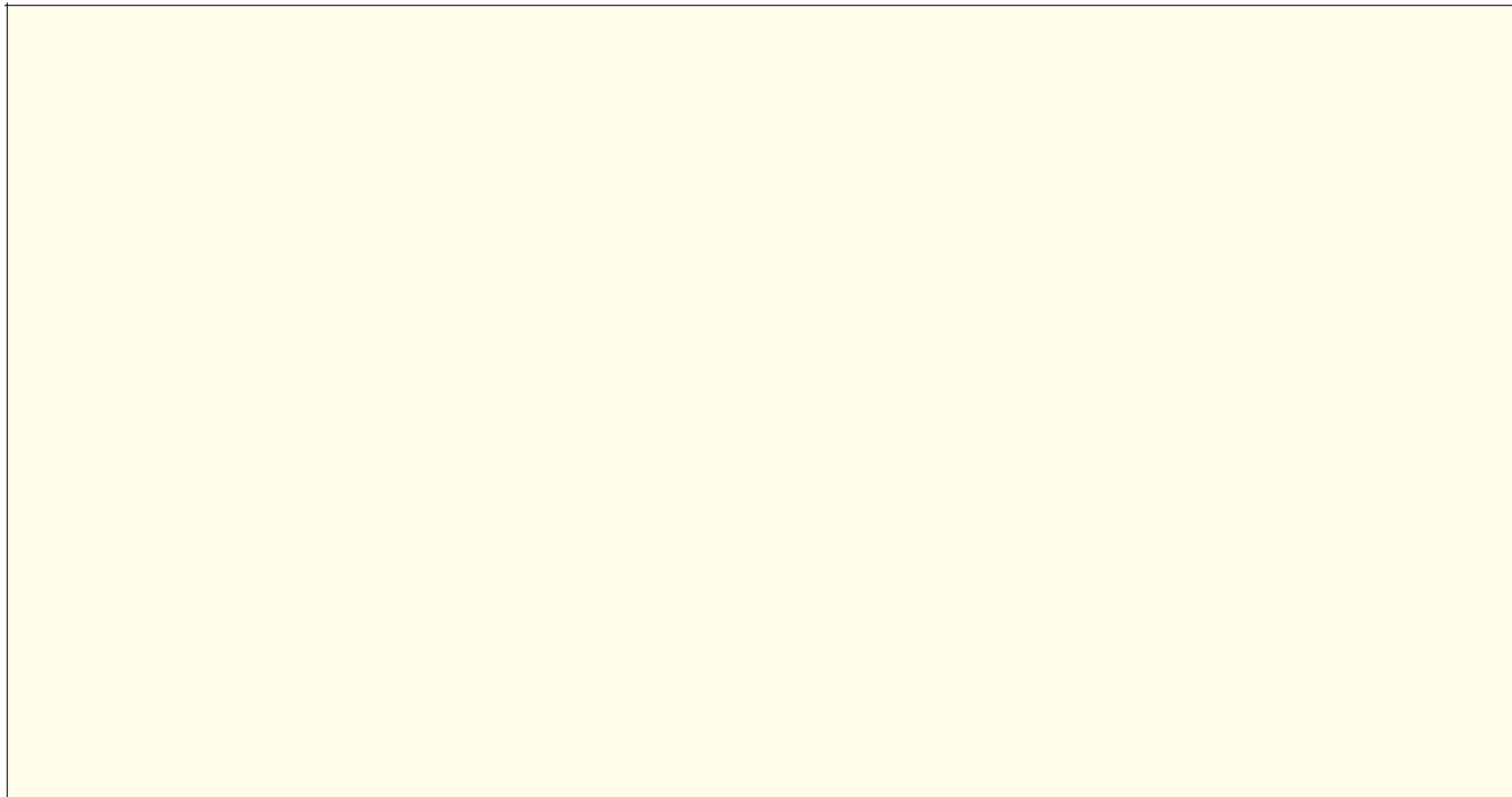
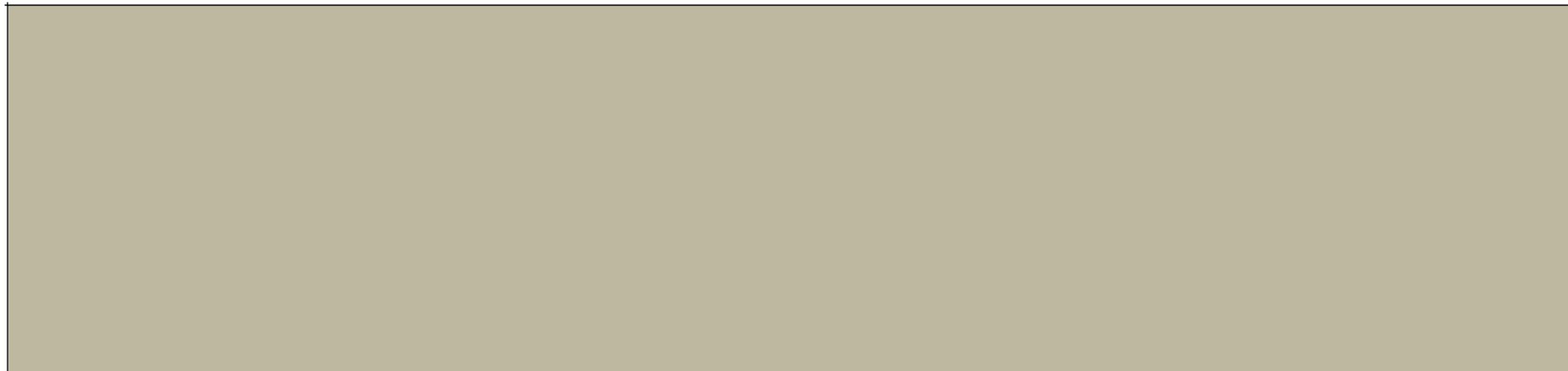
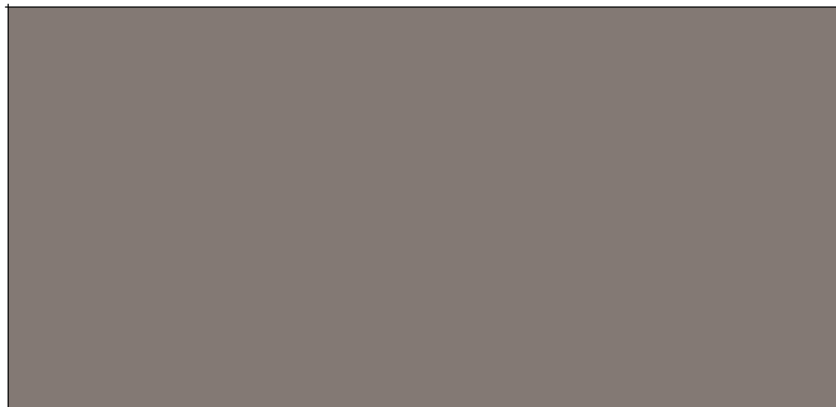
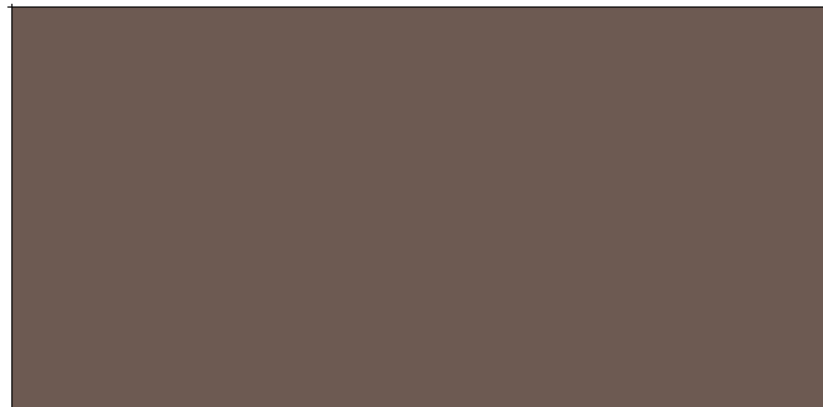
SCHEME 7




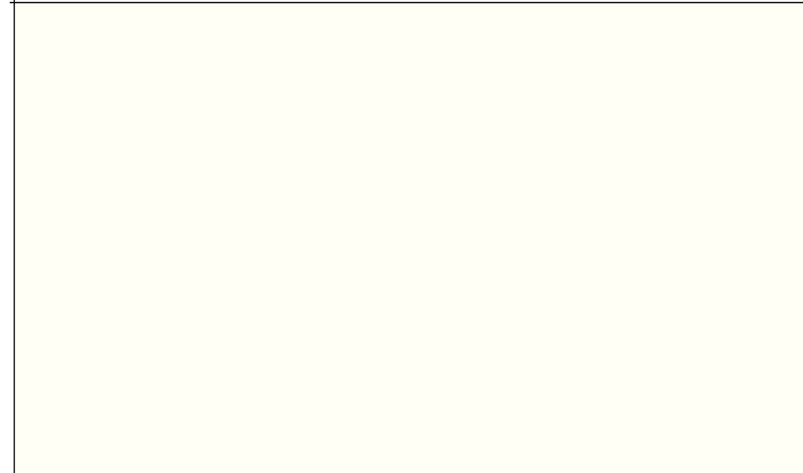
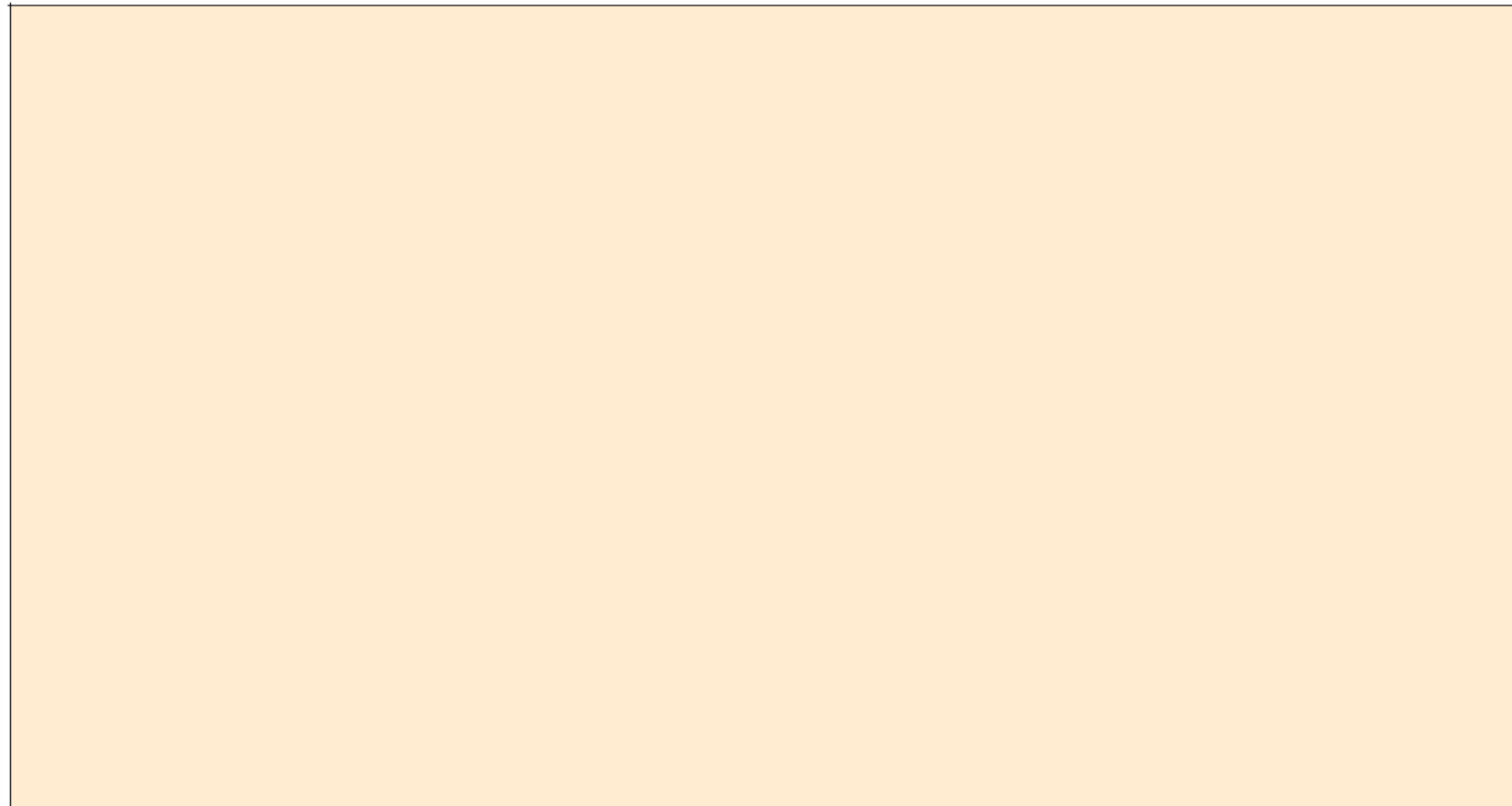
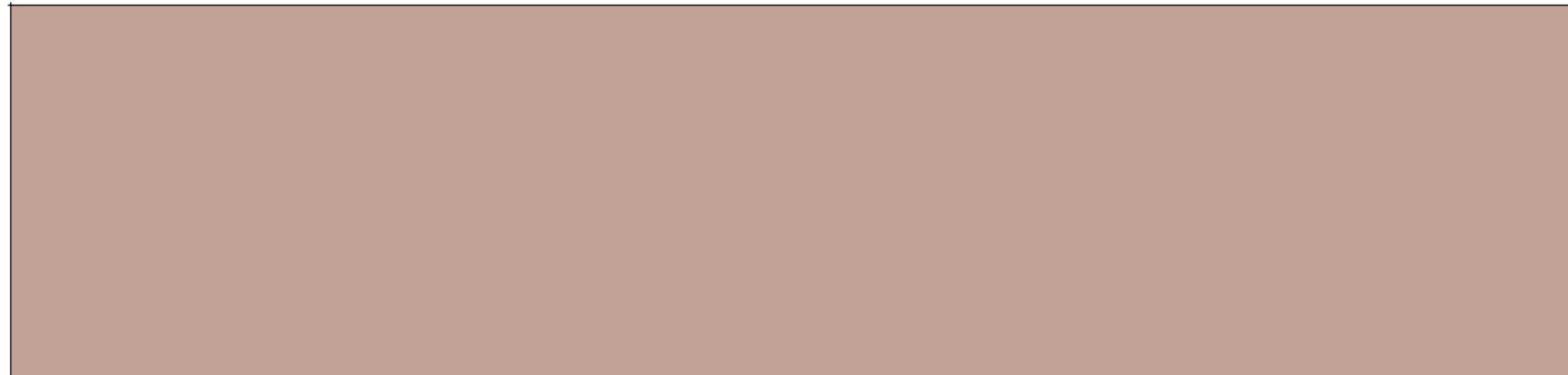
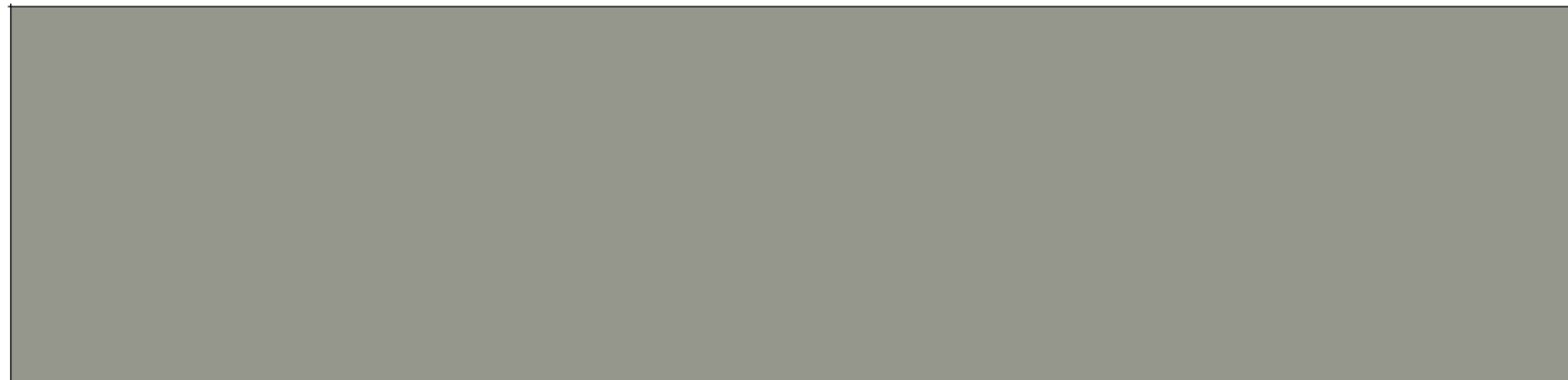
SCHEME 8



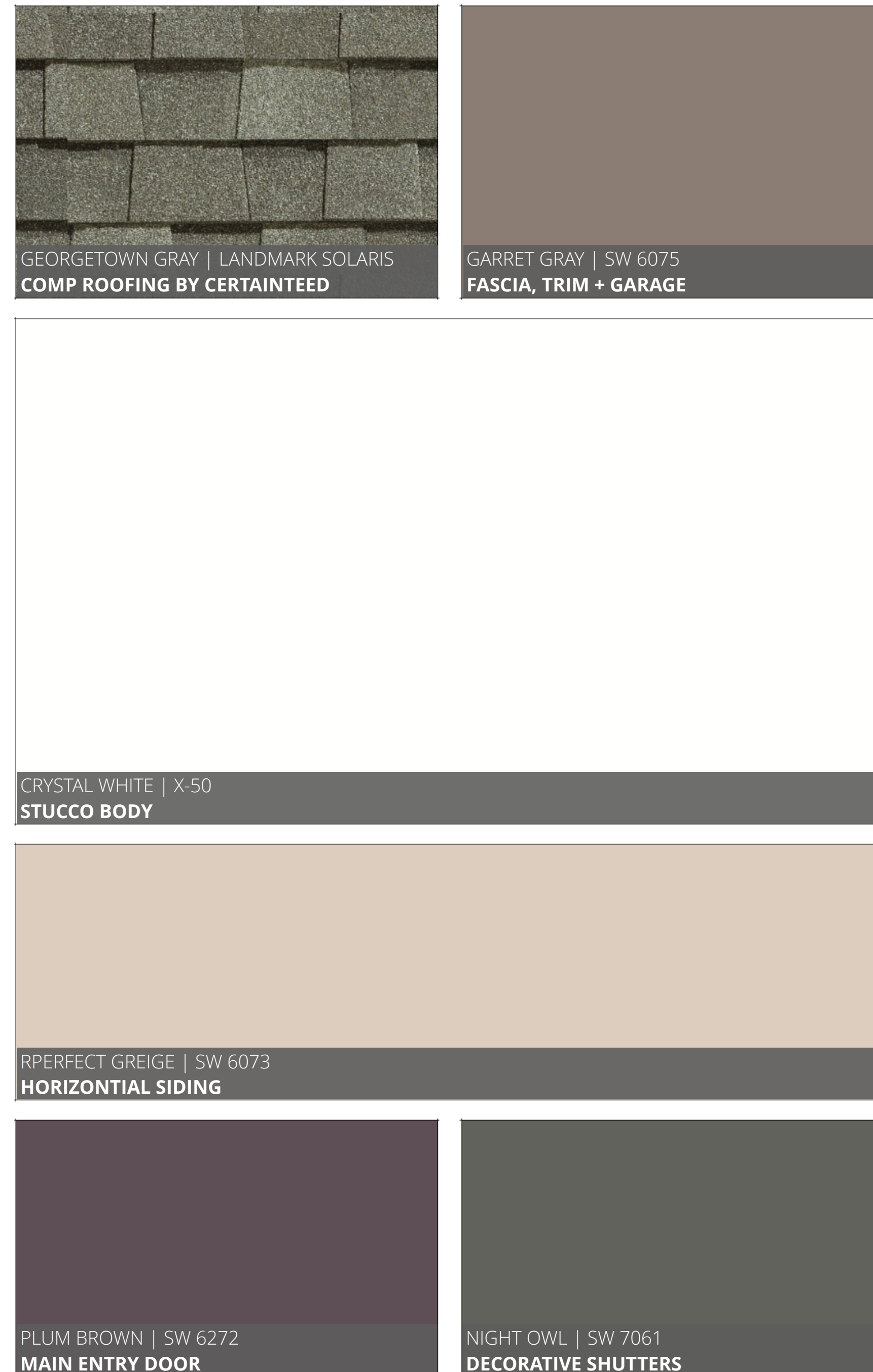
SCHEME 9

	
WEATHERED WOOD LANDMARK SOLARIS COMP ROOFING BY CERTAINTEED	CASA BLANCA SW 7571 FASCIA, TRIM + GARAGE
	
ASPEN X-23 STUCCO BODY	
	
AT EASE SOLIDER SW 9127 HORIZONTAL SIDING	
	
FOLKSTONE SW 6005 MAIN ENTRY DOOR	CHATEAU BROWN SW 7510 DECORATIVE SHUTTERS

SCHEME 10

	
GEORGETOWN GRAY LANDMARK SOLARIS COMP ROOFING BY CERTAINTEED	AGED WHITE SW 9180 FASCIA, TRIM + GARAGE
	
MIRAGE X-28 STUCCO BODY	
	
VELVET CHESTNUT SW 9079 HORIZONTAL SIDING	
	
ATTITUDE GRAY SW 7060 MAIN ENTRY DOOR + DECORATIVE SHUTTERS	

SCHEME 11



SCHEME 12

