

CITY OF MADERA PLANNING COMMISSION

205 W. Fourth Street
Madera CA 93637
(559) 661-5430

Staff Report: Caliber Collision CUP 2019-12, SPR 2019-19 & Categorical Exemption Item # 4 – September 10, 2019

PROPOSAL: Consideration of a request for a conditional use permit and site plan review to allow for the establishment of an auto body repair shop with overnight on-site parking in conjunction with the development of a 10,000 square foot premanufactured building.

APPLICANT:	Caliber Collision	OWNER:	Mark Knox
ADDRESS:	SEC of S. G St. and W. 8 th St.	APN:	010-193-010
APPLICATION:	CUP 2019-12 & SPR 2019-19	CEQA:	Categorical Exemption

LOCATION: The project site is located on the southeast corner of South G Street and West 8th Street.

STREET ACCESS: The project site has access from South G Street and West 8th Street.

PARCEL SIZE: Approximately .68-acre.

GENERAL PLAN DESIGNATION: C (Commercial)

ZONING DISTRICT: C1 (Light Commercial)

SITE CHARACTERISTICS: The site is surrounded by the multi-family uses to the north and west, the existing Caliber Collision auto body shop to the east and vacant commercial land to the south.

ENVIRONMENTAL REVIEW: The project has been determined to be categorically exempt under the California Environmental Quality Act (CEQA) guidelines, Section 15332 (In-Fill Development Project).

SUMMARY: The applicant proposes the expansion of the Caliber Collision auto body repair and painting business with the additional development of an approximately 10,000 square foot premanufactured building. Site design, parking, and landscaping are generally acceptable, but the building elevations lack articulation, varied construction materials and required architectural value, resulting in a low-quality architectural design which significantly erodes the value of the project overall. Cumulatively, the project proposal does not provide conformance with the goals and policies of the General Plan. The information presented in this report does not provide support for approval of the conditional use permit and site plan review request.

APPLICABLE CODES AND PROCEDURES

MMC §10-3.802 Light Commercial – Uses Permitted

MMC §10-3.4.0101 Site Plan Review

MMC §10-3.1202 Parking Regulations

MMC §10-3.1301 Use Permits

The City's Zoning Ordinance allows for the granting of a use permit by the Planning Commission (Commission) subject to the Commission being able to make findings that the establishment, maintenance or operation of the use or building will not, under the circumstances of the particular case, be detrimental to the health, safety, peace, morals, comfort and general welfare of persons residing or working in the neighborhood of the use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the City.

If the Commission cannot make the appropriate findings, the use should be denied. Conditions may be attached to the approval of the use permit to ensure compatibility. Project design may be altered, and site improvements required to make the project compatible with nearby uses. In addition, the application may be subject to further review, modification or revocation by the Commission, as necessary.

A site plan review is required for all uses of a property which involve the construction of new structures, new uses which necessitate on-site improvements, including uses subject to the approval of a use permit.

PRIOR ACTION

Although no entitlements exist for the project parcel, the adjoining property was developed as an auto body repair shop as part of Site Plan Review 2000-14, approved on February 21, 2001.

ANALYSIS

Proposal

The applicant is proposing an expansion of the existing Caliber Collision business located immediately east, adjacent to the project site. The proposal includes an approximately 10,000 square foot premanufactured building that would allow for an expansion of the auto body repair business. Caliber Collision specializes in auto body repair services, including repairing and replacing damaged vehicle parts, mechanical related repairs, welding, frame straightening and body work. Auxiliary services would include body fillers, primers, paints and body repair. Hours of operations are proposed to occur between 7:30 AM and 6:00 PM, Monday through Friday. The applicant anticipates this expansion to generate approximately 20 to 35 customers per day. The proposed business expansion will employ approximately eight new employees.

The applicant is also requesting the allowance for on-site overnight vehicle parking in the parking lot. Security gates and fencing around the parking lot will help prevent vandalism on the site. Gates would be open during regular business hours to allow for reciprocal cross access to adjoining properties.

Use Permit

The request for an auto body repair business is a permitted use in the C1 (Light Commercial) zone district subject to the approval of a conditional use permit CUP by the Commission.

In most cases, expansions and/or intensifications to an existing use would require a modification to the associated CUP and subsequent conditions of approval. In this case, the existing auto body repair use was approved through the site plan review process in 2000 without the benefit of the required CUP. Caliber Collision is securing the required CUP as a component of the expansion request.

General Plan Conformance

The General Plan requires that all new development is well-planned and of the highest possible quality, and that new development adheres to the basic principles of high-quality urban design, architecture and landscape architecture.

Subsequent to the applicant's original submittals, staff encouraged the applicant to review all applicable goals and policies of the General Plan and consider revisions to the site plan and building elevations.

The applicant responded with revised submittals that are provided as exhibits to this report. In order to consider approval of the proposed commercial development, the Commission must make findings of General Plan conformance through the project's implementation of the following goals and policies applicable to new commercial development.

Applicable Goals & Policies

Goal: CD-1 High-quality urban design throughout Madera.

Policy CD-1 *The City of Madera will require that all new development is well planned and of the highest possible quality. The City will seek to build an image of Madera as a contemporary small city with vibrant, livable neighborhoods and walkable pedestrian- and bicycle- oriented development.*

Policy CD-2 *All new development shall adhere to the basic principles of high-quality urban design, architecture and landscape architecture including, but not limited to, human-scale design, pedestrian orientation, interconnectivity of street layout, siting buildings to hold corners, entryways, gathering points and landmarks.*

Policy CD-3 *Madera will strive to continuously improve the architectural quality of public and private projects. Developers proposing to rely on the use of "standard design" or "corporate architecture" will be required to improve their designs as necessary to meet the City's overall standards for quality.*

Goal: CD-4 Attractive streetscapes in all areas of Madera.

Policy CD-15 *Except where site conditions make it infeasible, new commercial development shall be designed to front or have a presence along all street frontages. The intent of this policy is to enhance the pedestrian scale of new development, and minimize*

the presence of parking, circulation, and loading areas as the primary visual features of development.

Policy CD-17 *Where the use of security fencing, window barriers, or similar features are necessary to secure a building site, these measures shall be incorporated into the visual/architectural design of the project and shall be complementary to surrounding uses. The policy is not intended to apply to security features which are not visible from the public rights of way or adjacent properties.*

Goal: CD-11 Design commercial development to enhance the pedestrian environment.

Policy CD-49 *Buildings shall include human-scale details such as windows facing the street, awnings, and architectural features that create a visually interesting pedestrian environment.*

Policy CD-50 *Parking lots shall be landscaped, including shade trees, to create an attractive pedestrian environment and reduce the impact of heat islands.*

Goal: CD-12 Aesthetically pleasing commercial development.

Policy CD-52 *When more than one structure is on a site, they should be linked visually through architectural style, colors and materials, signage, landscaping, design details such as light fixtures, and the use of arcades, trellises, or other open structures.*

Policy CD-53 *Unarticulated, boxy structures shall be broken up by creating horizontal emphasis through the use of trim, varying surfaces, awnings, eaves, or other ornamentation, and by using a combination of complementary colors.*

Policy CD-57 *Where possible, parking lots shall be located behind or on the side of buildings to reduce their visual impact.*

Architecture

As proposed, the premanufactured metal building does not provide conformance with Goal CD-12 (Aesthetically Pleasing Commercial Development), of the General Plan. The unarticulated, boxy structure is comprised of three metal exterior materials designed to provide partial surface variation. Raised windows have been added as a component of the design. Cumulatively, the exterior building design is stark. Varied metal types are present on the building's northern elevation and on approximately a third of the western elevation. The southern and western building elevations propose a metal exterior without any articulation or architectural features. Per Policy CD-53, the proposed building is expected to be "broken up by creating horizontal emphasis through the use of trim, varying surfaces, awnings, eaves, or other ornamentation, and by using a combination of complementary colors". The applicant ultimately opted to rely on a "standard design" of the premanufactured building proposing no structural additions that improve its architectural quality. This standard-design contradicts Policy CD-3 which states the City "will strive to continuously improve the architectural quality of public and private projects. Developers proposing to rely on the use of "standard designs" or corporate architecture" will be required to improve the designs as necessary to meet the City's overall standards for quality". As a rule, metal shed architecture is not supported in commercial zones of the City. Approval of a metal building sets a dangerous precedent that could lead to further requests for metal sided

structures and the erosion of the built environment. As such, staff is not able to make general plan conformance findings commensurate to Policy CD-3 and 53.

Linkage Between Buildings

Noting that the project is proposed as an extension of an existing business use on an adjoining property, the proposal is not “linked visually through architectural style, colors, materials, signage, landscaping, design details such as light fixtures, and the use of arcades, trellises, or other open structures”, per Policy CD-52. The only linkage between the two buildings would be the exterior metal building material, with no other architectural similarities between the two buildings.

The applicant has stated the proposed building’s architectural design is an improvement from the existing Caliber Collision building. Staff’s analysis identified two critical components that refute the idea that the proposed building will be an improvement from the existing building, First, the existing Caliber Collision building was constructed prior to the 2009 General Plan update and approval of the 2009 Design and Development Guidelines. The existing structure and site plan were reviewed under different development guidelines that applied admittedly lower standards. Second, as a condition to the originally approved site plan review, the original entitlement benefactor was required to provide revised plans with improved exterior elevations. Even as proposed in 2000, the building façade was considered insufficient within a commercial zone along a primary commercial arterial street.

Condition No. 2 of SPR 2000-14 stated:

“Submit revised architectural elevations of the proposed structure to the community development department for review and approval prior to the issuance of a building permit. Said elevations shall detail exterior finish materials, colors, height above finish grade, and screening to be provided for any roof mounted mechanical equipment. The color selected for the mansard portion of the building should be continuous. Said plans shall also provide for some type of additional architectural relief for the north and south elevations. This may be accomplished by constructing false plaster columns at the southeast and northwest corners of the building. These should be four feet wide in each direction to match the office portion of the building”.

None of the recommended embellishments were incorporated into the final building design. No false pillars were constructed to provide articulation and connectivity to the stucco components of the front fascia. What revision that ultimately were made resulted in a building with minimal horizontal height variation, only stucco on the front of the structure, window awnings on the front elevation and an unattractive metal mansard roof element on much of the visible elevations. Though the existing Caliber Collision building may include some desired architectural features as stated in the Design and Development Guidelines, it does not have approvable elevations by the current General Plan standards. Staff advises against using the existing Caliber Collision building as a nexus to approve the proposed building. Both the existing and proposed elevations are not consistent with General Plan goals and policies.

Site Design

The site design does attempt to implement Policy CD-2 requirements which states, “all new development shall adhere to the basic principles of high-quality urban design, architecture and

landscape architecture including, but not limited to, human-scale design, pedestrian orientation, interconnect of street layout, siting buildings to hold corners, entry ways, gathering points and landmarks". The building proposal holds the corner with a pedestrian-oriented patio area for customers and employees. The site design, however, does not aspire to the highest-quality urban design omitting architectural features and/or design cues that provide an overall visual interest to the site. Cumulatively, site design is minimal considering the project site is broken up by parking and a metal premanufactured building.

The site design provides a building presence along street frontages while minimizing the presence of parking areas as the primary visual feature. On-site parking is only visible from the West 8th Street entrance onto the site. The parking lot is also designed to allow for proper circulation with the southern adjoining property and the existing Caliber Collision property. This design is consistent with Policy CD-15 which states, "except where site conditions make it infeasible, new commercial development[s] shall be designed to front or have a presence along all street frontages. The intent of this policy is to enhance the pedestrian scale of new development, and minimize the presence of parking, circulation, and loading areas as the primary visual features of development".

The site proposal includes a fence with gates into the parking lot and the outdoor patio area for security purposes as part of the request for on-site overnight vehicle parking. The material type and design of the fencing is required to be consistent with the overall visual/architectural design of the site as indicated in Policy CD-17, which states the "use of security fencing, window barriers, or similar features are necessary to secure a building or site, these measures shall be incorporated into the visual/architectural design of the project and shall be complementary to surrounding uses...". The applicant has not specified the fence material, making it difficult to discern whether the fence will contribute to or diminish the overall site/architectural character. Uses such as auto body repair and auto detailing that require overnight parking usually provide vehicle parking within the interior of the building. The proposed building has considerable interior vehicle storage for approximately ten standard parking stalls. Consequently, staff would recommend overnight parking only occur within the interior of the building, rendering the need for a security gate and fence unnecessary. In either case, staff would not be in support of the fence without confirming the material type prior to its placement.

Parking

The City's parking standards for an auto body repair shop requires one parking stall for every 400 square feet of gross floor area, plus one space for every two employees. This would equate to a parking requirement of twenty-nine parking stalls; twenty-five for the building gross floor area plus four additional parking stalls for the anticipated eight employees. The development is proposed with twenty-two stalls within the outdoor parking field. Noting that the use entails queuing customer vehicles within the building, the structure could have more than ample floor area to accommodate, at a minimum, the seven additional stalls necessary to provide the required twenty-nine on-site parking stalls. Required handicap parking would be provided. Cumulatively, there is adequate parking to serve the proposed auto body repair business expansion. The parking field east of the structure satisfies General Plan policy CD-57, which encourages parking lots to "be located behind or on the side of the buildings to reduce their visual impact."

Landscaping

Landscaping is provided between the sidewalk and the structure and throughout the parking field which reduces the footprint of paved areas and segregates the parking field into smaller components. The overall design of the landscape is in conformance with General Plan Policy CD-58, which requires that “parking lots shall be screened and separated into smaller units with landscaping or low walls”. Tree plantings should also result in better shade coverage to the parking field. A landscape and irrigation plan compliant with the California Model Water Efficient Landscape Ordinance (MWELO) would be required to be submitted for review and approval by the Planning Department.

General Plan Conformance Findings

Site design is mostly conforming with the applicable goals and policies. Staff recommends the security gates and fencing be constructed of a higher quality that is aesthetically pleasing and compatible with the site design. Landscape design would also be paramount to the site’s aesthetic value. Parking areas would be required to be maintained and kept clear of any blight including unpermitted car structures, repair equipment and/or auto body repair parts.

But, the proposed building is a stark metal “box”. The building lacks articulation, varied surface materials and the use of architectural detailing. Although the placement of raised windows in conjunction with the use of a metal trim provides for a break in the mass of the northern elevation, no additional treatments are provided on the other three building elevations. Overall, the architectural design and construction quality of the building proposal provides a low-quality design not supported within any commercial zone. Additional exterior treatments and alternative building materials can be utilized to change the elevations commensurate with Policies CD-52 and 53.

Cumulatively, the project proposal does not demonstrate conformance with the goals and policies of the General Plan.

Other Department and Agency Comments

The project was reviewed by various City Departments and outside agencies. The responses and recommendations have been incorporated into the recommended conditions of approval included in this report.

CONSISTENCY WITH THE VISION MADERA 2025 PLAN

Though approval of auto body repair use is not specifically addressed in the vision or action plans, the overall project does indirectly support Action 115.2, which states, “As a component of the General Plan Update, increase retail outlets and promote Shop Madera...”

RECOMMENDATION

The information presented in this report does not substantiate support for approval of the conditional use permit and site plan review request. It is recommended that the Commission consider the information in this report, as well as testimony in the public hearing, and make a determination on the request for CUP 2019-12 and SPR 2019-19.

PLANNING COMMISSION ACTION

The Commission will be acting on CUP 2019-12 and SPR 2019-19 and determine to either:

- approve the applications with or without conditions
- continue the hearing, or
- deny the applications

Any action by the Commission approving or denying the applications is subject to appeal to the City Council within fifteen (15) calendar days of the Planning Commission's action.

Motion 1: Move to approve CUP 2019-12 and SPR 2019-19, based on and subject to the following findings and conditions of approval:

Findings

- This project has been determined to be categorically exempt under the California Environmental Quality Act (CEQA) guidelines, Section 15332 (In-Fill Development Project).
- The extension of an existing auto body repair use with auxiliary auto painting services is consistent with the purpose and intent of the C (Commercial) General Plan land use designation and the C1 (Light Commercial) Zone District which provides for the uses, subject to the issuance of conditional use permits.
- As conditioned, the establishment, maintenance or operation of the auto body repair use with an auxiliary auto painting service will not under the circumstances of this particular case, be detrimental to the health, safety, peace, morals, comfort and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or general welfare of the City.
- The project is not in conformance with the principles, goals and policies and the Madera General Plan.

CONDITIONS OF APPROVAL

General Conditions

1. Project approval is conditioned upon acceptance of the conditions of approval contained herein, as evidenced by receipt in the Planning Department of the applicant's signature upon an Acknowledgement and Acceptance of Conditions within 30 days of the date of approval.

2. The applicant's failure to utilize CUP 2019-12 within one year following the date of this approval shall render the use permit null and void unless a written request for extension has been submitted to and approved by the Commission.
3. CUP 2019-12 may be made null and void without any additional public notice or hearing at any time upon both the benefactors of the use permit and owners of the property voluntarily submitting to the City a written request to permanently extinguish CUP 2019-12.
4. SPR 2019-19 will expire one year from date of issuance, unless positive action is taken on the project as provided in the Madera Municipal Code (MMC) or required action is taken to extend the approval prior to the expiration date (MMC Section 10-3.4.0114, Lapse of Site Plan Approval).
5. CUP 2019-12 and SPR 2019-19 shall be subject to periodic reviews and inspection by the City to determine compliance with the conditions of approval and applicable codes. If, at any time, the use is determined by staff to be in violation of the conditions of approval, staff may schedule an item before the Commission so that it may determine whether to consider setting a hearing regarding revocation of the permit.
6. The project shall be developed in accordance with the site plan, floor plan and elevation drawings, as reviewed and approved with SPR 2019-19. Minor modifications to the site plan necessary to meet regulatory or engineering constraints may be made with approved from the Planning Manager.
7. All conditions of approval shall be the sole financial responsibility of the applicant/owner, except where specified in the conditions of approval listed herein or mandated by statutes.
8. It shall be the responsibility of the property owner to ensure that any required permits, inspections and approvals from any regulatory agency shall be obtained from the concerned agency prior to any building permit final issuance.

Building Department

9. A building permit is required for all improvements. All construction on the site shall meet California Building Code (CBC), California Fire Code (CFC) and Americans with Disabilities Act (ADA) requirements prior to occupancy.
10. Current State and Federal handicap requirements shall apply to the entire site and all structures and parking thereon. Compliance shall be checked at the permit stage and confirmed at final inspection.

Engineering Department

General

11. Nuisance onsite lighting shall be redirected, as requested by the City Engineer, within 48 hours of notification.
12. Impact fees shall be paid at the time of a building permit issuance.
13. The developer shall reimburse City for improvements previously installed, as calculated by the City Engineer whose determination shall be final. Reimbursements for previously installed improvements shall be paid prior to issuance of Business License.
14. The developer shall pay all required fees for completion of project. Fees due may include but shall not be limited to the following: plan review, encroachment permit processing and improvement inspection fees.
15. Improvements plans signed and sealed by an engineer shall be submitted to the Engineering Division in accordance with the submittal process.
16. In the event archeological resources are unearthed or discovered during any construction activities on site, construction activities shall cease, and the Community Development Director or City Engineer shall be notified so that procedures required by state law can be implemented.
17. Improvements within the City right-of-way require Encroachment Permit from the Engineering Division.

Sewer

18. Sewer service connections shall be constructed to current City standards.
19. Sewer main connection 6" and larger in diameter shall require manhole installation.
20. Existing sewer service connections that will not be used for the project shall be abandoned at the mains per current City of Madera standards.
21. Existing septic tanks, if found, shall be removed, permitted, and inspected by the City of Madera Building Department.

Storm Drain

22. Supporting calculations shall be provided that prove the existing storm drain facilities are capable of intercepting runoff in accordance with the provisions of the Storm Drainage System Master Plan without constructing portions of the Master Plan storm drain improvements. In lieu of constructing Master Plan improvements, the developer may construct on-site low impact development measures that limit post development storm runoff to no more than that generated in a pre-development condition.

23. Storm runoff from this project will surface drain into existing facilities and eventually into the Madera Irrigation District (MID) canal. Water runoff from the site must be cleaned before entering the existing storm water system to the satisfaction of MID through the use of an on-site oil/water separator or drop inlet inserts at the drop inlets that receive runoff from the site.
24. Storm runoff from this project site is planned to go to the Las Palmas Basin located south of this project. Runoff volume calculations shall be provided, and the developer shall excavate the basin to an amount equivalent to this project's impact on the basin.
25. This project shall comply with the design criteria as listed on the National Pollutant Elimination Systems (NPDES) General Permit for Storm Water Discharges from Small Municipal Separate Storm Sewer System (MS4's) as mandated by Water Quality Order No. 2013-0001-DWQ, NPDES General Permit No. CAS000004. For the purpose of this proposed development, post development runoff shall match or be less than pre-development runoff.

Streets

26. A Public Utility Easement (PUE) ten-foot wide shall be dedicated along the 8th Street and South G Street frontages.
27. The developer shall construct concrete sidewalks, curb and gutter within the street right-of-way and Public Utility Easement along the entire parcel frontage of South G Street per City standards, in a similar manner as that constructed to the south on South G Street. An unimpeded ADA path of travel shall be maintained at all times.
28. The developer shall repair and/or reconstruct damaged concrete sidewalks, curb and gutter along the parcels South G Street and West 8th Street, street frontages per City standards.
29. The proposed driveway approaches on South G Street and West 8th Street shall be constructed per current City and ADA standards.
30. Driveway throat lengths shall be sufficient in length as to eliminate the possibility of vehicles queuing into the City right-of-way.
31. The developer shall modify and re-construct the ADA ramp at the southeast corner of the intersection of South G Street and West 8th Street per City and ADA standards.
32. All public utilities upon or fronting the project parcel shall be undergrounded, except transformers, which may be mounted on pads.
33. The developer shall install street lights along West 8th Street and South G Street frontages in accordance with current City standards. Street lights shall be LED using Beta Lighting standards or equal in accordance with City of Madera standards.

34. The developer shall annex into and execute such required documents that may be required to participate in Landscape Maintenance District Zone 51 for the purpose of participating in the cost of maintaining landscape improvements with said zone.

Water

35. Water service connection(s) shall be constructed to current City standards including Automatic Meter Reading (AMR) water meter installed within City right-of-way and backflow prevention device installed within private property.
36. Existing water service connections that will not be used for the project shall be abandoned at the mains per City of Madera standards.
37. A separate water meter and backflow prevention device will be required for landscape areas.
38. Existing wells, if any, shall be abandoned as directed and permitted by the City of Madera for compliance with State standards.

Fire Department

39. Fire sprinklers and an underground fire main system shall be required.
40. A supervisory fire alarm shall be required.
41. Required fire hydrants shall be required to provide fire flow in accordance with Appendices 3B and 3C of the California Fire Code (CFC). Plans do not show existing fire hydrants, therefore, the project shall be required to provide new street hydrants or on-site fire hydrants, if determined necessary by the Fire Marshal.
42. The building address shall be posted in accordance with the California Building Code (CBC), CFC and City standards.
43. Fire permits shall be required for the installation of all fire protection systems including, underground fire mains, fire sprinklers, and fire alarm systems.
44. 2A10BC-rated fire extinguishers shall be required. One for every 3,000 square feet or fraction thereof. A minimum of four shall be required for the submitted site plan.
45. Hazardous materials shall comply with CBC, Chapter 4 and the applicable section of the CFC.
46. Gates shall provide emergency personal access either through override switches or a Knox pad lock. A key Knox box shall be required for the building.

Planning Department

General

47. Vandalism and graffiti shall be corrected per the MMC.
48. The applicant shall operate in a manner that does not generate noise, odor, blight or vibration that adversely affects any adjacent properties.
49. The property owner, operator and/or manager shall keep the property clear of all trash, rubbish and debris at all times; and the dumping of refuse shall be restricted to the dumpster and refuse containers owned by the property owner.

Use Permit Allowance

50. CUP 2019-12 allows for insurance-based collision repairs and auto body repair services in conjunction with the existing building's services to include the following:
 - Repair & Replacement of Damaged Vehicle Parts
 - Minor Mechanical/Electrical Repairs
 - Welding of Replacement Vehicle Parts
 - Straightening & Body Work
 - Steering & Suspension
 - Auto Detailing
 - Glass Repair
 - Diagnostic Scanning
 - Paint & Dent Repair: body fillers, primers
 - Other minor incidental repairs necessary to complete any of the above services, not to be offered as a continuous/regular business service.
51. All auto body repair services not specifically approved by the above condition shall be prohibited, including but not limited to the following:
 - Major Mechanical/Electrical Repairs
 - Heavy Engine & Transmission Services
 - Car Emission (Smog) Testing
 - General Repair & Maintenance: oil, lube & filters, tune-ups
 - Undercar Services Maintenance: brakes, anti-locks brakes
 - Window Tinting
52. All aspects of the permitted services shall be conducted within the interior of the business. There shall be no allowance for any outdoor repairs or servicing of vehicles.
53. The overnight parking of vehicles shall only occur within the interior of the building.
54. Outdoor storage of goods and materials, including but not limited to auto parts and equipment, shall not be allowed on the site as a component of the expansion. Any present outdoor storage components occurring as part of the existing business operations shall be limited to the existing Caliber Collision site.

55. The hours of operation for the auto body repair use and auxiliary services shall occur from as early as 8:00 a.m. until as late as 8:00 p.m., seven days per week.

Building Colors, Materials and Lighting Considerations

56. The construction of the structure approved as part of SPR 2019-19 shall be consistent with the approved colors and materials board as reviewed and approved by the Commission. Any alterations may require approval by the Commission.
57. Address sign designs shall be approved by the Planning Department prior to issuance of building permits.
58. All exterior lighting shall be directed away from residential properties and not interfere with the driving safety of vehicular traffic.
59. The specifications and types of exterior lighting fixtures to be installed on the site shall be submitted to and approved by the Planning Department as a component of building permit issuance. All exterior lighting shall be directed away from adjoining properties and not interfere with the driving safety of vehicular traffic. Exposed bulbs shall not be permitted.

HVAC and PG&E Utilities Placement Consideration/Screening Requirements

60. Prior to the issuance of building permits, the applicant shall identify the following information on the site plan for Planning Department review and approval:
 - The location of all natural gas and electrical utility meter locations.
 - The location of all HVAC (heating, ventilation or air conditioning) equipment.
 - The location of all compressor equipment, and mechanical and electrical equipment.
61. All electrical and HVAC equipment shall be screened to the specifications of the Planning Department.
62. Electrical/ mechanical equipment shall be located in the interior of the proposed new structure(s) within an electrical/mechanical service room/area.
63. When HVAC equipment is roof-mounted, all equipment placement shall be completely screened from public view and architecturally integrated into the roof using wells or continuous building perimeter fascia screening.
61. Natural gas meter placement shall be screened from public view per Planning Department approval.
63. Roof access ladders (if proposed) shall be located within the interior of the structures.
64. All ducts and vents penetrating roofs shall be directed away from the front of public entrance side(s) of the structures using methods to minimize their appearance and visibility from the street. Placements are preferred at rear sides of roof ridges. All roof-

mounted ducts and vents shall be painted matte black or with a color better suited to minimize their appearance.

65. Transformers and similar pad-mounted utilities shall be screened per the approval of the Planning Department.

Fences and Walls

66. The developer shall construct a double-bin trash enclosure consistent with the Engineering specification/detail sheet No. E-7. The location of the trash enclosure shall be consistent with the approved site plan. The trash enclosure shall be of split-face block or better material.
67. The development of the fence and gates shall be consistent with the approved site plan. The material shall be of decorative wrought iron material or better, to be reviewed and approved by the Planning Department.

Landscaping

68. A detailed landscaping and irrigation plan shall be prepared by a licensed landscape architect, stamped and submitted as part of the submittals for a building permit plan check. Landscape and irrigation plans shall be approved by the Planning Department prior to issuance of building permits. The plan shall include:
 - Demonstration of compliance with the State of California's Model Water Efficient Landscape Ordinance (MWELO).
 - Landscaped areas shall be developed along all street frontages and within the parking field.
 - Shade trees shall be planted in landscaped peninsulas within the parking field.
 - Landscaped areas shall be provided with permanent automatic irrigation systems.
 - Landscaped areas shall be protected by raised six (6") inch concrete curbing.
 - A detailed planting list for landscaping, with the number, size, spacing (where applicable) and specie of all plantings shall be included as part of the approved landscaping plan prepared by a licensed landscape architect.
69. The property owner and/or operator shall maintain all landscaping in a healthy and well-manicured appearance. This includes, but shall not be limited to, the following: ensuring irrigation equipment is always properly operating, the trimming and pruning of trees and shrubs and replacing dead or unhealthy vegetation with drought-tolerant plantings.

Parking

70. The parking requirements of the use shall be provided at the following ratio(s): one (1) stall per each 400 square feet of gross floor space, plus one (1) stall per each two (2) employees. The building encompasses approximately 10,000 square feet of gross square footage requires a minimum of 25 parking stalls. The total number of on-site parking required shall be no less than 29. No less than seven of the required parking stalls shall be located within the structure with the approval of the Planning Manager.

71. On-site parking shall always be provided in conformance with the MMC. Further expansion of the use or any other additional or accessory uses that would require additional parking spaces are not allowed for the restaurant unless future land is acquired to provide for additional parking spaces. All required parking shall be permanently maintained with all parking spaces to be shown on plans submitted for building permits. Any modifications in the approved parking layout shall require amendment to SPR 2019-19.

Signage

72. All signage shall comply with the Sign Ordinance of the MMC Chapter 10-6 and shall have an approved sign permit issued by the Planning Department.

(OR)

Motion 2: Move to continue the public hearing on CUP 2019-12 and SPR 2019-19 to the October 8, 2019 Commission hearing, for the following reasons: (specify)

(OR)

Motion 3: Move to deny the application for CUP 2019-12 and SPR 2019-19, based on the following findings:

- Construction of the commercial structure does not provide for implementation of the applicable goals and policies within the Community Design Element of the General Plan.
- The project is not in conformance with the principles, goals and policies and the Madera General Plan.
- The proposed structure does not implement the City’s requirements to develop the highest quality commercial development possible consistent with the building design and materials guidelines within the Design and Development Guidelines.

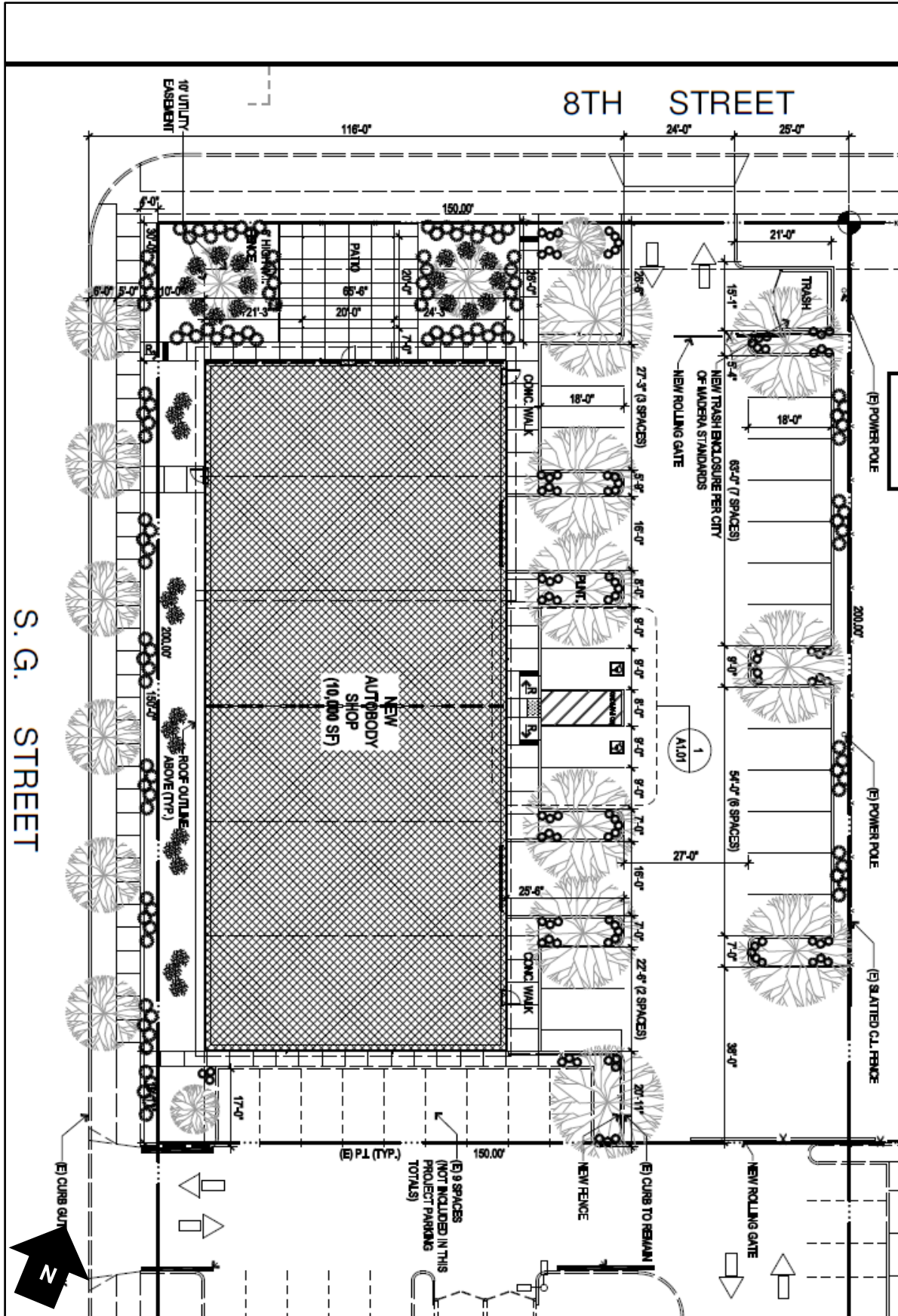
ATTACHMENTS

- Attachment 1: Aerial Map
- Attachment 2: Site Plan
- Attachment 3: Floor Plan / Elevations
- Attachment 4: Color Renderings
- Attachment 5: Colors & Materials Board

Attachment 1: Aerial Map



Attachment 2: Site Plan

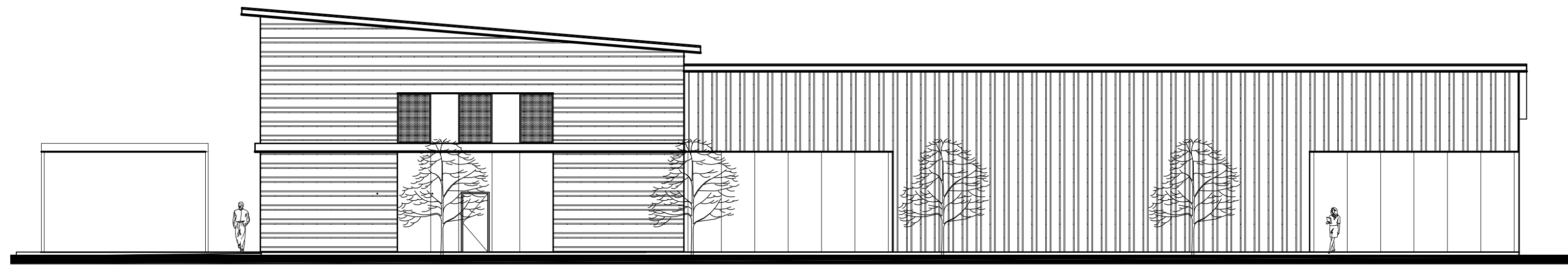


Attachment 3: Floor Plan / Elevations

PROPOSED PREMANUFACTURED METAL BUILDING

FOR:

MARK KNOX



PROJECT ADDRESS:

8TH ST. & S. 'G' ST.
MADERA, CA 93637

SOILS REPORT DATA

PROJECT INFORMATION

PROJECT INFORMATION:		BUILDING & OFFICE TENANT IMPROVEMENT	
STREET ADDRESS	8TH ST. & S. 'G' ST.	EXISTING SITE USE	VACANT
CITY	MADERA	SOURCE OF WATER	CITY OF MADERA
COUNTY OF	MADERA	SOURCE OF SEWAGE	CITY OF MADERA
STATE OF	CALIFORNIA	SOURCE OF ELEC.	P.G.&E.
APN	331-140-45S	SOURCE OF GAS	P.G.&E.
APPROX. LAND AREA	98,470.4 SQ. FT. / 3.41 ACRES	SOURCE OF T.V.	?
AFFECTED SITE AREA	1.7 ACRES. (49.8%)	SOURCE OF PHONE	?
CONSTRUCTION	PER CBC/CRC, V-B SPRINKLED	PARKING:	
OCCUPANCY	B/S1	STANDARD STALLS (9'X18')	20
USE	AUTOBODY GARAGE	INTERIOR STALLS	11
SCOPE OF WORK	PROPOSED NEW MTL	ACCESSIBLE STALLS	2
		TOTAL	33 STALLS PROVIDED

GOVERNING CODES

ALL WORK AND MATERIALS SHALL BE REGULATED BY THE FOLLOWING CODES AS ADOPTED BY THE COUNTY OF MADERA. NOTHING IN THESE PLANS TO BE CONSTRUED TO WORK NOT CONFORMING TO THESE CODES:

- 2016 CALIFORNIA BUILDING CODE
- CAL GREEN
- 2016 CALIFORNIA PLUMBING CODE
- 2016 CALIFORNIA MECHANICAL CODE
- 2016 CALIFORNIA ELECTRICAL CODE
- 2016 CALIFORNIA FIRE CODE
- 2016 CA ENERGY CODE
- 2016 AMERICAN WITH DISABILITIES ACT
- COUNTY OF MADERA ORDINANCES.

SPECIAL INSPECTIONS

SPECIAL INSPECTIONS (IF REQUIRED) SHALL CONFORM TO PERTINANT SECTIONS OF THE 2010 CBC AND ARE REQUIRED DURING THE FOLLOWING:

FIELD WELDING OF LIGHT GAUGE STEEL SHALL BE CONTINUOUSLY INSPECTED BY AN APPROVED INSPECTOR.

"HIGH STRENGTH BOLTING, SHOP AND FIELD WELDING."

"THESE ELEMENTS OF CONSTRUCTION MUST BE INSPECTED BY APPROVED INDEPENDENT INSPECTORS WHO SHALL BE RETAINED BY THE OWNER. INSPECTORS SHALL SUBMIT THEIR REPORTS DIRECTLY TO THE MADERA COUNTY DEVELOPMENT SERVICES DIVISION. THESE INSPECTIONS ARE IN ADDITION TO THE REQUIRED MADERA COUNTY INSPECTIONS.

PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE A SCHEDULE OF REQUIRED INSPECTIONS AND SHALL SUBMIT THIS SCHEDULE TO THE ARCHITECT AND ENGINEER FOR APPROVAL.

FIELD INSPECTIONS BY:

GENERAL NOTES

COUNTY OF MADERA, UTILIZE ONLY RELEVANT NOTES AS THEY PERTAIN TO THE PROJECT CONTAINED IN THIS SET OF DOCUMENTS.

- CHANGES FROM THE APPROVED PLANS DURING THE COURSE OF CONSTRUCTION SHALL CAUSE THE PLANS TO BE SUSPENDED UNTIL SUCH TIME AS THE PLANS CAN BE AMENDED BY THE DESIGNER AND SUBMITTED TO THE COUNTY FOR REVIEW AND APPROVAL." (CBC APPENDIX 106.1)
- SPECIAL INSPECTION IS REQUIRED BY THE GEOTECHNICAL ENGINEER FOR COMPLIANCE WITH THE GEOTECHNICAL REPORT. THE INSPECTION REPORT SHALL BE SUBMITTED TO AND APPROVED BY THE COUNTY OF MADERA BUILDING DEPARTMENT PRIOR TO THE FOUNDATION INSPECTION
- INSTALL STREET ADDRESS NUMERALS, AT LEAST FOUR INCHES HIGH WITH MINIMUM 1/2-INCH STROKE, MOUNTED ON A CONTRASTING BACKGROUND CLEARLY VISIBLE FROM THE STREET." (CBC 501.2)
- A GAS AND/OR ELECTRICAL UTILITY CLEARANCE WILL BE ISSUED BY THE BUILDING OFFICIAL PRIOR TO FINAL APPROVAL OF THE STRUCTURE AS REQUIRED BY SECTION 15.08.020.F.3 OF THIS ORDINANCE. AS A CONDITION OF THE RELEASE, THE BUILDING OFFICIAL SHALL REQUIRE THE OWNER/PERMITTEE TO ENTER INTO

AN AGREEMENT NOT TO OCCUPY THE STRUCTURE PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THE STRUCTURE. THE AGREEMENT SHALL BE SECURED BY A CASH DEPOSIT FOR ALL PROJECTS EXCEPT SINGLE-FAMILY DWELLINGS. THE AMOUNT OF THE DEPOSIT SHALL BE BASED ON THE VALUATION OF THE PROJECT AS DETERMINED BY THE FEE SCHEDULE IN PLACE AT THE TIME OF PERMIT ISSUANCE. FOR PROJECTS WITH A CONSTRUCTION VALUATION LESS THAN ONE HUNDRED THOUSAND DOLLARS (\$100,000) THE DEPOSIT SHALL BE FIVE HUNDRED DOLLARS (\$500). FOR PROJECTS WITH A VALUATION BETWEEN ONE HUNDRED THOUSAND (\$100,000) AND ONE HUNDRED FIFTY THOUSAND DOLLARS (\$150,000) THE DEPOSIT SHALL BE ONE THOUSAND DOLLARS (\$1,000). FOR PROJECTS WITH A VALUATION BETWEEN ONE HUNDRED FIFTY THOUSAND (\$150,000) AND TWO HUNDRED FIFTY THOUSAND DOLLARS (\$250,000) THE DEPOSIT SHALL BE FIVE THOUSAND DOLLARS (\$5,000). FOR PROJECTS WITH A VALUATION EXCEEDING TWO HUNDRED FIFTY THOUSAND DOLLARS (\$250,000) THE DEPOSIT SHALL BE TEN THOUSAND DOLLARS (\$10,000)

ALLOWABLE AREA/OCCUPANCY & EXITING PLAN

AREAS/OCCUPANCY LOADS (BLDG. TOTALS)

KEY	USE	AREA	OCC	TYPE	=	OCC
A	GARAGE/SHOP AREA	9,878 SF	S1	@ 1/300	=	32
B	RESTROOM AREA	147 SF	B	@ 1/100	=	2
TOTAL OCC LOAD						= 34

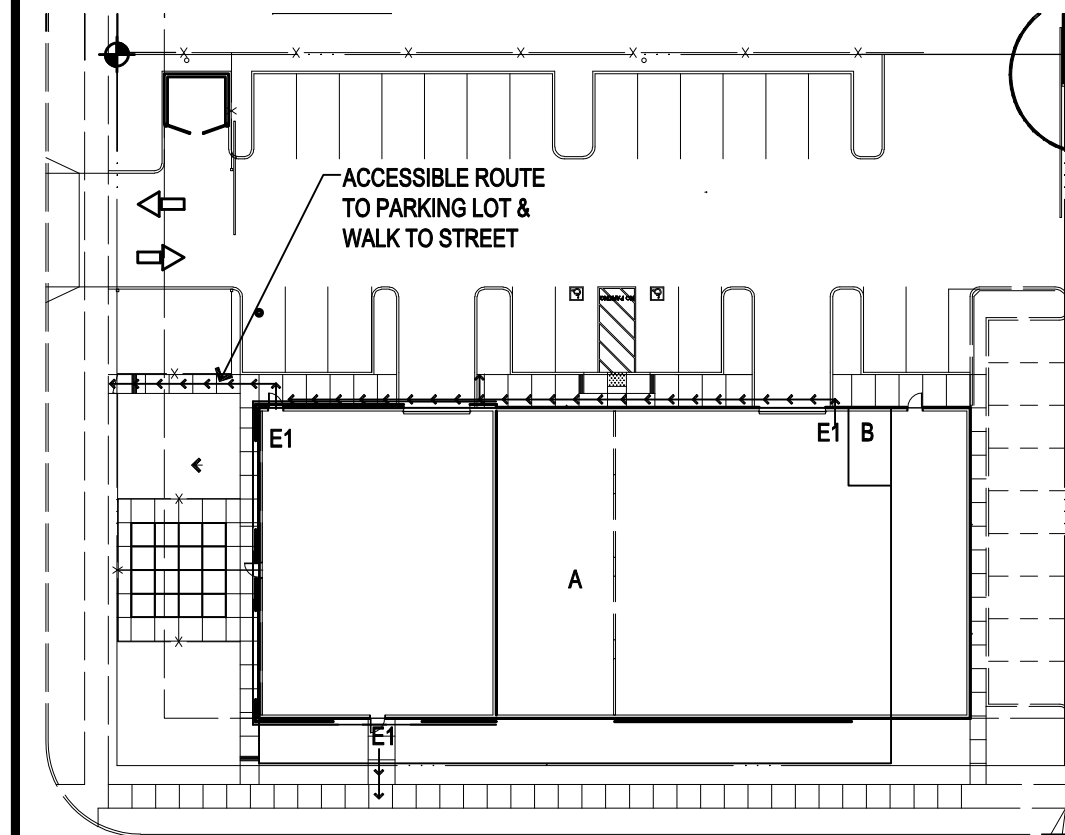
EXISTING DATA FOR (E) BUILDING W/ NEW T.I.

E1	CLEAR EXIT WIDTH	=	36" X (3)
35 OCC X 2 = 7" EXIT WIDTH REQ. 108" PROVIDED			

EXISTING 1 STORY STRUCTURE

DESCRIPTION	TYPE OF CONST	FLOOR AREA SQ. FT.	OCCUPANCY GROUP	ALLOWANCE AREA SQ. FT.
NEW STRUCTURE	V-B	9,825	B, S1	7,000 1 STORY

TOTAL BUILDING AREA: 9,825



AREA INCREASE DUE TO: FIRE SPRINKLER SYSTEM
AREA INCREASE:
ALLOWABLE AREA PER 2016 CBC TABLE 503
INCREASE PER SECTION 506.3 (10,000 SF + 300%) = 28,475 SF
AREA OF NEW BUILDING = 9,825 SF THEREFORE, OK
RESTROOM AREA = 147 S.F.

CODE ANALYSIS SUMMARY

BUILDING CODE: 2010 CALIFORNIA BUILDING CODE (GARAGE/SHOP STRUCTURE)
A. BUILDING TYPE:
OCCUPANCY: B/S1
CONSTRUCTION TYPE: V-B
A OCCUPANCY: 9,878 SQ. FT. (PROPOSED GARAGE/SHOP, PARTS)
B OCCUPANCY: 147 SQ. FT. (PROPOSED OFFICE, RR, WAITING)
TOTAL OCCUPIED AREA: 9,825 SQ. FT.
TOTAL BUILDING AREA: 9,825 SQ. FT.
TOTAL UNDER ROOF: 9,825 SQ. FT.

B. MEANS OF EGRESS:
OCCUPANT LOAD PER TABLE 1004.1.1:
BUILDING 1
GARAGE/SHOP: 300 GROSS 9,878 / 300 = 32.26 OCCUPANTS
2X UNI-SEX R.R.: 100 GROSS 147 / 100 = 1.47 OCCUPANTS
TOTAL BUILDING OCCUPANCY: = 33.73 OCCUPANTS

EGRESS WIDTH PER OCCUPANT PER TABLE 1005.1 (WITH SPRINKLER SYSTEM)
"E1," AT 3 DOORS: 0.2 INCHES PER PERSON X 35 OCCUPANTS = 7 INCHES REQUIRED / 108 INCHES PROVIDED

MINIMUM NUMBER OF EXITS PER SECTION 1020:
EXITS REQUIRED (PER TABLE 1021.1) = 2 / 3 PROVIDED

LENGTH OF EXIT ACCESS TRAVEL (WITH SPRINKLER SYSTEM) PER TABLE:
BLDG. 1: 250 FEET MAXIMUM / 77'-0" PROVIDED

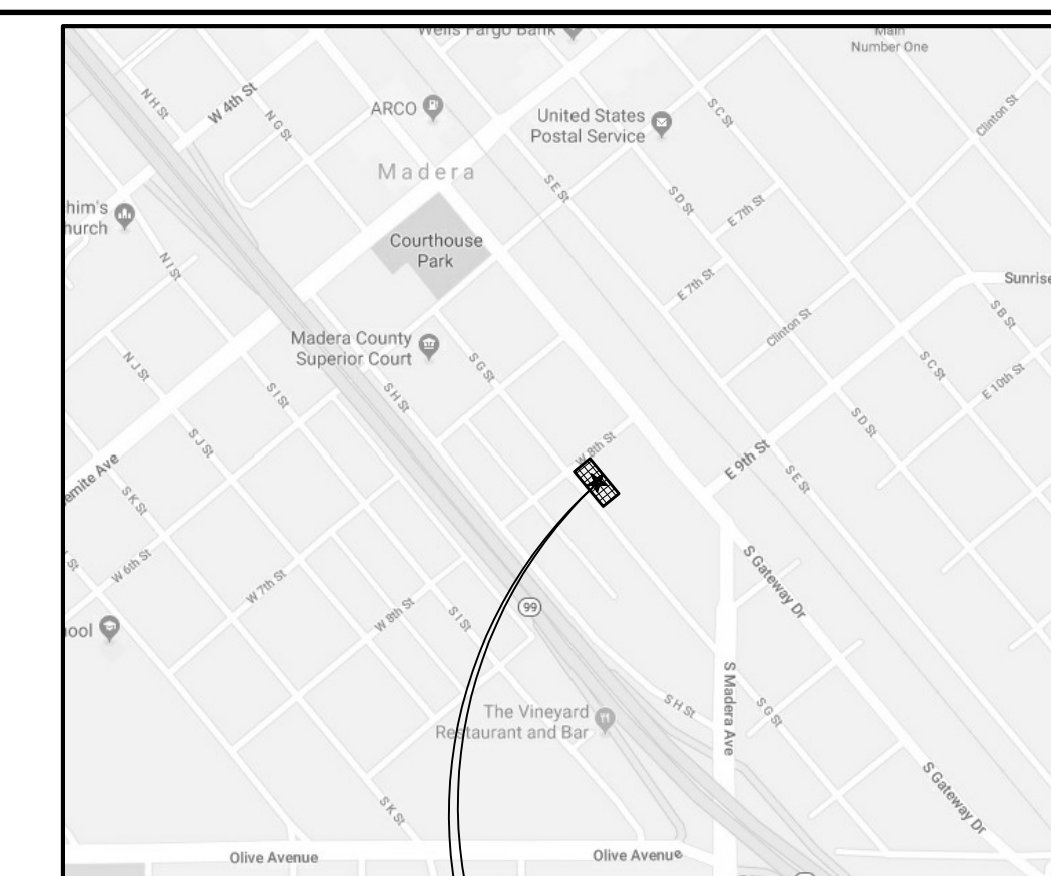
C. FIRE PROTECTION SYSTEM:
AUTOMATIC FIRE SPRINKLER SYSTEM

SHEET INDEX

GENERAL
T0.01 COVER SHEET, SHEET INDEX & VICINITY MAP
A0.01 SYMBOLS AND ABBREVIATIONS

ARCHITECTURAL
A1.01 SITE PLAN & DETAILS
A2.01 FIRST FLOOR PLAN
A3.01 EXTERIOR ELEVATIONS

VICINITY MAP



COUNTY OF MADERA PROJECT LOCATION
8TH ST. & S. 'G' ST.
MADERA, CA 93637

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF MADERA, STATE OF CALIFORNIA, AND DESCRIBED AS FOLLOWS:

THE EAST 10/13THS OF THE WEST 1/3 OF THE EAST 5/8THS OF LOT 98 OF MALAGA TRACT, IN THE COUNTY OF MADERA, STATE OF CALIFORNIA, ACCORDING TO THE MAP THEREOF RECORDED JUNE 5, 1984, IN BOOK 2 PAGE 17 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

COVER SHEET, BUILDING DATA & SHEET INDEX

FBFCO
DESIGN & CADD CONSULTANTS
9732 N. Price Ave.
MADERA, CA
93720 (559)
559-8388

CONSULTANT

CIVIL ENGINEER

PROJECT
PROPOSED
PREMANUFACTURED METAL BUILDING
FOR:
MARK KNOX
561 E. CHESAPEAKE CIRCLE
FRESNO, CA 93730

TITLE
COVER SHEET,
BUILDING DATA &
SHEET INDEX

SCALE

DATE	7/10/2019	REVISIONS	
PROJECT NO.	2018-11		
DRAWN BY			
CHECKED BY			

CAD FILE NO. MK-CVR-S.DWG
DRAWING NO. T0.01

ABBREVIATIONS

AB.	ANCHOR BOLT	LAM.	LAMINATE
A.F.F.	ABOVE FINISHED FLOOR	LAV.	LAVATORY
ADJ.	ADJUSTABLE	LDGR.	LEDGER
ALT.	ALTERNATE	LLH.	LONG LEG HORIZONTAL
ALUM.	ALUMINUM	LLV.	LONG LEG VERTICAL
APPROX.	APPROXIMATE	LOC.	LOCATION
ARCHL.	ARCHITECTURAL	LTWT.	LIGHT WEIGHT
BD.	BOARD	MATL.	MATERIAL
BLDG.	BUILDING	MAX.	MAXIMUM
BLK.	BLOCK	MB.	MACHINE BOLT
BLKG.	BLOCKING	MECH.	MECHANICAL
BM.	BEAM	MEMB.	MEMBRANE
BN.	BOUNDARY NAIL	MTL.	METAL
BOT.	BOTTOM	MFR.	MANUFACTURER (STRUCT)
BP.	BASE PLATE	MFR.	MANUFACTURER (ARCHL)
BRG.	BEARING	MIN.	MINIMUM
BTWN.	BETWEEN	MISC.	MISCELLANEOUS
		MTD.	MOUNTED
		MUL.	MULLION
CAB.	CABINET	N.I.C.	NOT IN CONTRACT
CER.	CERAMIC	NO.	NUMBER
CIP.	CAST-IN-PLACE	NS.	NEAR SIDE
CJ.	CONSTRUCTION JOINT	N.T.S.	NOT TO SCALE
CL.	CENTER LINE		
CLG.	CEILING		
CLR.	CLEAR		
CMU.	CONCRETE MASONRY UNIT	OBS.	OBSCURE
COL.	COLUMN	O.C.	ON CENTER
CONC.	CONCRETE	O.D.	OUTSIDE DIAMETER
CONN.	CONNECTION	OF.	OUTSIDE FACE
CONST.	CONSTRUCTION	OH.	OPPOSITE HAND
CONT.	CONTINUOUS	OPNG.	OPENING
CSK.	COUNTERSINK	OPP.	OPPOSITE
CTR.	CENTER	ORIG.	ORIGINAL
d.	PENNY (NAILS)		
DBL.	DOUBLE	PC.	PRECAST
DET.	DETAIL	PL.	PLATE
D.F.	DOUGLAS FIR/ LARCH	PLCE.	PLACES
DIA.	DIAMETER	PLY.	PLYWOOD (ARCHL)
DIAG.	DIAGONAL	PLYWD.	PLYWOOD (STRUCT)
DIAPH.	DIAPHRAGM	PP.	PARTIAL PENETRATION
DIM.	DIMENSION	PR.	PAIR
DO.	DITTO (REPEAT)	P.T.	PRESSURE TREATED
DP.	DEEP		
DWG.	DRAWING	R	RADIUS (STRUCT)
DS.	DOWNSPOUT	RAD.	RADIUS (ARCHL)
DWG.	DRAWING	REF.	REFERENCE
DWL.	DOWEL	REINF.	REINFORCING
		REQD.	REQUIRED
E.	EXISTING	RF.	ROOF
EA.	EACH	RFT.	RAFTERS
E.B.S.	EXTERIOR BULK STORAGE	RM.	ROOM
EF.	EACH FACE	R.O.	ROUGH OPENING
EL.	ELEVATION (STRUCT)	RW.	RETAINING WALL
ELEV.	ELEVATION (ARCHL)		
ELEC.	ELECTRICAL	S.C.	SOLID CORE (ARCHL)
EMBED.	EMBEDMENT	SC.	SHEAR CONNECTOR (STRUCT)
EN.	ENGAGE	SCHED.	SCHEDULE
EQ.	ENGAGE NAIL	SHT.	SHEET
ES.	EACH SIDE	SECT.	SECTION
EW.	EACH WAY	SEP.	SEPARATION
EXH.	EXHAUST	SIM.	SIMILAR
EXP.	EXPANSION	SPEC.	SPECIFICATION
EXT.	EXTERIOR	SQ.	SQUARE
		S.S.	STAINLESS STEEL
		STGR.	STAGGER
		STIFF.	STIFFENERS
		STL.	STEEL
		STOR.	STORAGE
		STRUCT.	STRUCTURAL
		SUSP.	SUSPENDED
		SYM.	SYMMETRICAL
F.A.U.	FORCED AIR UNIT	T.	TOP
FDN.	FOUNDATION	T&B.	TOP & BOTTOM
FF.	FINISHED FLOOR	T&G.	TONGUE AND GROOVE
FIN.	FINISH	T.C.	TOP OF CURB
FJ.	FLOOR JOIST	TEL.	TELEPHONE
FLG.	FLANGE	TG.	TAPERED GIRDER
FLR.	FLOOR	THK.	THICK, THICKNESS
FLASHG.	FLASHING	THRD.	THREADED
FLUOR.	FLUORESCENT	TN.	TENAIL
FN.	FIELD NAIL	TO.	TOP OF
FO.	FACE OF	T.O.C.	TOP OF CURB
F.O.B.	FACE OF CONC. BLOCK (ARCHL)	T.O.L.	TOP OF LEDGER
FOC.	FACE OF CONCRETE	T.O.B.	TOP OF CONC. BLOCK
FOM.	FACE OF MASONRY (SRUCT)	T.O.P.	TOP OF PARAPET
F.O.S.	FACE OF STUD	T.O.PL.	TOP OF PLATE
FRMG.	FRAMING	T.O.S.	TOP OF SLAB
FS.	FAR SIDE	TOT.	TOTAL
FT.	FOOT/FEET	T.O.W.	TOP OF WALL
FTG.	FOOTING	T.O.G.	TOP OF GRADE
		TS.	TUBE, STRUCTURAL
		TYP.	TYPICAL
GA.	GAUGE	UBC.	UNIFORM BUILDING CODE
GALV.	GALVANIZED	UON.	UNLESS OTHERWISE NOTED
GL.	GLASS		
GR.	GRADE	VERT., V.	VERTICAL
GLB.	GLUED LAMINATED BEAM	VEST.	VESTIBULE
G.W.B.	GYPSON WALL BOARD	V.B.	VAPOR BARRIER
GYP.	GYPSON (ARCHL)	VSH.	VERTICAL SLOTTED HOLES
GYP. BD.	GYPSON BOARD (STRUCT)		
		W/	WITH
H.B.	HOSE BIBB	W/O	WITHOUT
H.C.	HOLLOW CORE	W.C.	WATER CLOSET
HD.	HOLD DOWN	WD.	WOOD
HDR.	HEADER	W.H.	WATER HEATER
HDWR.	HARDWARE	WP.	WATERPROOF
HGR.	HANGER	WPJ.	WEAKENED PLANE JOINT
HT.	HEIGHT	WSCT.	WAINSCOT
H.M.	HOLLOW METAL	WT.	WEIGHT
HORIZ., H.	HORIZONTAL	WWF.	WELDED WIRE FABRIC
HSB.	HIGH STRENGTH BOLT		
HSH.	HORIZONTALLY SLOTTED HOLES		
HT.	HEIGHT		
I.B.S.	INTERIOR BULK STORAGE		
IF.	INSIDE FACE		
INSUL.	INSULATION		
INT.	INTERIOR		
JT., J.	JOINT		
JST.	JOIST		

SYMBOLS

SYMBOLS	
	ANGLE
	AT
	DIAMETER OR ROUND
	PERPENDICULAR
	AND
	AT
	CENTER LINE
	POUND OR NUMBER
	SQUARE FOOT (FEET)
	-
	COLUMN LINE ORIENT QUADRANT OF CIRCLES TO COLUMN LINE.
	LETTERS IN ONE DIRECTION NUMBERS IN THE OTHER DIRECTION
	DOOR SYMBOL DOOR TYPE MARK
	WINDOW SYMBOL WINDOW TYPE MARK
	KEY NOTE SYMBOL KEYNOTE MARK, SEE LEGEND ON SHEET KEY NOTE APPEARS
	REVISION CLOUD AROUND REVISION
	MATCH LINE SHADED PORTION IS THE SIDE CONSIDERED
	WORK POINT, CONTROL POINT OR DATUM POINT
	SECTION SECTION IDENTIFICATION
	SHEET NUMBER WHERE SECTION IS DRAWN
	DETAIL DETAIL IDENTIFICATION
	SHEET NUMBER WHERE DETAIL IS DRAWN
	INTERIOR ELEVATION (S) SHEET NUMBER WHERE ELEVATION IS DRAWN
	NO NUMBER MEANS ELEVATION NOT SHOWN
	ELEVATION IDENTIFICATION (UNFOLD ELEVATIONS CLOCKWISE)

MATERIAL LEGEND

	EARTH
	ROCK FILL
	SAND / MORTAR / PLASTER
	CONCRETE (CAST IN PLACE)
	BRICK
	CONCRETE BLOCK (CMU)
	METAL
	WOOD, FRAMING THROUGH MEMBER
	WOOD, FRAMING INTERRUPTED MEMBER
	WOOD, FINISH
	PLYWOOD AND/OR OTHER SHEATHING
	GLASS
	ACOUSTICAL TILE OR BOARD
	GYPSON WALL BOARD
	INSULATION, BATT
	INSULATION, RIGID

PROJECT DIRECTORY

OWNER:
MARK KNOX

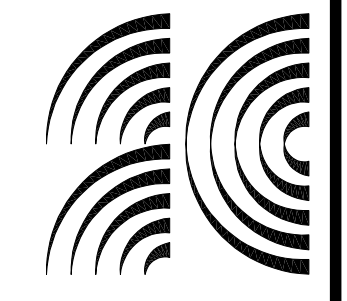
561 E. CHESAPEAKE CIRCLE
FRESNO, CA 93730

GENERAL CONTRACTOR:

DRAWN BY:
FRED FUNCH
FBFCO
9732 N. PRICE AVE.
FRESNO, CA 93720
559-259-6299

LEGAL DESCRIPTION

PARCEL 1:
A-



FBFCO
DESIGN & CADD CONSULTANTS

9732 N. Price Ave.
Fresno, CA 93720
(559) 259-6299

CONSULTANT

CIVIL ENGINEER

PROJECT
**PROPOSED
PREMANUFACTURED METAL
BUILDING**
FOR:
MARK KNOX
561 E. CHESAPEAKE CIRCLE
FRESNO, CA 93730

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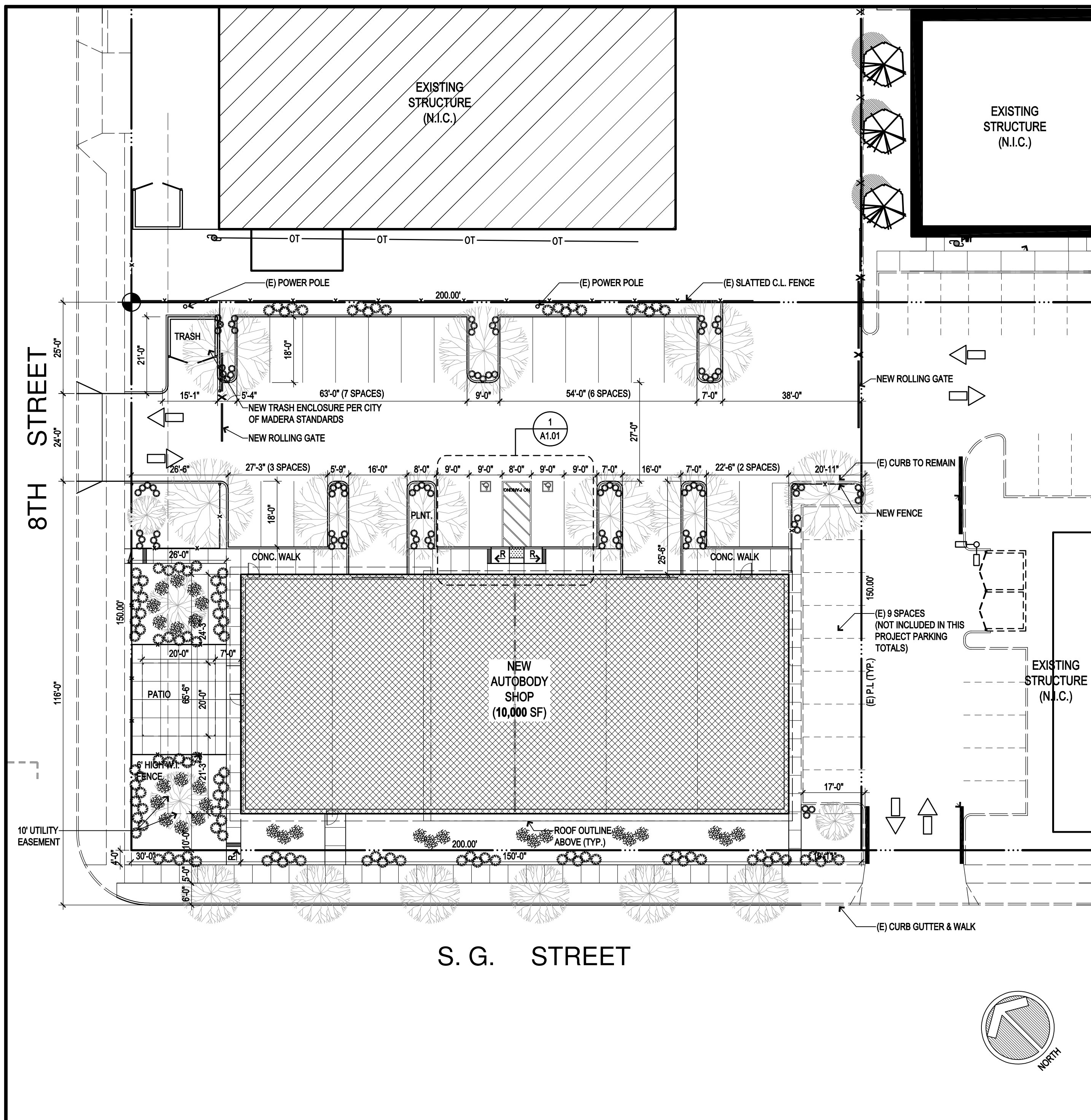
TITLE
**SYMBOLS &
ABBREVIATIONS**

SCALE	-
DATE	7/10/2019
PROJECT NO.	2018-11
DRAWN BY	-
CHECKED BY	-
CAD FILE NO.	MK-SYMB-S.DWG
SHEET NO.	-

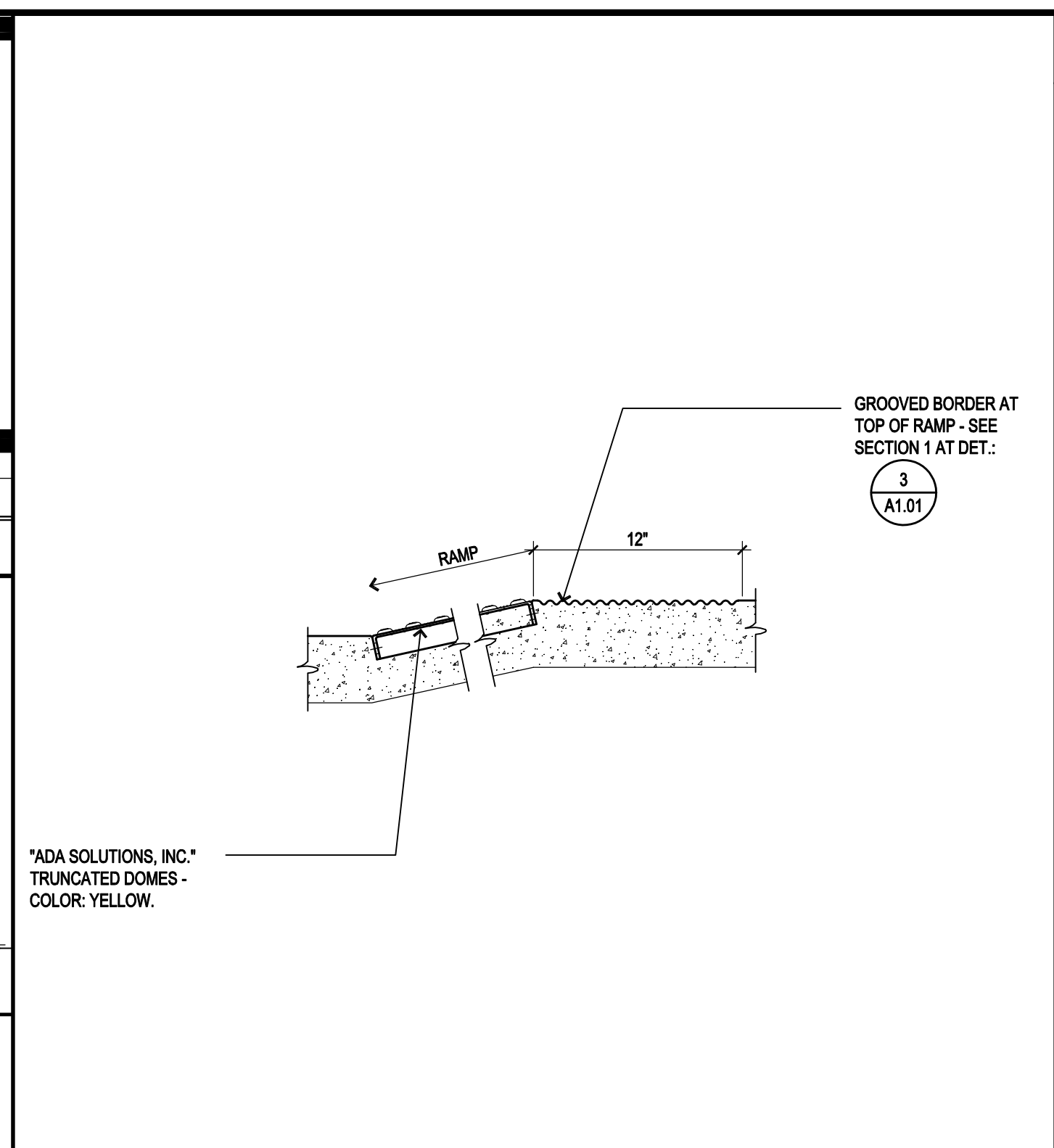
DRAWING NO.
A0.01

SYMBOLS &
ABBREVIATIONS

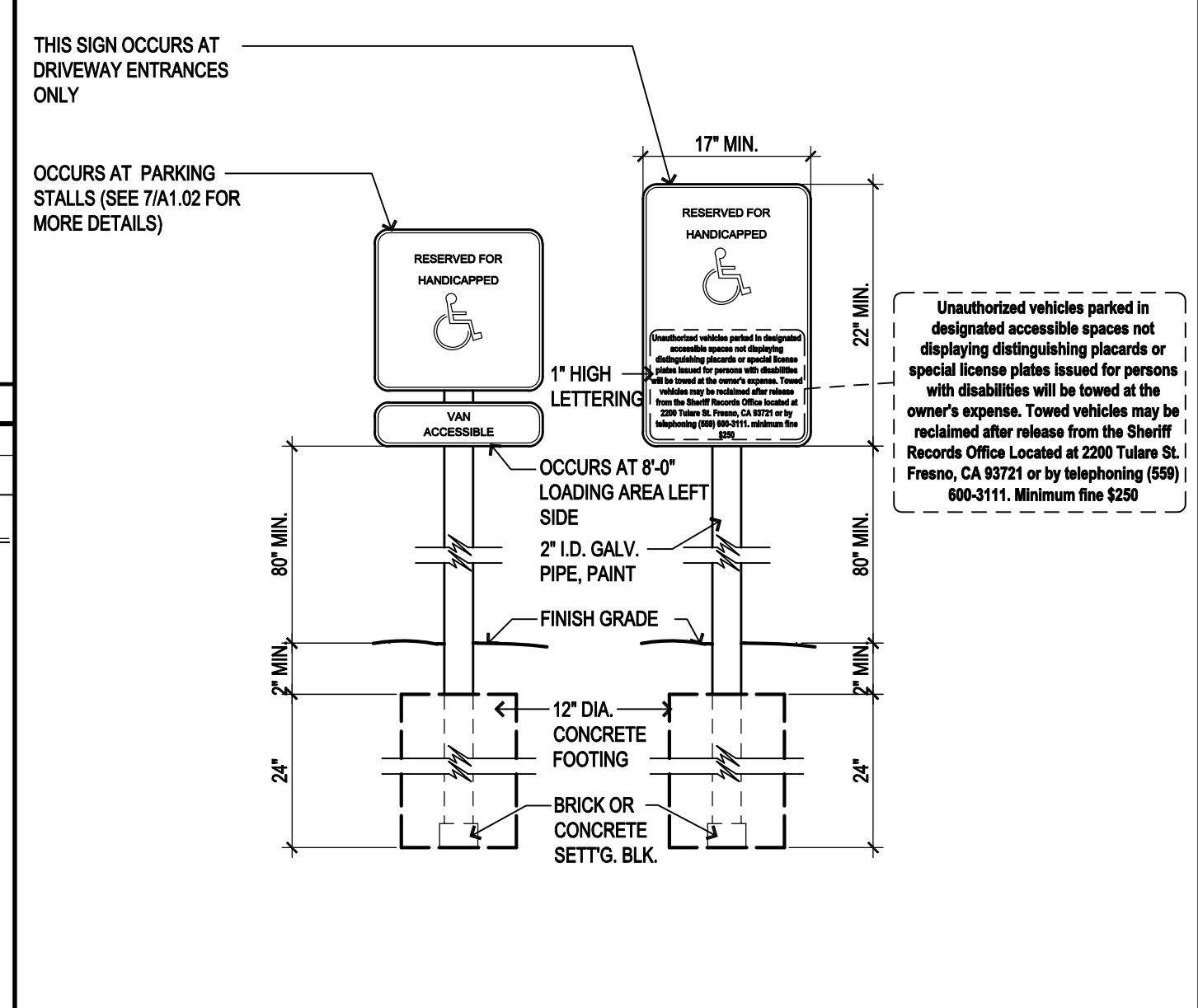
OF -



SITE PLAN SCALE: 1" = 20'-0"



3 TYP. RAMP SECTION SCALE: 1 1/2" = 1'-0"



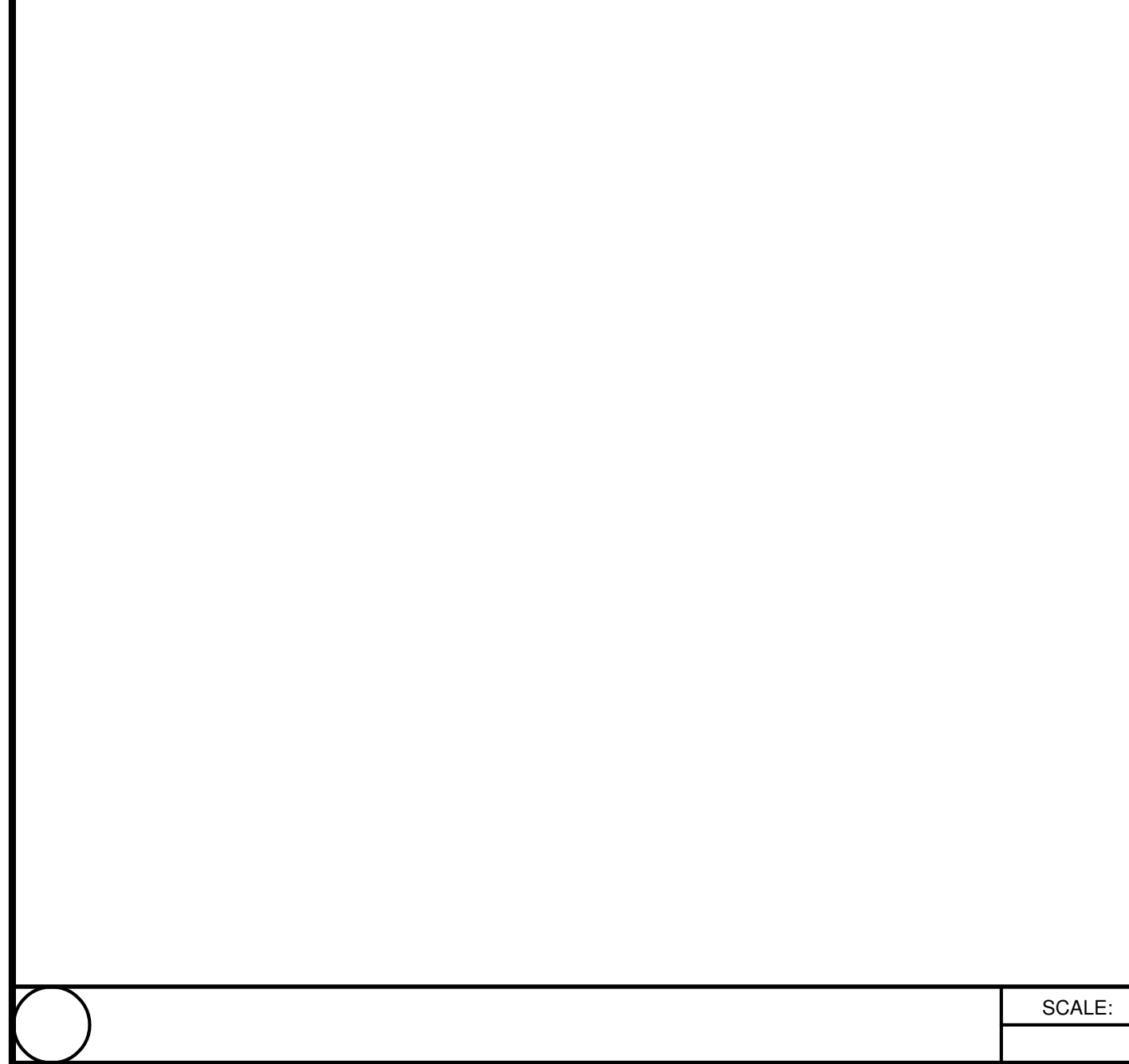
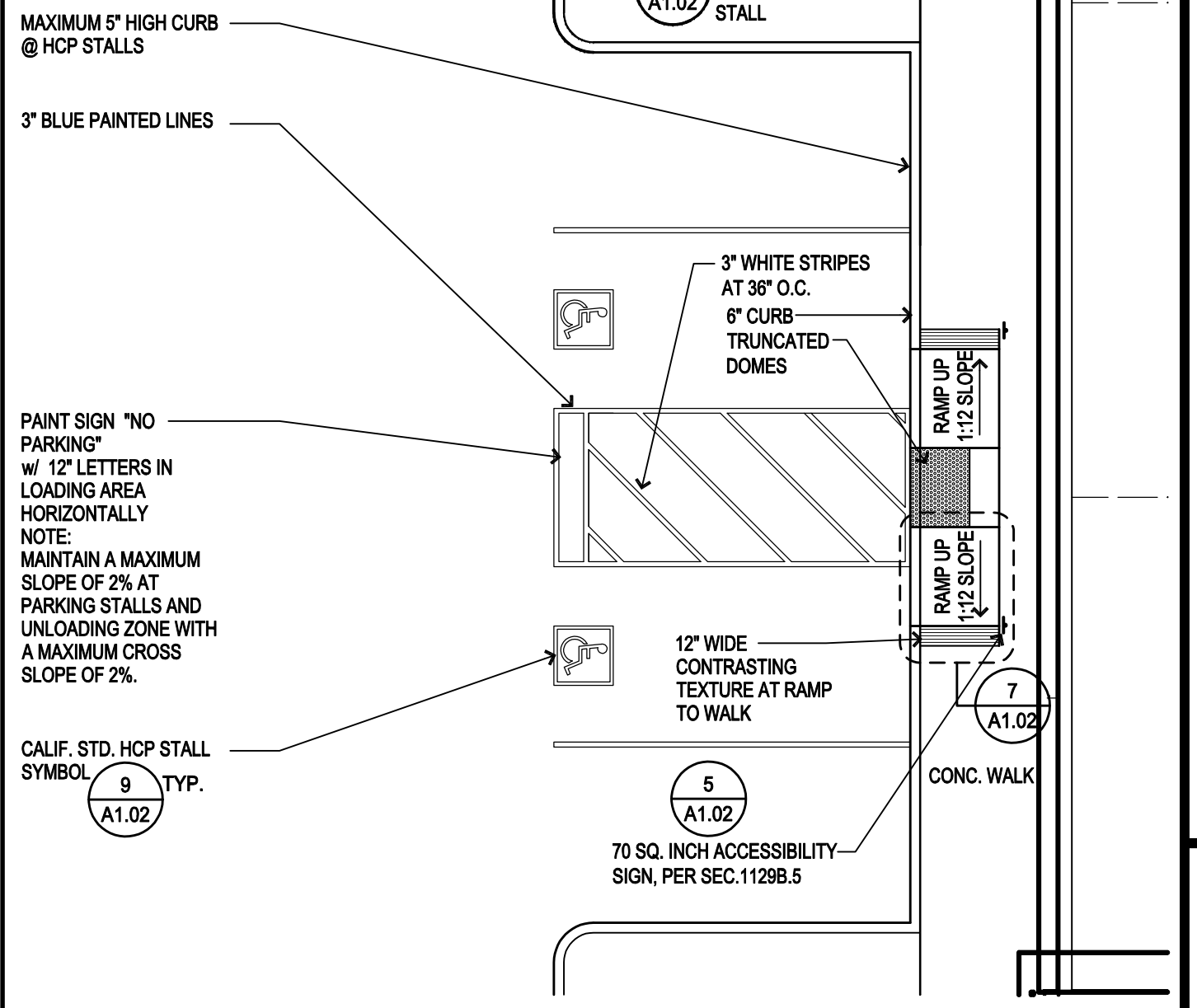
4 HC PARKING SIGNS SCALE: 1" = 1'-0"

SITE NOTES

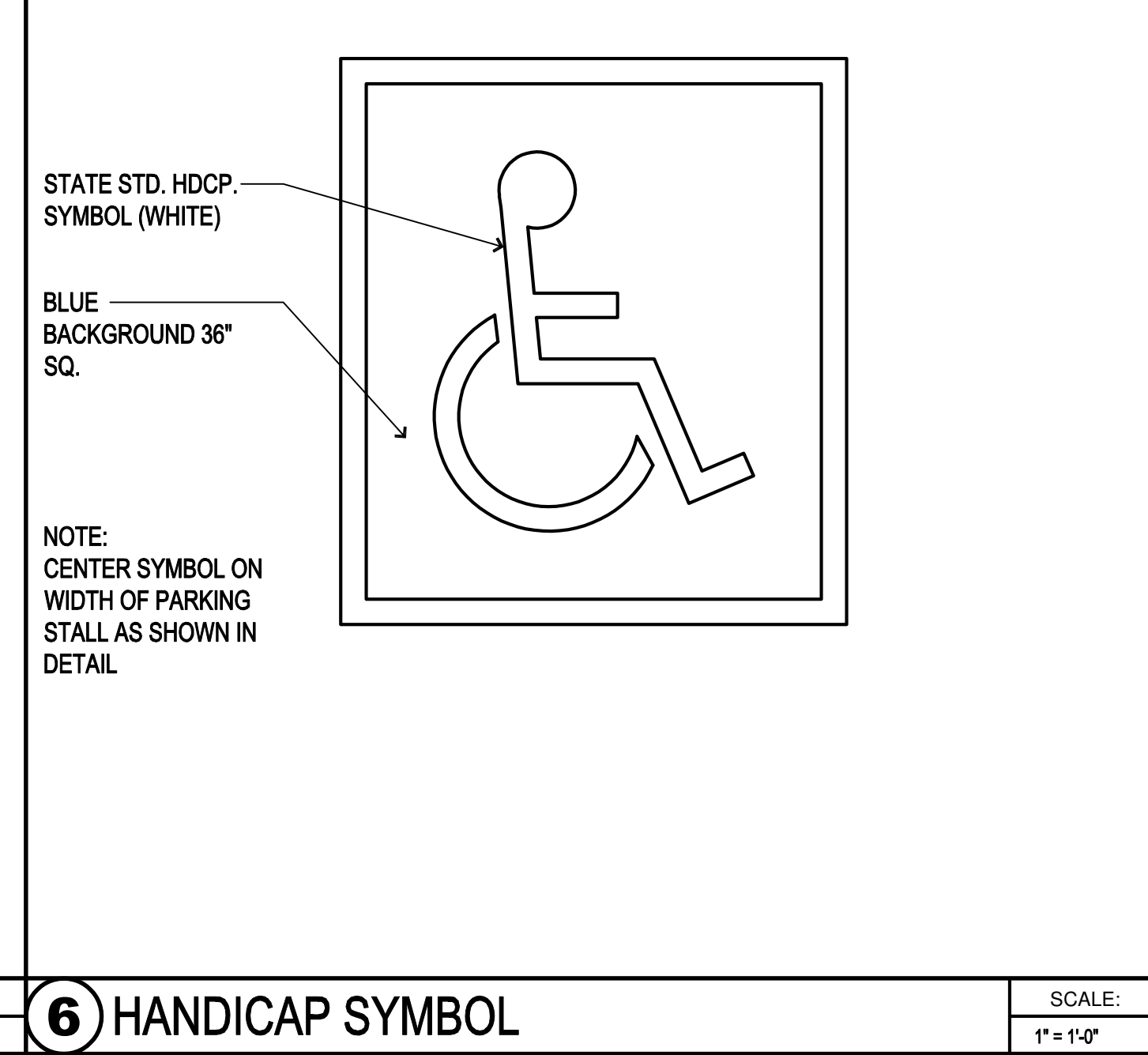
SITE PLAN NOTES:

- NO WATER SHALL DRAIN TO ADJACENT PROPERTY WITH NO ON-SITE WATER RETENTION.
- THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN ONE INCH VERTICAL IN 20 INCHES HORIZONTAL (5%) FOR A MINIMUM DISTANCE OF 10 FEET MEASURED PERPENDICULAR TO THE FACE OF THE WALL OR AN APPROVED ALTERNATE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION SHALL BE USED. 5/8" PER FOOT = 5%
- ALL GRADING SHALL COMPLY WITH SECTION 1804 AND APPENDIX OF THE 2010 CALIFORNIA BUILDING CODE.
- COMPACTION REPORT SHALL BE PREPARED BY AN APPROVED TESTING AGENCY UPON COMPLETION OF GRADING.
- PROVIDE SOIL COMPACTION FROM AN APPROVED TESTING LAB FOR ALL AREAS WHERE LOOSE FILL IS USED OR WHERE BUILDING FOOTING WILL OCCUR.
- ANY SURVEY MONUMENTS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A PERSON LICENSED TO PRACTICE LAND SURVEYING IN THE STATE OF CALIFORNIA.
- INSTALL STREET ADDRESS NUMERALS AT LEAST FOUR (4) INCHES HIGH WITH MINIMUM 1/2" INCH STROKE MOUNTED ON A CONTRASTING BACKGROUND CLEARLY VISIBLE FROM THE STREET (CBC 501.2).
- LIGHTING WHERE PROVIDED TO ILLUMINATE PARKING, SALES OR DISPLAY AREAS SHALL BE HOODED AND SO ARRANGED AND CONTROLLED SO AS NOT TO CAUSE A NUISANCE EITHER TO HIGHWAY TRAFFIC OR TO THE LIVING ENVIRONMENT. THE AMOUNT OF LIGHT SHALL BE PROVIDED ACCORDING TO THE STANDARDS OF THE DEPARTMENT OF PUBLIC WORKS.
- SUITABLE TOILET FACILITIES SHALL BE PROVIDED AND
- FINISH FLOOR ELEVATION TO BE 6" ABOVE THE CROWN OF THE STREET.
- DRIVEWAYS AND PRIVATE ROADS SHALL HAVE A MAXIMUM SLOPE OF 12%. THE GRADE MAY BE INCREASED TO A MAXIMUM OF 20% FOR PAVED SURFACES.
- IF ARCHAEOLOGICAL AND/OR ANIMAL FOSSIL MATERIAL IS ENCOUNTERED DURING PROJECT SURVEYING, GRADING, EXCAVATING, OR CONSTRUCTION, WORK SHALL STOP IMMEDIATELY.
- IF THERE ARE SUSPECTED HUMAN REMAINS, THE FRESNO COUNTY CORONER SHALL BE IMMEDIATELY CONTACTED. IF THE REMAINS OR OTHER ARCHAEOLOGICAL MATERIAL IS POSSIBLY NATIVE AMERICAN IN ORIGIN, THE NATIVE AMERICAN HERITAGE COMMISSION (PH: (916) 653-4082) SHALL BE IMMEDIATELY CONTACTED, AND THE CALIFORNIA ARCHAEOLOGICAL INVENTORY (SOUTHERN SAN JOAQUIN VALLEY INFORMATION CENTER: PH: (805) 644-2289) SHALL BE CONTACTED TO OBTAIN A REFERRAL LIST OF RECOGNIZED ARCHAEOLOGISTS. AN ARCHAEOLOGICAL ASSESSMENT SHALL BE CONDUCTED FOR THE PROJECT, THE SITE SHALL BE FORMALLY RECORDED, AND RECOMMENDATIONS MADE TO THE COUNTY AS TO ANY FURTHER SITE INVESTIGATION OR SITE AVOIDANCE/PRESERVATION.
- IF ANIMAL FOSSILS ARE UNCOVERED, THE MUSEUM OF PALEONTOLOGY, U.C. BERKELEY SHALL BE CONTACTED TO OBTAIN A REFERRAL LIST OF RECOGNIZED PALEONTOLOGISTS. A PALEONTOLOGIST SHALL CONDUCT AN ASSESSMENT AND, IF THE PALEONTOLOGIST DETERMINES THE MATERIAL TO BE SIGNIFICANT, IT SHALL BE PRESERVED.
- TEMPORARY FENCES TO SECURE PROJECTS UNDER CONSTRUCTION ARE ALLOWED. ANY TEMPORARY FENCE SHALL BE ADEQUATELY SECURED AND CONSTRUCTED TO PREVENT OVERTURNING DUE TO WIND, VANDALISM, AND/OR CASUAL CONTACT BY THE GENERAL PUBLIC. THE CONSTRUCTION SHALL BE PERFORMED IN SUCH A MANNER AS TO MINIMIZE ANY POTENTIAL SAFETY HAZARD WHICH MAY OCCUR AS A RESULT OF IT.

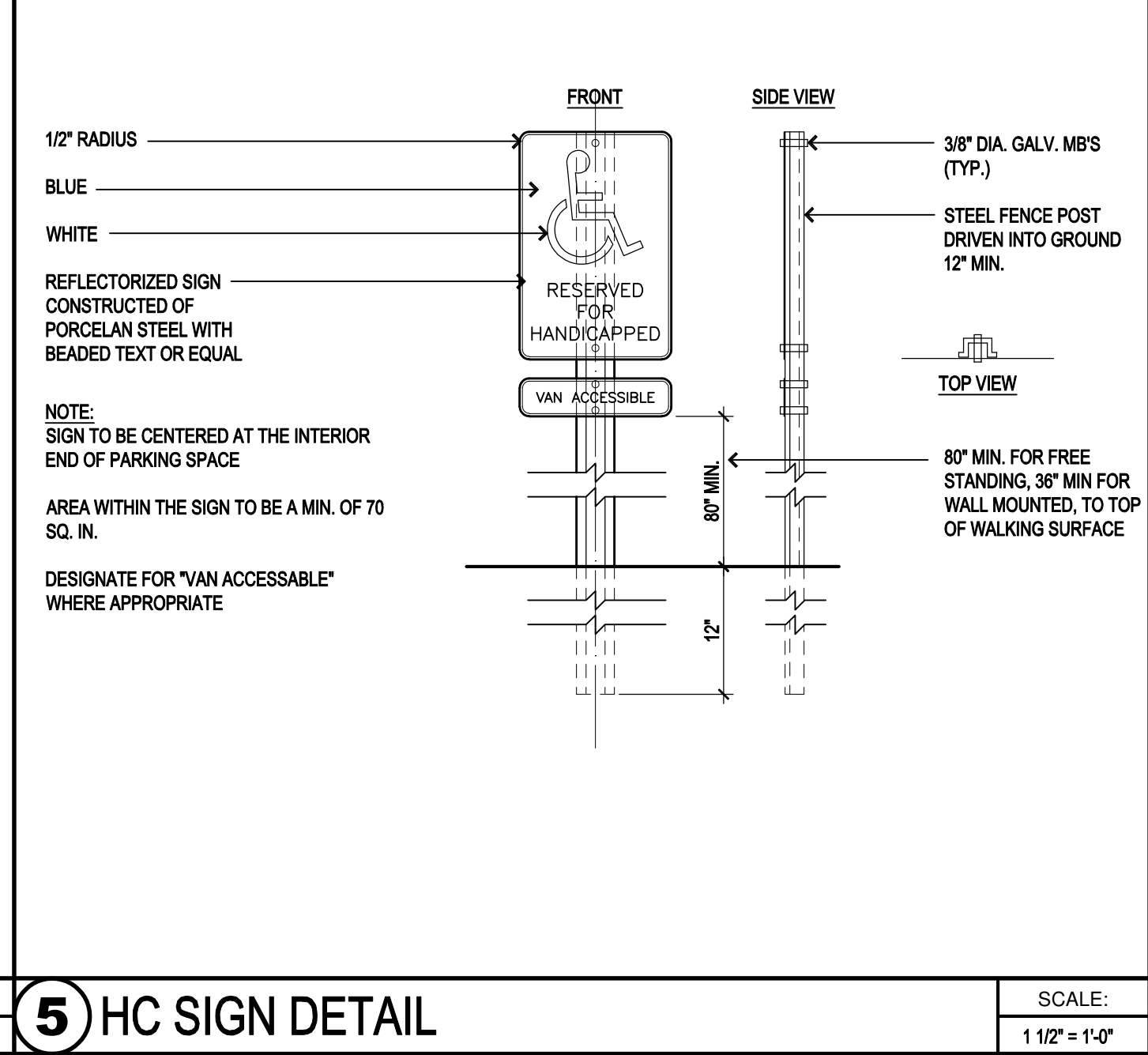
1 HANDICAP STALL DETAIL SCALE: 1/8" = 1'-0"



6 HANDICAP SYMBOL SCALE: 1" = 1'-0"



5 HC SIGN DETAIL SCALE: 1" = 1'-0"



2 HC RAMP DETAIL SCALE: 1 1/2" = 1'-0"

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PROJECT
**PROPOSED
PREMANUFACTURED METAL
BUILDING**
FOR:
MARK KNOX
561 E. CHESAPEAKE CIRCLE
FRESNO, CA 93730

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TITLE
SITE PLAN & DETAILS

SCALE: -

DATE: 7/10/2019

PROJECT NO.: 2018-11

DRAWN BY: -

CHECKED BY: -

CAD FILE NO.: MK-SITE-S.DWG

SHEET NO.: -

DRAWING NO.: -

REVISIONS

SCALE: 1/8" = 1'-0"

DATE: 7/10/2019

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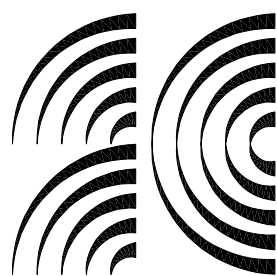
CAD FILE NO.: MK-SITE-S.DWG

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REVISIONS

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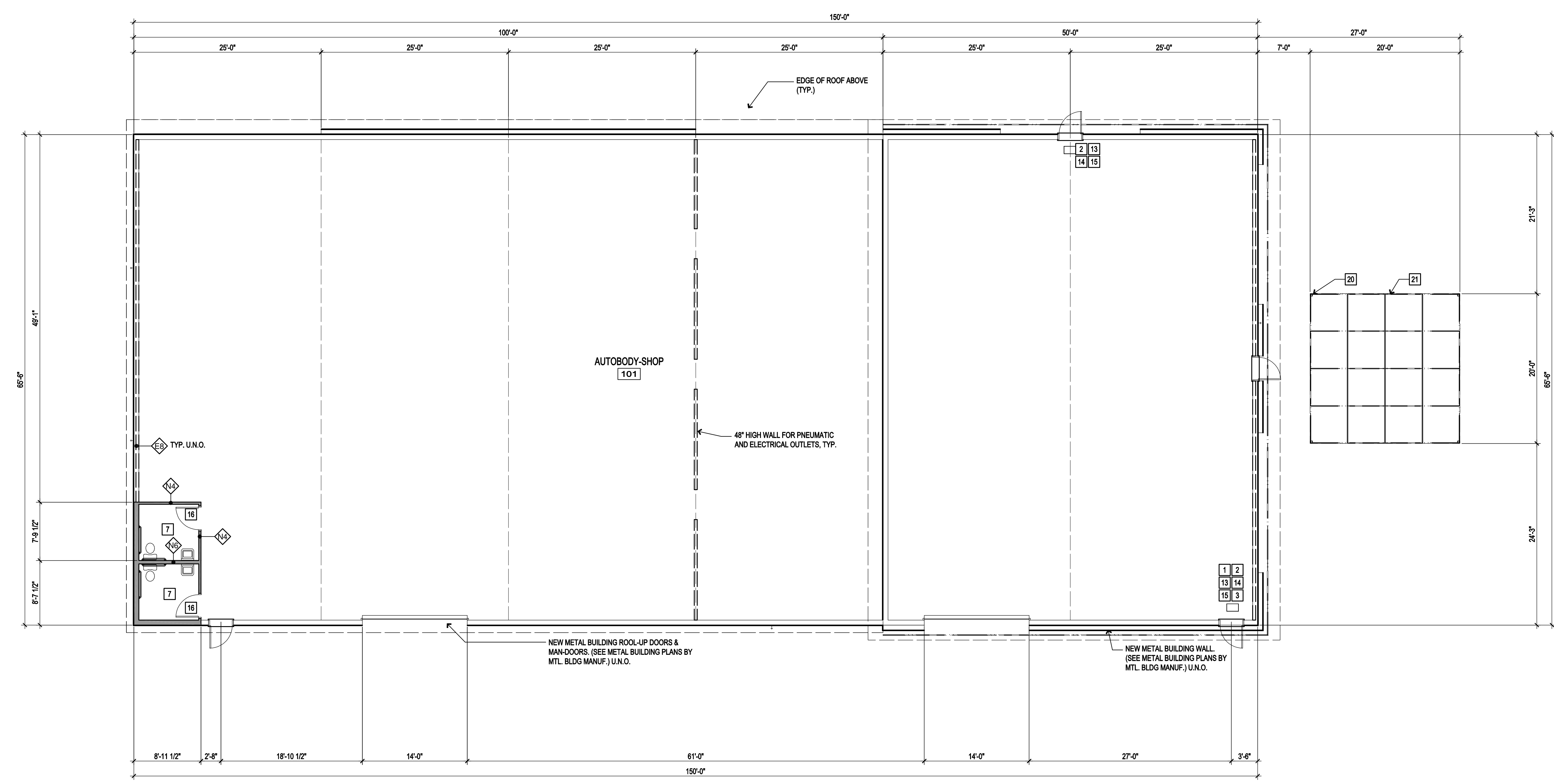
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- PROVIDE FLOORING TRANSITION STRIPS (IF OCCURS) AT AREAS WITH DIFFERING FLOOR FINISH THICKNESSES.
- OWNER FURNISHED ITEMS SHOWN FOR REFERENCE ONLY.
- IF NOT ALREADY EXISTING, PROVIDE TACTILE EXIT ITEMS AT THE REQUIRED AREAS AND EXITS PER 2011 CBC 1003.2.8.6 AND 1117B CENTERED AT +60" ABOVE FINISH FLOOR AS FOLLOWS:
 - EACH GRADE LEVEL EXTERIOR EXIT DOOR SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORD: "EXIT"
 - EACH EXIT ACCESS DOOR FROM AN INTERIOR ROOM OR AREA TO A CORRIDOR OR HALLWAY THAT IS REQUIRED TO HAVE A VISUAL EXIT SIGN, SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS: "EXIT ROUTE".
- ALL DECORATIVE FINISH MATERIALS TO BE FLAME RETARDANT TREATED.
- GRADES AT ALL EXTERIOR DOOR LANDINGS SHALL HAVE A SMOOTH TRANSITION TO ADJACENT PAVED SURFACE (CBC 11338).
- PROVIDE PORTABLE FIRE EXTINGUISHERS CLASS 2A:10B:C PER NFPA 10 RATED MINIMUM WITH A MAXIMUM 75 FOOT TRAVEL DISTANCE AND ONE FOR EVERY 6,000 SQUARE FEET. EXTINGUISHERS TO BE CABINET OR WALL MOUNTED NO HIGHER THAN 48 INCHES.
- ALL EMPLOYEE WORK AREAS (IF OCCURS), SHALL HAVE A MINIMUM OF 36" CLEAR ACCESS (CBC 1123B).
- A MAXIMUM OF A 1/2" VERTICAL OFFSET AT ALL THRESHOLDS AND AT ANY CHANGES OF FLOORING MATERIAL IS ALLOWED. OFFSETS GREATER THAN 1/4" REQUIRE A MAXIMUM BEVELED SLOPE OF 1 UNIT VERTICAL TO 2 UNITS HORIZONTAL, EXCEPT THAT LEVEL CHANGES NOT EXCEEDING 1/4" MAY BE VERTICAL. (CBC 11387.4).
- FINISH FLOOR TO WALL WHERE REQUIRED AT ACCESSIBLE CABINETS LAVS, AND SINKS.
- SUBMIT PLANS TO AND OBTAIN PERMIT FROM THE FIRE PREVENTION DIVISION FOR THE INSTALLATION OR MODIFICATION OF SPRINKLER SYSTEM.
- FIRE ALARM SYSTEM PLANS WILL BE BY SUBSEQUENT SUBMITTAL TO FRESNO COUNTY FOR APPROVAL. PLANS TO BE APPROVED BY FRESNO COUNTY BEFORE INSTALLATION BEGINS.
- ALL NEW FINISH MATERIALS TO BE LOW "VOC" PER CGBSC 5.714.4.4.1 THROUGH 5.714.4.4.4



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TITLE
FLOOR PLAN

SCALE
1/8"=1'-0"

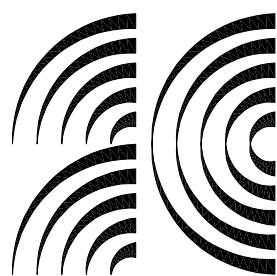
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MK-FP1-S.DWG	A2.01
SHEET NO.	
OF	

FLOOR PLAN KEY NOTES					
SYMBOLS	DESCRIPTION	SYMBOLS	DESCRIPTION	SYMBOLS	DESCRIPTION
[17]	34"-38" HIGH HANDRAILS AT STAIRS (SEE STAIR NOTES A9.01)	[9]	WATER HEATER (PROVIDE (2) 25GA. MTL. STRAPS AT WATER HEATER TOP AND BOTTOM.)	[1]	PROVIDE 5" X 5" SYMBOL OF ACCESSIBILITY AT ALL PRIMARY BUILDING ENTRANCES.
[18]	42" HIGH GUARD RAIL (INTERMEDIATE RAILINGS IN GUARDRAIL/STAIRRAIL SHALL BE SPACED SUCH THAT A 4" SPHERE CANNOT PASS THROUGH THEM).	[10]	PROVIDE FRP BOARD 48" HIGH WITHIN 24" OF SIDE AND FRONT OF WIC & URINALS, MIN.	[2]	TACTILE BRAILLE SIGNS @ ALL EXITS (SEE 9/A8.01)
[19]	CABINET OR WALL MOUNTED FIRE EXTINGUISHER. PORTABLE FIRE EXTINGUISHERS PER NFPA 10, 2-A:10-B:C RATED MINIMUM. PROVIDE ONE PORTABLE FIRE EXTINGUISHER FOR EVERY 3000 SQ. FT. WITH A MAXIMUM TRAVEL DISTANCE OF 75'	[11]	ACOUSTICAL INSULATION: ALL INTERIOR PERIMETER STUD WALLS OF THE FOLLOWING SPACES SHALL BE INSULATED WITH ACOUSTICAL INSULATION: EXAM ROOMS, RESTROOMS NOTES: A-ACOUSTICAL INSULATION LOCATED IN RATED AND NON-RATED CONSTRUCTION SHALL BE 3" THICK, 2.5 PCF "THERMAFIBER" SAFB OR APPROVED EQUIVALENT.	[3]	POST A SIGN THAT READS, "THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED." USE LETTERS 1" HIGH ON A CONTRASTING BACKGROUND AT THE MAIN EXIT. THE LOCKING DEVICE MUST BE READILY DISTINGUISHABLE AS BEING LOCKED.
[20]	MTL. COLUMNS	[12]	FIRE-RATED WALL SHALL EXTEND FULL HEIGHT TO BOTTOM OF THE ROOF SHEATHING PER NON-FIRE RATED WALLS SHALL EXTEND 6" MIN. ABOVE HIGHEST ADJACENT CEILING.	[4]	ADA ACCESSIBLE COUNTER, +34" MAX. COUNTER TOP HEIGHT, 28" MIN. CLEAR UNDER COUNTER.
[21]	MTL. FRAMED PATIO SHADE STRUCTURE	[13]	INSTALL AUTOMATIC CLOSING DEVICES, LOOP OR "U" SHAPED HANDLES BELOW THE LATCHES AND 34" CLR. OPENING WIDTH (38" DOORS)	[5]	COLUMN (SEE STRUCTURAL DRAWINGS FOR COLUMN INFORMATION)
		[14]	TACTILE "EXIT" OR "EXIT ROUTE" SIGN (AS NOTED ON PLAN) MTD. TO WALL	[6]	FLOOR DRAIN, SEE PLUMBING PLAN
		[15]	PANIC EGRESS HARDWARE @ EXIT DOOR	[7]	ACCESSIBLE RESTROOMS
		[16]	RESTROOM IDENTIFICATION IS TO BE PROVIDED IN GRADE II BRAILLE AND RAISED CHARACTERS PER CBC 117B.5 (SEE DET 7/A8.01)	[8]	EXTERIOR HOSE BIB

FLOOR PLAN LEGEND	
SYMBOL	DESCRIPTION
[Symbol]	NEW EXTERIOR, 4", 8", 8" STEEL STUDS (OR 8" GIRTS BY METAL BUILDING MANUF.) EXTERIOR WALLS (TYPICAL U.N.O.)
[Symbol]	@ 1-HR. SEPARATION WALL CONDITION
[Symbol]	NEW 2X4", 2X8" WD. STUDS WITH 5/8" G.W.B. EACH SIDE (TYPICAL U.N.O.)
[Symbol]	NEW 4", 6" 1-HR. FULL HEIGHT, METAL OR WD. STUD WALLS WITH 5/8" TYPE 'X', G.W.B. EACH SIDE (TYPICAL U.N.O.)
[Symbol]	DOOR SYMBOL
[Symbol]	WINDOW SYMBOL
[Symbol]	BUILDING SECTION
[Symbol]	BUILDING GRID

FLOOR PLAN

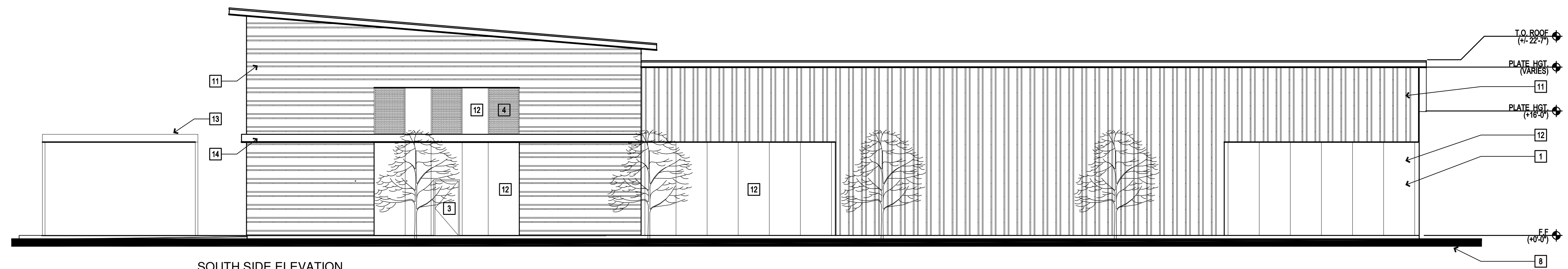


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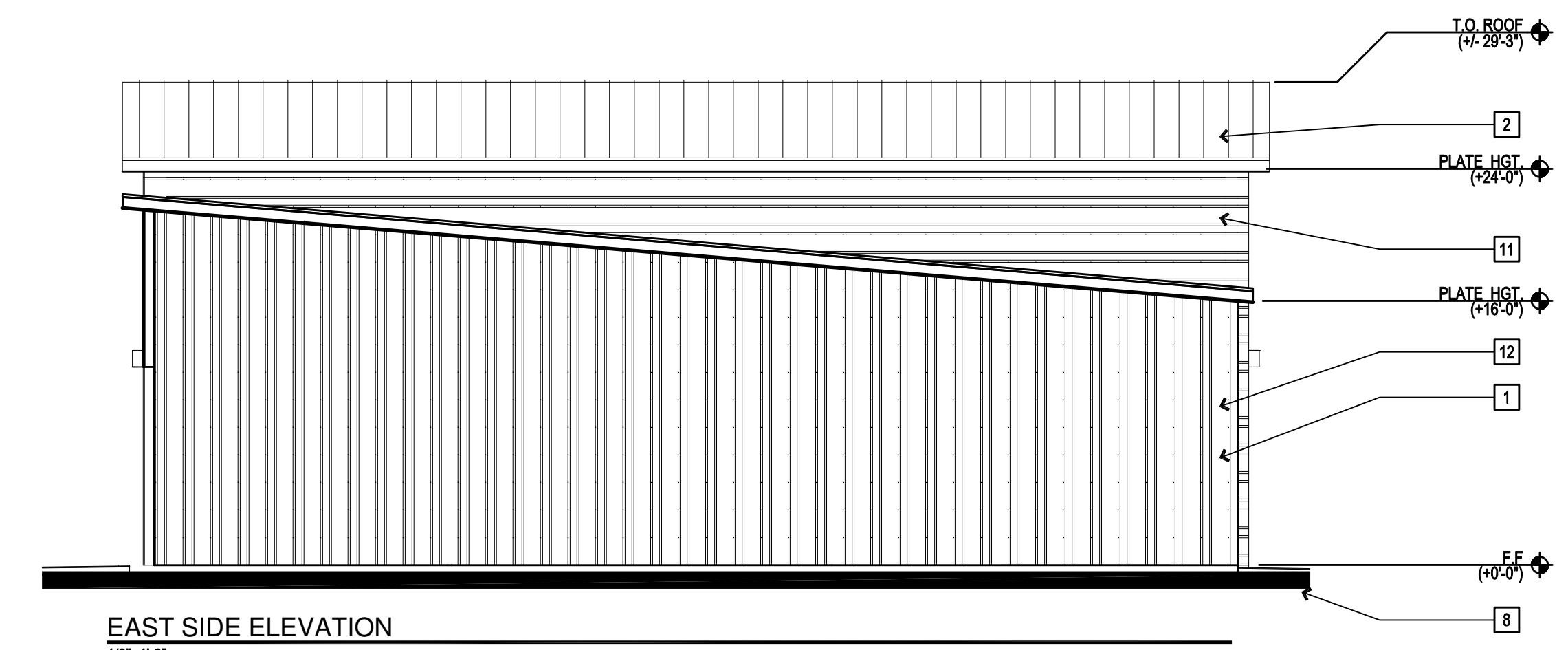
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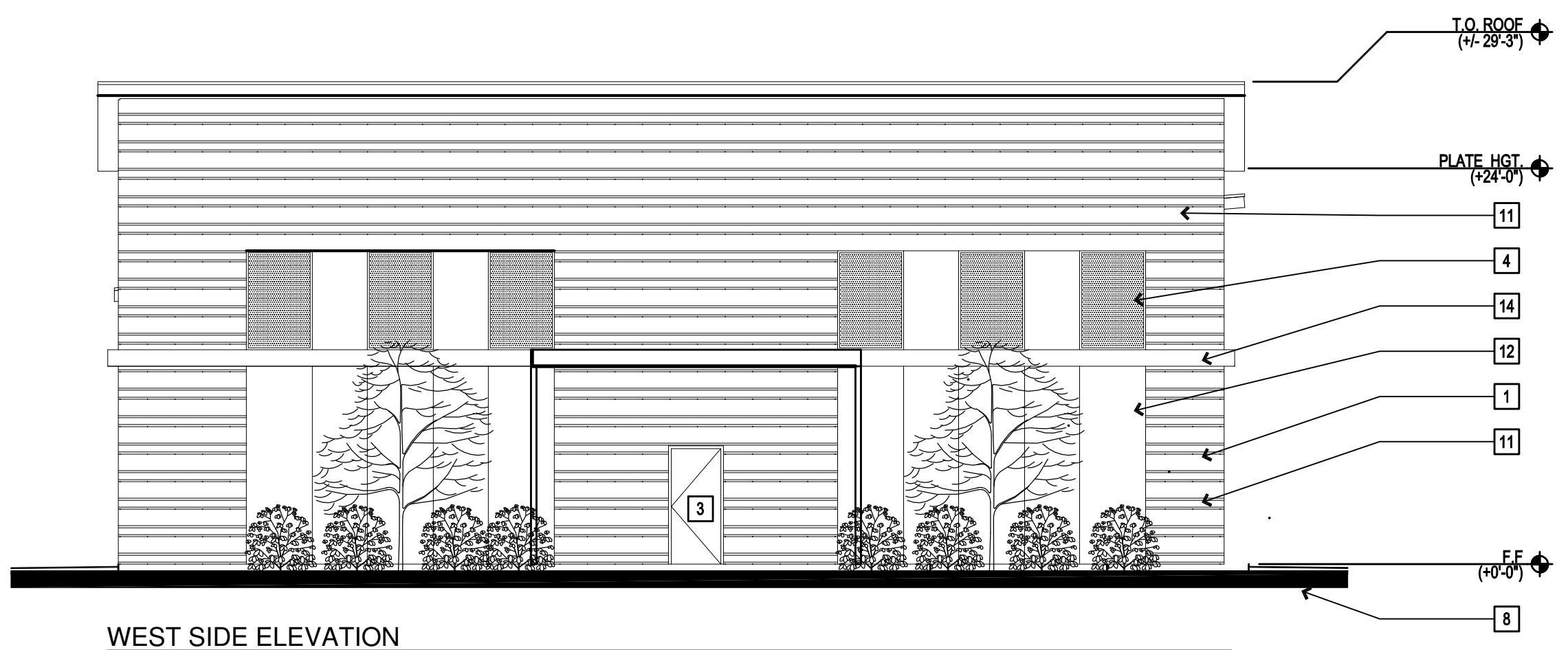
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SOUTH SIDE ELEVATION
1/8"=1'-0"



EAST SIDE ELEVATION
1/8"=1'-0"



WEST SIDE ELEVATION
1/8"=1'-0"

ELEVATION KEY NOTES			
SYMBOLS	DESCRIPTION	SYMBOLS	DESCRIPTION
9	EXTERIOR STUCCO FINISH PANELS	1	FOR MTL. BUILDING EXTERIOR FINISHES AND FRAMING (SEE ATTACHED METAL BUILDING DRAWINGS BY MTL. BLDG. MANUF.)
10	VERT. CORRUGATED MTL PANELS	2	METAL ROOFING (SEE ATTACHED METAL BUILDING DRAWINGS BY METAL BUILDING CONTRACTOR)
11	HORIZ. CORRUGATED MTL. PANELS	3	DOORS (BY OWNER/CONTRACTOR)
12	VERT. (RUST COLORED) 'CORTEN' PANELS	4	WINDOWS (BY OWNER/CONTRACTOR)
13	MTL. FRAMED PATIO SHADE COVER	5	METAL COLUMNS (SEE ATTACHED METAL BUILDING DRAWINGS BY METAL BUILDING MANUF.)
14	RAISED METAL BAND	6	METAL BEAMS (SEE ATTACHED METAL BUILDING DRAWINGS BY METAL BUILDING MANUF.)
		7	ROLL-UP METAL DOORS (BY OWNER/CONTRACTOR)
		8	GRADE

NOTES:
ADDRESS STANDARDS
ALL BUILDINGS SHALL HAVE A PERMANENTLY POSTED ADDRESS INSTALLED AT THE BEGINNING OF CONSTRUCTION IN ACCORDANCE WITH THE FOLLOWING:
A. SHALL BE PHYSICALLY INSTALLED ON THE BUILDING;
B. AT THE INTERSECTION OF THE ROAD AND DRIVEWAY ENTRANCE SERVING THE BUILDING OR BE VISIBLE FROM THE ROAD;
C. SHALL BE VISIBLE AND LEGIBLE FOR A MINIMUM OF 100' FROM BOTH DIRECTIONS OF TRAVEL ALONG THE ROAD;
D. SHALL BE ON A SINGLE POST WHERE MULTIPLE ADDRESSES ARE FOR A SINGLE DRIVEWAY;
E. SHALL BE POSTED AT INTERSECTIONS OF ROADS AND/OR DRIVEWAYS TO CLEARLY INDICATE THE DIRECTION TO THE STRUCTURE SERVED;
F. ALL SIGNS REQUIRED BY THIS CHAPTER SHALL:
1. HAVE A MIN. 4" LETTER/NUMBER HEIGHT, 1/2" STROKE;
2. BE REFLECTORIZED;
3. HAVE LETTER/NUMBER COLOR CONTRASTING WITH THE BACKGROUND COLOR;
4. BE OF A FIRE-RETARDANT MATERIAL MOUNTED ON A FIRE-RETARDANT POST;
5. SIGNS SHALL COMPLY WITH THE CURRENT ADOPTED EDITION OF THE CALIFORNIA FIRE CODE.

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TITLE
**EXTERIOR
ELEVATIONS**

SCALE -

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A3.01

OF -



NORTH SIDE ELEVATION
1/8"=1'-0"

8
EXTERIOR ELEVATIONS

Attachment 4: Color Renderings



North West Elevation



North East Elevation



South West Elevation

Attachment 5: Colors and Materials

